



Murrindindi
Shire Council

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

<i>The land affected by the application is located at:</i>	40 Kings Road MARYSVILLE, (Lot: 1 PS: 834930)
<i>The application is for a permit to:</i>	Development of land for four (4) dwellings and Native Vegetation Removal
<i>The applicant for the permit is:</i>	Turning Point Property & Projects
<i>The application reference number is:</i>	2022/228
<i>You may look at the application and any documents that support the application by visiting our website via the following web address:</i>	www.murrindindi.vic.gov.au/Planning Comment

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must be sent to the responsible authority in writing, with the full name and postal address of the objector and include the reasons for the objection, and state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<i>The responsible authority will not decide on the application before:</i>	20 March 2024
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If you object, the responsible authority will tell you its decision.

The planning unit can be contacted on (03) 5772 0333 or planning@murrindindi.vic.gov.au.



Planning Enquiries
Phone: (03) 5772 0333
Email: planning@murrindindi.vic.gov.au
Web: www.murrindindi.vic.gov.au

Clear Form

Office Use Only

VicSmart?

☐ YES

☐ NO

Specify class of VicSmart application:

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the back of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

Application Type

Is this a VicSmart application?*

☐ No ☐ Yes

If yes, please specify which

VicSmart class or classes:.....

If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.

Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

☐ No ☐ Yes

If 'Yes', with whom?:

Date:

day / month / year

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

Postcode:

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.:

☐ Lodged Plan

☐ Title Plan

☐ Plan of Subdivision

No.:

OR


B


Crown Allotment No.:


Section No.:


Parish/Township Name:

The Proposal


 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

 **For what use, development or other matter do you require a permit? ***

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 **Estimated cost of any development for which the permit is required ***

Cost \$


 You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.


 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Contact information for applicant OR contact person below

Contact person's details*

Same as applicant

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:

Same as applicant

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Information requirements


Is the required information provided?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

☐ Yes ☐ No

Declaration i

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 12402 FOLIO 013

Security no : 124112021216M

Produced 22/01/2024 07:40 AM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 834930B.
PARENT TITLE Volume 11061 Folio 716
Created by instrument PS834930B 13/09/2022

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
ANDREW ALEXANDER JOANNIDIS
VANJA JOANNIDIS both of 1B EVELINE AVENUE PARKDALE VIC 3195
AW202700H 26/10/2022

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW202701F 26/10/2022
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AU404341B 01/06/2021

DIAGRAM LOCATION

SEE PS834930B FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 40 KINGS ROAD MARYSVILLE VIC 3779

ADMINISTRATIVE NOTICES

NIL

eCT Control 18601V BANKWEST
Effective from 26/10/2022

DOCUMENT END

Imaged Document Cover Sheet


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Document Type	Plan
Document Identification	PS834930B
Number of Pages (excluding this cover sheet)	2
Document Assembled	22/01/2024 07:41

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PLAN OF SUBDIVISION				EDITION 1	PS 834930B
<p style="text-align: center; font-weight: bold; font-size: 1.1em;">LOCATION OF LAND</p> <p>Parish: Steavenson Township: Marysville Section J Crown Allotment: 8 (Pt) & II</p> <p>Title References: VOL 11061 FOL 716</p> <p>Last Plan Reference: Lot 1 on PS 509307M. Postal Address: 32 Kings Road Marysville, 3779.</p> <p>MGA94 Co-ordinates : E 389380 (Of approx. centre of plan) N 5847135 Zone 55</p>				<p>Council Name: Murrindindi Shire Council</p> <p>Council Reference Number: 2020/5 Planning Permit Reference: 2018/231 SPEAR Reference Number: S149993T</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by: Natalie Stewart for Murrindindi Shire Council on 05/08/2021</p> <p>Statement of Compliance issued: 22/07/2022</p>	
VESTING OF ROADS AND/OR RESERVES				NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON			<p>Survey: This plan is based on survey.</p> <p>This survey has been connected to permanent marks no 36</p> <p>Staging This is not a staged subdivision. Planning Permit No. 2018/231</p>	
NIL	NIL				
NOTATIONS					
Depth Limitation: 15.24m below the surface.					
EASEMENT INFORMATION					
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1	PIPELINES OR ANCILLARY PURPOSES	3.00m	THIS PLAN & SECTION 136 WATER ACT 1989	GOULBURN VALLEY REGION WATER CORPORATION	
E-1, E-2	DRAINAGE	3.00m	THIS PLAN	MURRINDINDI SHIRE COUNCIL	
 <p style="font-size: 0.8em;">PO BOX 366, LILYDALE, 3140. PH: 03 9735 1338 manager@tgsurveys.com.au www.tgsurveys.com.au</p>			REF 217092	VERSION 03	Original Sheet Size: A3
			Digitally signed by: TIMOTHY GEORGE, Licensed Surveyor, Surveyor's Plan Version (217090 ps-v03), 28/07/2020, SPEAR Ref: S149993T		PLAN REGISTERED TIME: 3:23 PM DATE: 13/09/2022
			I. CHU Assistant Registrar of Titles		



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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Produced 22/01/2024 07:41:00 AM

Status	Registered	Dealing Number	AU404341B
Date and Time Lodged	01/06/2021 11:14:48 AM		

Lodger Details

Lodger Code	17829T
Name	RUSSELL KENNEDY
Address	
Lodger Box	
Phone	
Email	
Reference	167219-04534

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

11061/716

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	MURRINDINDI SHIRE COUNCIL
Address	
Street Name	PERKINS
Street Type	STREET
Locality	ALEXANDRA
State	VIC
Postcode	3714

Additional Details

Refer Image Instrument



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	MURRINDINDI SHIRE COUNCIL
Signer Name	IAN DAVID PRIDGEON
Signer Organisation	PARTNERS OF RUSSELL KENNEDY
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	01 JUNE 2021

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

Imaged Document Cover Sheet

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Document Type	Instrument
Document Identification	AU404341B
Number of Pages (excluding this cover sheet)	11
Document Assembled	

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Russell Kennedy
Lawyers

MURRINDINDI SHIRE COUNCIL

and

SIMON KEITH PATERSON

**AGREEMENT MADE PURSUANT TO
SECTION 173 OF THE PLANNING AND
ENVIRONMENT ACT 1987**

Property: Lot 1 on PS509307M, Kings Road,
Marysville Victoria

Russell Kennedy Pty Ltd ACN 126 792 470 ABN 14 940 129 185
Level 12, 469 La Trobe Street, Melbourne VIC 3000 PO Box 5146, Melbourne VIC 3001 DX 494 Melbourne
T +61 3 9609 1555 F +61 3 9609 1600 info@rk.com.au russellkennedy.com.au

Liability limited by a scheme approved under Professional Standards Legislation.

An international member of

Ailly Law

THIS AGREEMENT is made on

1 June 2021

PARTIES

- 1 **MURRINDINDI SHIRE COUNCIL**
of 28 Perkins Street, Alexandra Victoria 3714
(Council)
- 2 **SIMON KEITH PATERSON**
of 32 Kings Road, Marysville Victoria 3779
(Owner)

RECITALS

- A The Council is the responsible authority under the Act for the Scheme.
- B The Owner is registered or is entitled to be registered as proprietor of the Land.
- C Condition 22 of the Permit provides as follows:

"Before the statement of compliance is issued under the Subdivision Act 1988 the owner must enter into an agreement with the responsible authority under Section 173 of the Planning and Environment Act 1987. The agreement must:

- *State that it has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-2 of the Murrindindi Planning Scheme.*
- *Incorporate the plan (prepared by Fire Front Consultancies, Version 2, dated 22 July 2019 endorsed to form part of this permit or altered with the written consent of the Responsible Authority and the CFA) prepared in accordance with Clause 53.02-4.4 of this planning scheme and approved under this permit.*
- *State that if a dwelling is constructed on the land without a planning permit that the bushfire protection measures set out in the plan incorporated into the agreement must be implemented and maintained to the satisfaction of the responsible authority on a continuing basis.*

The landowner must pay the reasonable costs of the preparation, execution and registration of the Section 173 Agreement.

The Section 173 agreement must be prepared by Council's solicitors, to the satisfaction of the Responsible Authority and must be recorded on the folio of the Register to the subject land pursuant to Section 181 of the Planning and Environment Act 1987.

Council will undertake to have the agreement prepared upon written notification from the applicant. All fees associated with the documentation must be fully paid prior to execution and registration of the document by Council."

- D The Land is encumbered by mortgage number AQ029724J in which Westpac Banking Corporation is named as mortgagee. The Mortgagee has consented to the Owner entering into this Agreement.
- E This Agreement has been entered into in order to:
 - (i) comply with condition 22 of the Permit;
 - (ii) prohibit, restrict or regulate the use or development of the Land;

- (iii) achieve and advance the objectives of planning in Victoria or the objectives of the Scheme in relation to the Land.

F This Agreement is made under Division 2 of Part 9 of the Act.

OPERATIVE PROVISIONS

1 DEFINITIONS

In this Agreement:

- (a) **Act** means the *Planning and Environment Act 1987*.
- (b) **Agreement** means this Agreement, including the recitals and any annexures to this Agreement.
- (c) **Bushfire Management Plan** means the plan prepared by Fire Front Consultancies, Version 2, dated 22 July 2019, and endorsed by Council on 13 January 2020, a copy of which is held by the Owner.
- (d) **Business Day** means Monday to Friday excluding public holidays in Victoria.
- (e) **Dwelling** has the same meaning as set out in the Scheme.
- (f) **Land** means the land described as lot 1 on PS509307 being the whole of the land contained in certificate of title volume 11061 folio 716 and any part thereof.
- (g) **Lot** has the same meaning as in the *Subdivision Act 1988* and means a lot created as a result of the subdivision of the Land in accordance with the Permit.
- (h) **Mortgagee** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as mortgagee of the Land or any part of it.
- (i) **Owner** means the person or persons who are registered or are entitled to be registered as proprietor of an estate in the Land or any part thereof, and includes a mortgagee in possession.
- (j) **Permit** means planning permit 2018/231 issued in respect of the Land by Council on 31 October 2019 and amended on 24 August 2020 authorising the use and development of the Land for a three lot subdivision.
- (k) **Scheme** means the Murrindindi Planning Scheme or any other planning scheme which applies to the Land from time to time.

2 COMMENCEMENT

This Agreement comes into force on the date it was made as set out above.

3 ENDING OR AMENDING AGREEMENT

3.1 Ending or amending

This Agreement ends or is amended in accordance with the Act.

3.2 Cancellation or alteration of recording

As soon as reasonably practicable after this Agreement has ended or has been amended, the Council must, at the request and at the cost of the Owner, apply to the Registrar of Titles under the Act to cancel or alter the recording of this Agreement on the folio of the Register to the Land.

4 OWNER'S COVENANTS

4.1 Acknowledgement

The parties acknowledge that this Agreement has been prepared for the purpose of exempting the Land from the requirements to obtain a planning permit under clause 44.06-2 of the Scheme, in the following circumstances:

"A building or works consistent with an agreement under section 173 of the Act prepared in accordance with a condition of permit issued under the requirements of Clause 44.06-5."

4.2 Bushfire management

The Owner covenants and agrees that if a Dwelling is constructed on a Lot without a planning permit that the Owner will implement the bushfire protection measures set out in the Bushfire Management Plan for the relevant Lot on a continuing basis to the satisfaction of the Council and all at no cost to the Council.

4.3 Copy of Bushfire Management Plan

The owner covenants and agrees:

- 4.3.1 to keep a copy of the Bushfire Management Plan to ensure compliance with clause 4.2; and
- 4.3.2 that a copy of the Bushfire Management Plan will be given to any potential purchaser of the Land or any part of the Land.

4.4 Successors in title

Until this Agreement is recorded on the folio of the Register which relates to the Land pursuant to section 181 of the Act, the Owner must ensure that the Owner's successors in title give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement including requiring the successors in title to execute a deed agreeing to be bound by the terms of this Agreement. Until that deed is executed, the Owner, being a party to this Agreement, remains liable to perform all of the Owner's obligations contained in this Agreement.

4.5 Further assurance

The Owner must do all things necessary (including signing any further agreement, acknowledgment or document) to enable the Council to record this Agreement on the folio of the Register which relates to the Land.

4.6 Payment of Council's costs

The Owner agrees to pay on demand to the Council the Council's costs and expenses (including any legal fees incurred on a solicitor-client basis) of and incidental to the preparation, execution, recording, removal, amendment and enforcement of this Agreement.

4.7 **Mortgagee to be bound**

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes mortgagee in possession of the Land.

4.8 **Indemnity**

The Owner covenants to indemnify and keep the Council, its officers, employees, agents, workmen and contractors indemnified from and against all costs, expenses, losses or damages which they or any of them may sustain incur or suffer or be or become liable for or in respect of any suit action proceeding judgement or claim brought by any person arising from or referable to this Agreement or any non-compliance with this Agreement.

4.9 **Non-compliance**

If the Owner has not complied with this Agreement within 14 days after the date of service on the Owner by the Council of a notice which specifies the Owner's failure to comply with any provision of this Agreement, the Owner covenants:

- 4.9.1 to allow the Council its officers, employees, agents, workmen and contractors to enter the Land and rectify the non-compliance;
- 4.9.2 to pay to the Council on demand, the Council's reasonable costs and expenses (**Costs**) incurred as a result of the Owner's non-compliance;
- 4.9.3 to pay interest at the rate of 2% above the rate prescribed under section 2 of the *Penalty Interest Rates Act 1983* on all moneys which are due and payable but remain owing under this Agreement until they are paid in full;
- 4.9.4 if requested to do so by the Council, to promptly execute in favour of the Council a mortgage to secure the Owner's obligations under this Agreement,

and the Owner agrees:

- 4.9.5 to accept a certificate signed by the Chief Executive Officer of the Council (or any nominee of the Chief Executive Officer) as prima facie proof of the Costs incurred by the Council in rectifying the Owner's non-compliance with this Agreement;
- 4.9.6 that any payments made for the purposes of this Agreement shall be appropriated first in payment of any interest and any unpaid Costs of the Council and then applied in repayment of the principal sum;
- 4.9.7 that all Costs or other monies which are due and payable under this Agreement but which remain owing shall be a charge on the Land until they are paid in full; and
- 4.9.8 if the Owner executes a mortgage as required by clause 4.9.4, any breach of this Agreement is deemed to be a default under that mortgage.

4.10 **Council access**

The Owner covenants to allow the Council and its officers, employees, agents, workmen and contractors or any of them, to enter the Land (at any reasonable time) to assess compliance with this Agreement.

4.11 **Covenants run with the Land**

The Owner's obligations in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Land and every part of the Land.

4.12 **Owner's warranty**

The Owner warrants and covenants that:

- 4.12.1 the Owner is the registered proprietor (or is entitled to become the registered proprietor) of the Land and is also the beneficial owner of the Land;
- 4.12.2 the execution of this Agreement by the Owner complies with the Registrar's Requirements for Paper Conveyancing Transactions made under section 106A of the *Transfer of Land Act 1958*;
- 4.12.3 there are no mortgages, liens, charges or other encumbrances or leases or any rights inherent in any person other than the Owner affecting the Land which have not been disclosed by the usual searches of the folio of the Register for the Land or notified to the Council;
- 4.12.4 no part of the Land is subject to any rights obtained by adverse possession or subject to any easements or rights described or referred to in section 42 of the *Transfer of Land Act 1958*; and
- 4.12.5 until this Agreement is recorded on the folio of the Register which relates to the Land, the Owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the Land or any part of the Land without first disclosing to any intended purchaser, transferee, assignee or mortgagee the existence and nature of this Agreement.

5 **GENERAL**

5.1 **No fettering of Council's powers**

This Agreement does not fetter or restrict the Council's power or discretion in respect of any of the Council's decision making powers including but not limited to an ability to make decisions under the *Local Government Act 1989*, and the Act or to make or impose requirements or conditions in connection with any use or development of the Land or the granting of any planning permit, the approval or certification of any plans of subdivision or consolidation relating to the Land or the issue of a Statement of Compliance in connection with any such plans.

5.2 **Time of the essence**

Time is of the essence as regards all dates, periods of time and times specified in this Agreement.

5.3 **Counterparts**

- 5.3.1 This Agreement may be executed in any number of counterparts and all the counterparts together constitute one and the same instrument; and
- 5.3.2 A copy of an original executed counterpart received by email:
 - (a) must be treated as an original counterpart;

- (b) is sufficient evidence of the execution of the original; and
- (c) may be produced in evidence for all purposes in place of the original.

5.3.3 If the signatures on behalf of one party are on different counterparts, this will be taken to be, and have the same effect as, signatures on the same counterpart and on a single copy of this Agreement.

5.4 **Governing law and jurisdiction**

This Agreement is governed by and is to be construed in accordance with the laws of Victoria. Each party irrevocably and unconditionally submits to the non-exclusive jurisdiction of the courts and tribunals of Victoria and waives any right to object to proceedings being brought in those courts or tribunals.

5.5 **Enforcement and severability**

5.5.1 This Agreement shall operate as a contract between the parties and be enforceable as such in a Court of competent jurisdiction regardless of whether, for any reason, this Agreement were held to be unenforceable as an agreement pursuant to Division 2 of Part 9 of the Act.

5.5.2 If a Court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void, then it shall be severed and the other provisions of this Agreement shall remain operative.

6 **NOTICES**

6.1 **Service of notice**

A notice or other communication required or permitted, under this Agreement, to be served on a person must be in writing and may be served:

- 6.1.1 personally on the person;
- 6.1.2 by leaving it at the person's address set out in this Agreement;
- 6.1.3 by posting it by prepaid post addressed to that person at the person's current address for service;
- 6.1.4 by email to the person's current email address notified to the other party; or
- 6.1.5 by facsimile to the person's current number notified to the other party.

6.2 **Time of service**

A notice or other communication is deemed served:

- 6.2.1 if served personally or left at the person's address, upon service;
- 6.2.2 if posted within Australia to an Australian address by express post, two Business Days; by standard post, six Business Days after posting;
- 6.2.3 if sent by email, subject to the clause 6.2.5, at the time of receipt as specified in section 13A of the *Electronic Transactions (Victoria) Act 2000*;

- 6.2.4 if served by facsimile, subject to the clause 6.2.5, at the time indicated on the transmission report produced by the sender's facsimile machine indicating that the facsimile was sent in its entirety to the addressee's facsimile; and
- 6.2.5 if received after 5.00pm in the place of receipt or on a day which is not a Business Day, at 9.00am on the next Business Day.

6.3 **Proof of receipt of notice by email**

In proving that a notice given by email has been received by the recipient, it is sufficient to produce an acknowledgement or receipt that the email has reached the recipient's email address.

7 **INTERPRETATION**

In this Agreement, unless the contrary intention appears:

- 7.1 the singular includes the plural and vice versa;
- 7.2 a reference to a document or instrument, including this Agreement, includes a reference to that document or instrument as novated, altered or replaced from time to time;
- 7.3 a reference to an individual or person includes a partnership, body corporate, government authority or agency and vice versa;
- 7.4 a reference to a party includes that party's executors, administrators, successors, substitutes and permitted assigns;
- 7.5 words importing one gender include other genders;
- 7.6 other grammatical forms of defined words or expressions have corresponding meanings;
- 7.7 a covenant, undertaking, representation, warranty, indemnity or agreement made or given by:
 - 7.7.1 two or more parties; or
 - 7.7.2 a party comprised of two or more persons,is made or given and binds those parties or persons jointly and severally;
- 7.8 a reference to a statute, code or other law includes regulations and other instruments made under it and includes consolidations, amendments, re-enactments or replacements of any of them;
- 7.9 a recital, schedule, annexure or description of the parties forms part of this Agreement;
- 7.10 if an act must be done on a specified day that is not a Business Day, the act must be done instead on the next Business Day;
- 7.11 if an act required to be done under this Agreement on a specified day is done after 5.00pm on that day in the time zone in which the act is performed, it is taken to be done on the following day;
- 7.12 a party that is a trustee is bound both personally and in its capacity as trustee;
- 7.13 a reference to an authority, institution, association or body (original entity) that has ceased to exist or been reconstituted, renamed or replaced or whose powers or functions have been

transferred to another entity, is a reference to the entity that most closely serves the purposes or objects of the original entity;

- 7.14 headings and the provision of a table of contents are for convenience only and do not affect the interpretation of this Agreement.

EXECUTED pursuant to Division 2 of Part 9 of the Act.

SIGNED SEALED AND DELIVERED by
MICHAEL CHESWORTH Acting Chief
Executive Officer as the delegate of the
MURRINDINDI SHIRE COUNCIL in the
presence of:

)
)
)
)
)



Michael Chesworth

*[If witnessing in person and not by audio visual
link, cross out the following paragraph.]*

I confirm that execution of this document by
the signatory was witnessed by me over
audio visual link in accordance with the
COVID-19 Omnibus (Emergency Measures)
(Electronic Signing and Witnessing)
Regulations 2020 (Vic).



Signature of witness

Louise Chapple

Name of witness (print)

28 Perkins Street, Alexandra

Usual address

Date: 1 June 2021

SIGNED SEALED AND DELIVERED
by **SIMON KEITH PATERSON** in the
presence of:

)
)

SD

L Forman

Signature of witness



Louise Forman

Name (print)

Authorised Consular Employee
Australian High Commission
25 Napier Road
Singapore 258507
Tel: +65 6836 4100

AU404341B

MORTGAGEE'S CONSENT

WESTPAC BANKING CORPORATION as Mortgagee under Mortgage No. AQ029724J which encumbers the Land consents to the Owner entering into this Agreement and agrees to be bound by the terms of and conditions of this Agreement if the Mortgagee becomes mortgagee in possession of the Land.

DATED: 17/5/2021

Executed for and on behalf of
WESTPAC BANKING CORPORATION

Westpac Banking Corporation
ABN 33 007 457 141 the
Mortgagee under Mortgage

No. AQ029724J HEREBY
CONSENTS to the within
dated this 17th day of May 2021
Westpac Banking Corporation
By its Attorney

General Power of Attorney dated
27 January 2001 filed to the
Permanent Order Book No. 277
at page 016
in the presence of

Grant Jennings
Tier Three Attorney
The Mortgage Centre

Signature of Witness

Lachlan James

Name of Witness (BLOCK LETTERS)

REVISIONS		
ISSUE No.	DATE	COMMENTS
REV-1	15/12/2021	PRELIMINARY ISSUE
REV-2	10/02/2022	PRELIMINARY ISSUE
REV-3	19/05/2022	PRELIMINARY ISSUE
REV-4	03/10/2022	PRELIMINARY ISSUE
REV-5	19/10/2022	PRELIMINARY ISSUE
REV-6	18/11/2022	TOWN PLANNING ISSUE
REV-7	18/08/2023	AMENDED TOWN PLANNING ISSUE
REV-8	04/09/2023	AMENDED TOWN PLANNING ISSUE

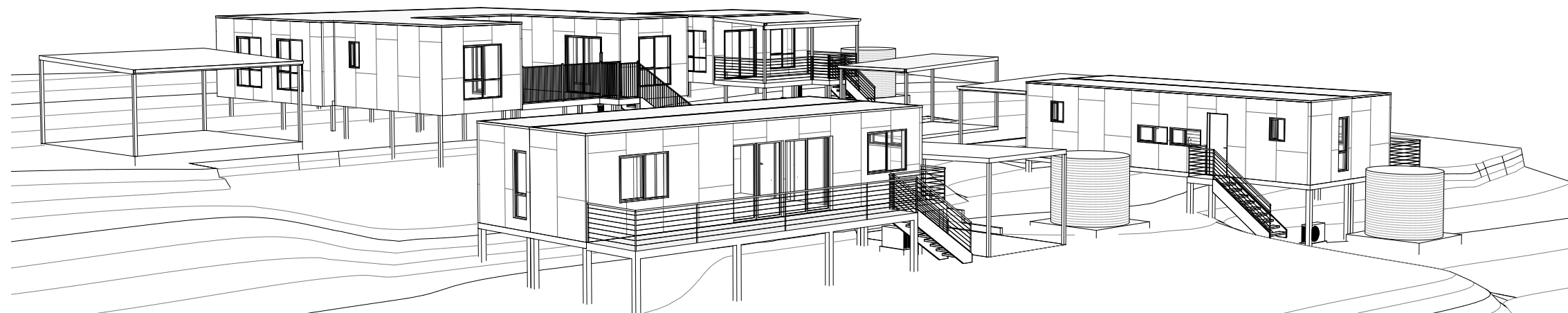


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DRAWING LIST	
SHEET No.	SHEET NAME
01	EXISTING SITE PLAN
02	PROPOSED SITE PLAN
03	SITE COMPLIANCE PLANS
04	GARDEN AREA PLAN
05	DWELLING 1 - MIRANDA ELEVATIONS
06	DWELLING 2- SELINA 1 ELEVATIONS
07	DWELLING 3- SELINA 2 ELEVATIONS
08	DWELLING 4- AVON ELEVATIONS



PROJECT INFORMATION

CLIENT: VANJA & ANDY JOANNIDIS

ADDRESS: 40 KINGS ROAD, MARYSVILLE

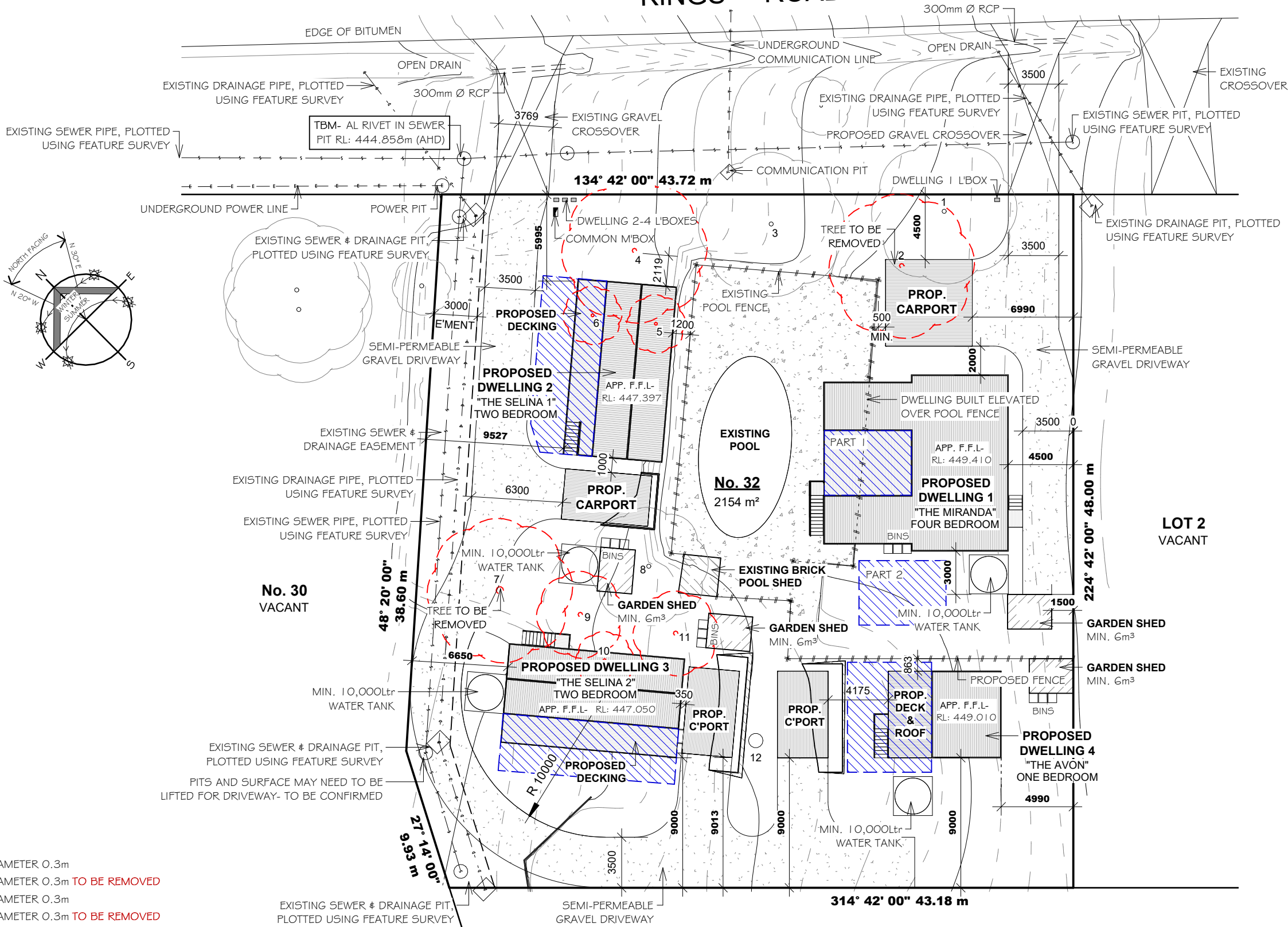
JOB No.: J00084

TYPE: CUSTOM

DATE: 04/09/2023

TOWN PLANNING PLANS
NOT TO BE USED FOR CONSTRUCTION PURPOSES

KINGS ROAD



PROPOSED SITE PLAN

1 : 300

LOT 3
VACANT

TOWN PLANNING PLANS

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EXISTING TREE SCHEDULE

- TREE 1- SPREAD 10m, HEIGHT 15m, DIAMETER 0.3m
TREE 2- SPREAD 10m, HEIGHT 15m, DIAMETER 0.3m **TO BE REMOVED**
TREE 3- SPREAD 10m, HEIGHT 15m, DIAMETER 0.3m
TREE 4- SPREAD 10m, HEIGHT 15m, DIAMETER 0.3m **TO BE REMOVED**
TREE 5- SPREAD 4m, HEIGHT 8m, DIAMETER 0.2m **TO BE REMOVED**
TREE 6- SPREAD 4m, HEIGHT 8m, DIAMETER 0.2m **TO BE REMOVED**
TREE 7- SPREAD 10m, HEIGHT 15m, DIAMETER 0.5m **TO BE REMOVED**
TREE 8- SPREAD 8m, HEIGHT 10m, DIAMETER 0.3m
TREE 9- SPREAD 6m, HEIGHT 10m, DIAMETER 0.3m **TO BE REMOVED**
TREE 10- SPREAD 4m, HEIGHT 6m, DIAMETER 0.2m **TO BE REMOVED**
TREE 11- SPREAD 6m, HEIGHT 8m, DIAMETER 0.3m **TO BE REMOVED**
TREE 12- LARGE TREE STUMP



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PROJECT ADDRESS:
40 KINGS ROAD, MARYSVILLE

JOB No.:

J00084

TYPE:

CUSTOM

ISSUE No.:

DATE:

REV-8

04/09/2023

DRAWN BY:

B.M

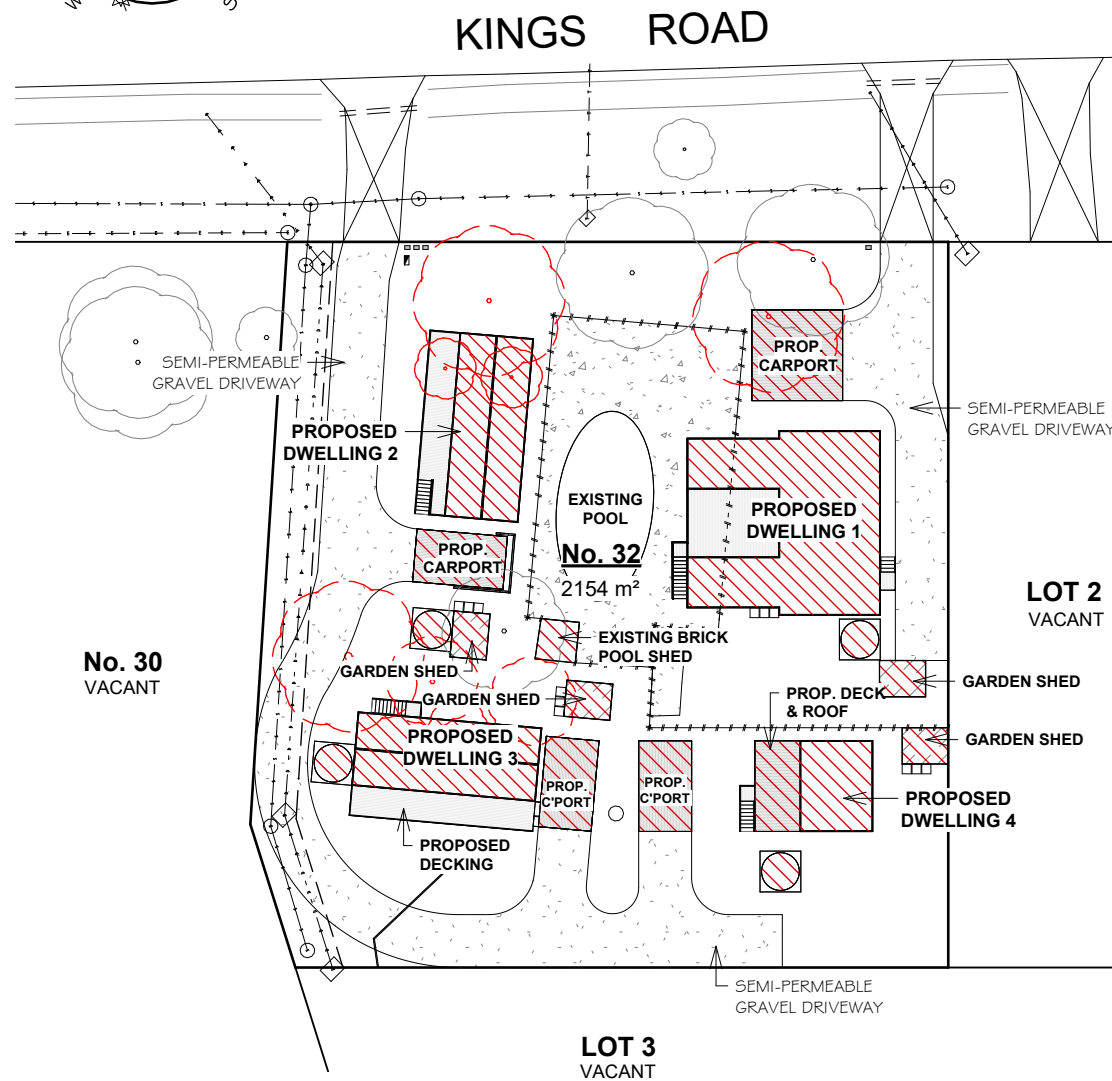
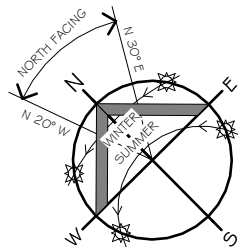
CHECKED BY:

G.P

DRAWING:

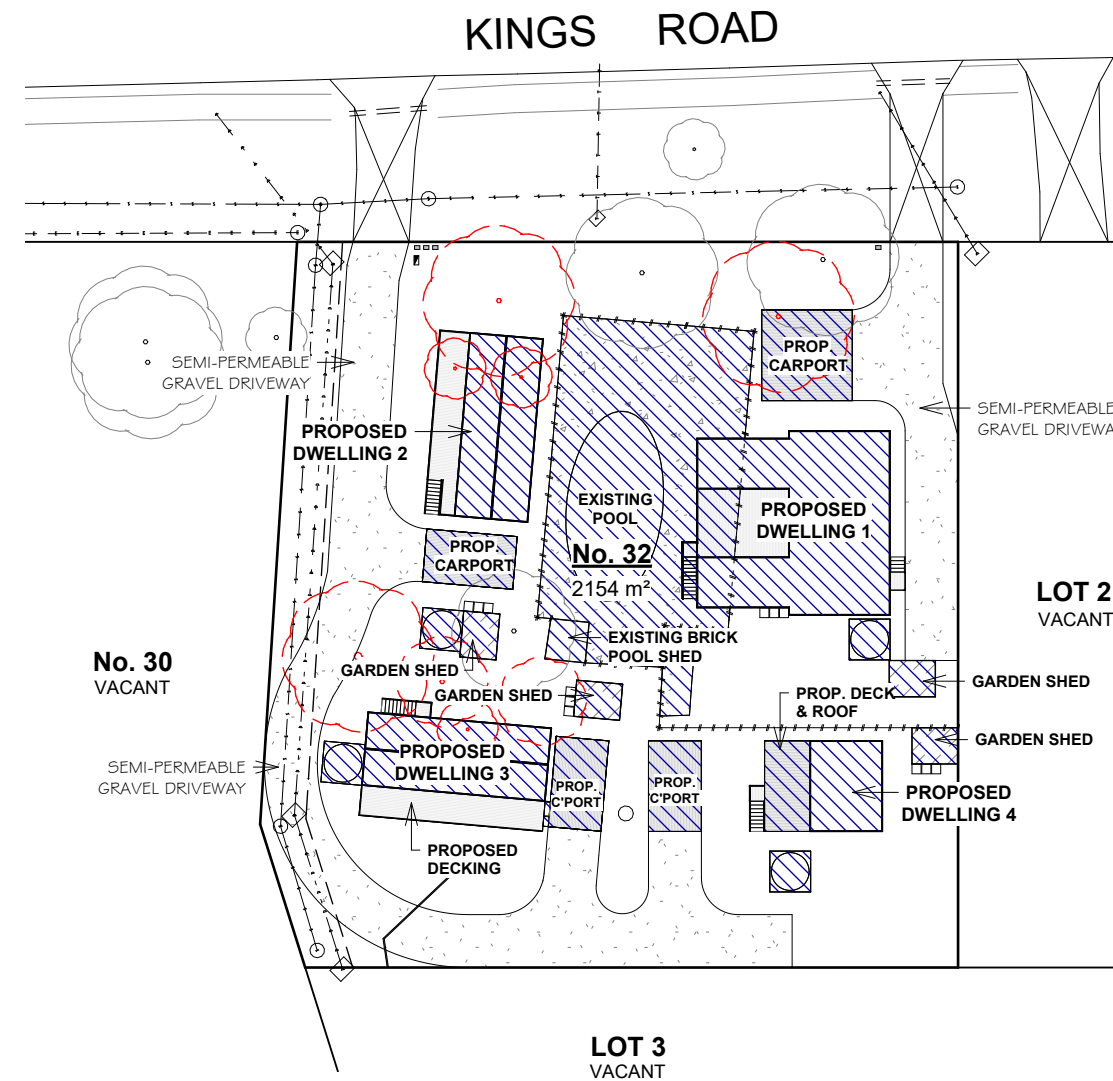
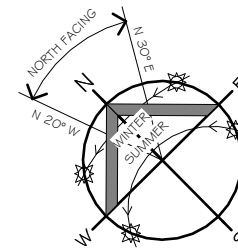
PROPOSED SITE PLAN

SCALE: As indicated (A3 SHEET) SHEET No.: 02



SITE COVERAGE PLAN

1 : 500



IMPERVIOUS AREA PLAN

1 : 500

SITING COMPLIANCE TABLE						
	SITE AREA m ²	COV. m ²	COV. %	IMP. m ²	IMP. %	GARDEN %
TOTAL	2150	442.72	20.59	713.05	33.16	54.20



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PROJECT ADDRESS:
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JOB No.:
J00084

TYPE:
CUSTOM

ISSUE No.:
DATE: 04/09/2023

DRAWN BY: B.M.
CHECKED BY: G.P.

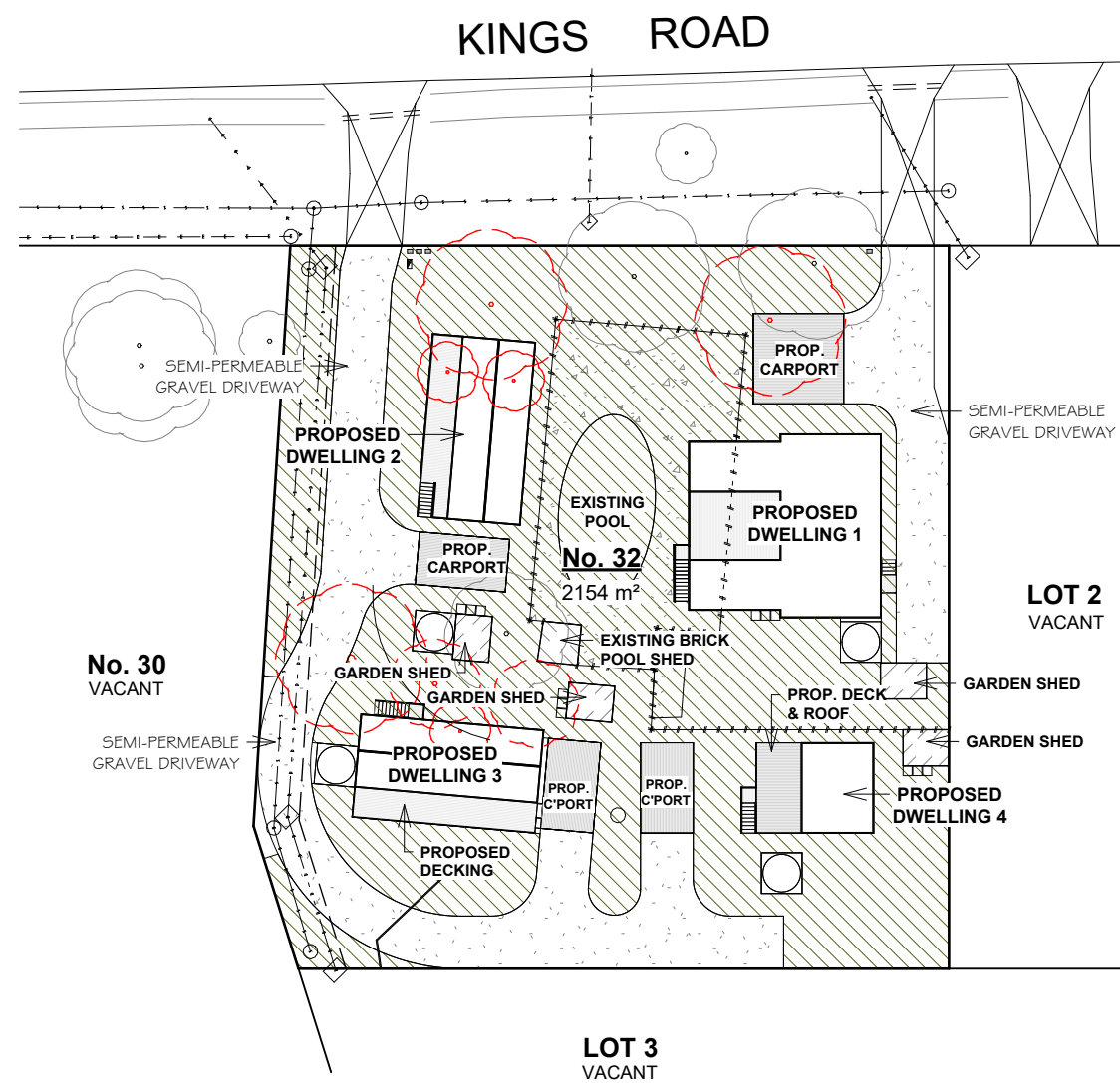
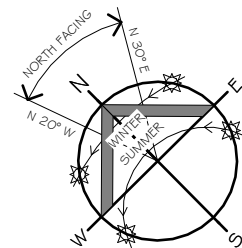
REV-8

DRAWING:

SITE COMPLIANCE PLANS

SCALE: As indicated (A3 SHEET) SHEET No.: 03

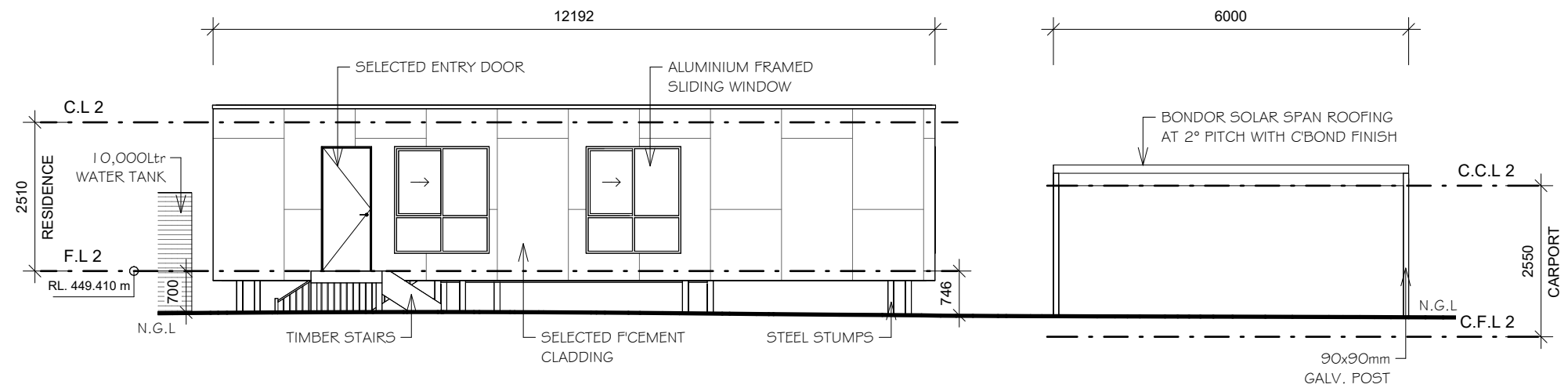
TOWN PLANNING PLANS
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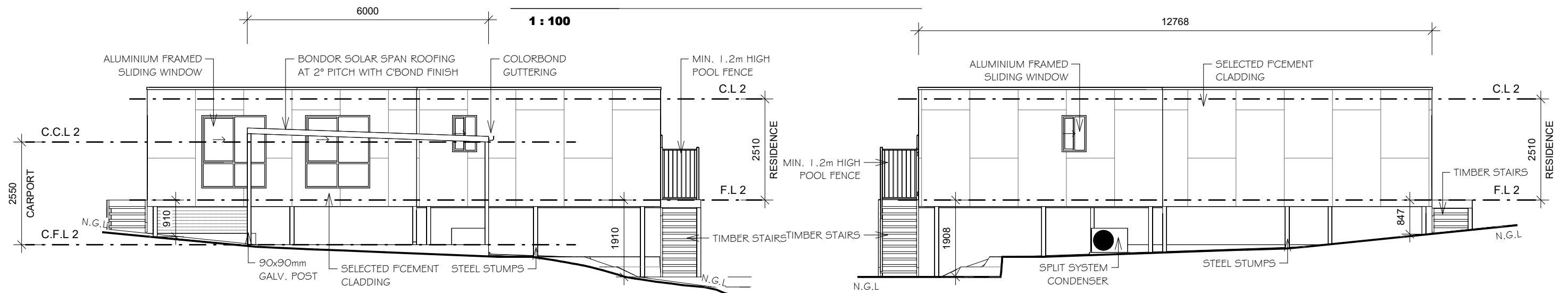
GARDEN AREA PLAN
1 : 500

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			PROJECT ADDRESS: 40 KINGS ROAD, MARYSVILLE	TYPE: CUSTOM	DATE: 04/09/2023			DRAWN BY: B.M
						CHECKED BY: G.P	SCALE: 1 : 500 (A3 SHEET)	SHEET No.: 04



MIRANDA S.E ELEVATION

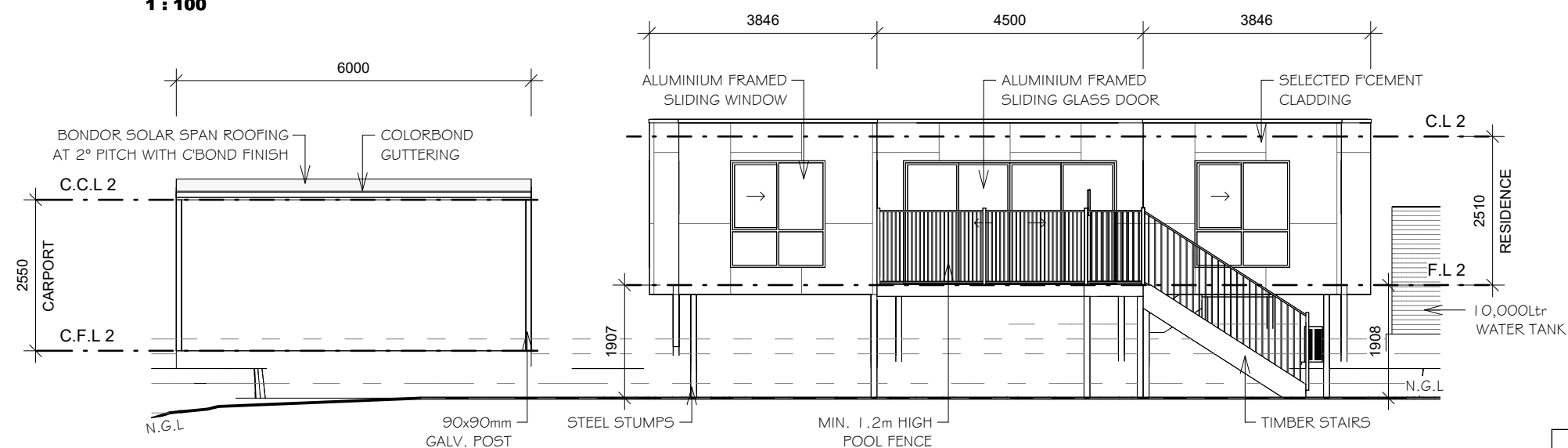


MIRANDA N.E ELEVATION

1 : 100

MIRANDA S.W ELEVATION

1 : 100



MIRANDA N.W ELEVATION

1 : 100

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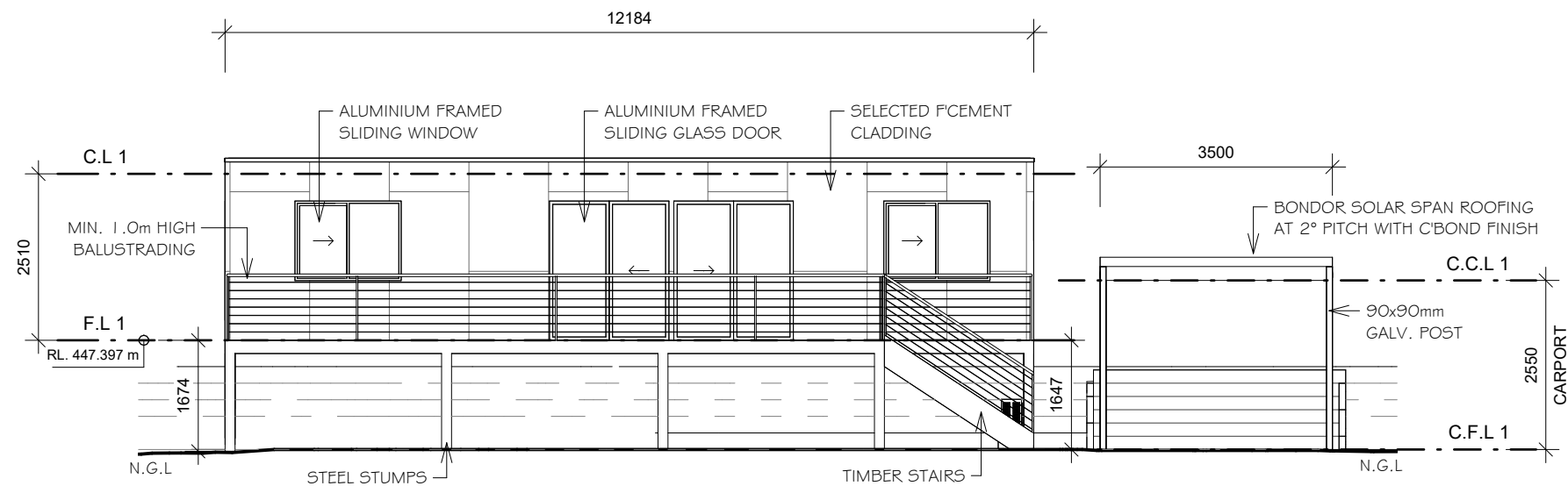
REFERENCE No.:
CUSTOM

ISSUE No.: REV-8
DATE: 04/09/2023

DRAWN BY: B.M
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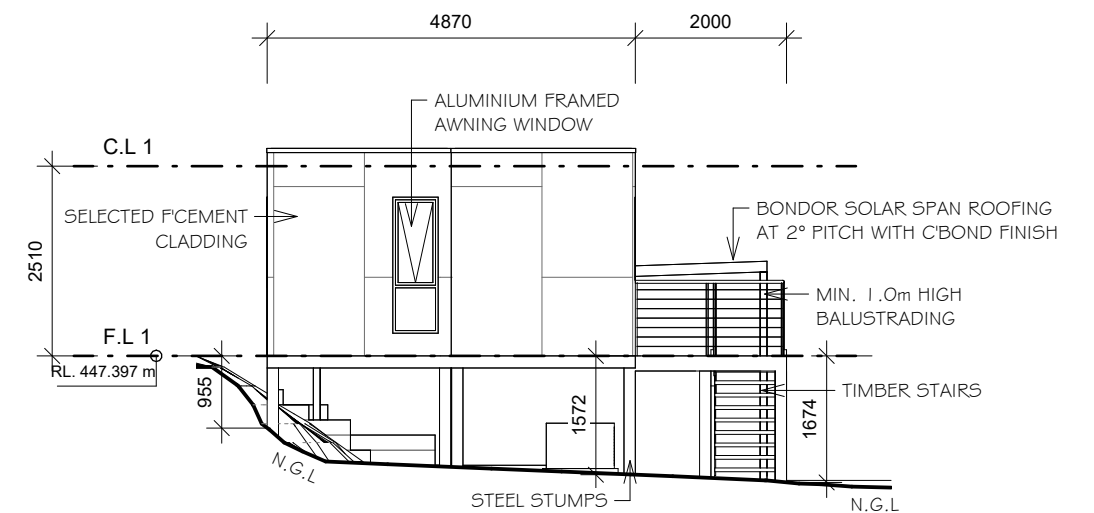
DRAWING:
**DWELLING 1 - MIRANDA
ELEVATIONS**

SCALE: 1 : 100 (A3 SHEET) SHEET No.: 05



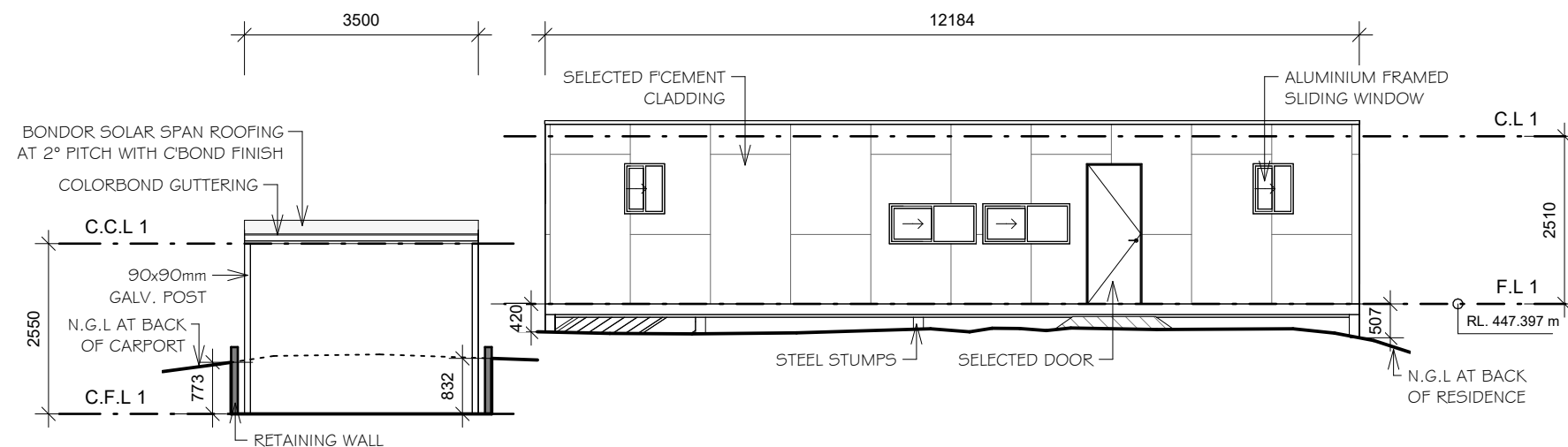
SELINA 1 N.W ELEVATION

1 : 100



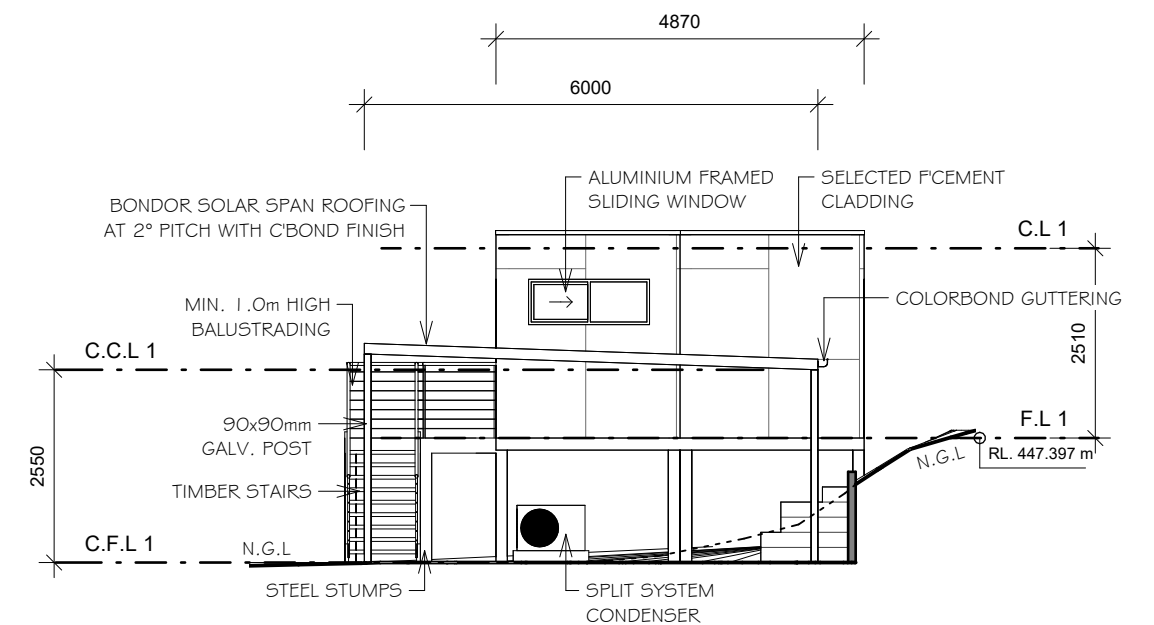
SELINA 1 N.E ELEVATION

1 : 100



SELINA 1 S.E ELEVATION

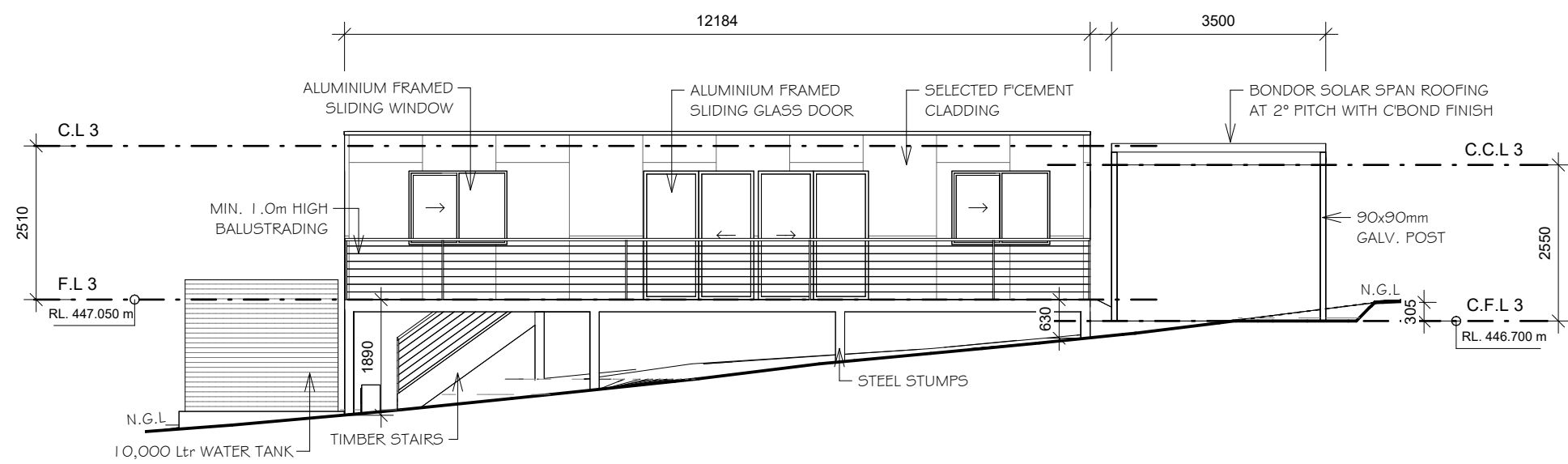
1 : 100



SELINA 1 S.W ELEVATION

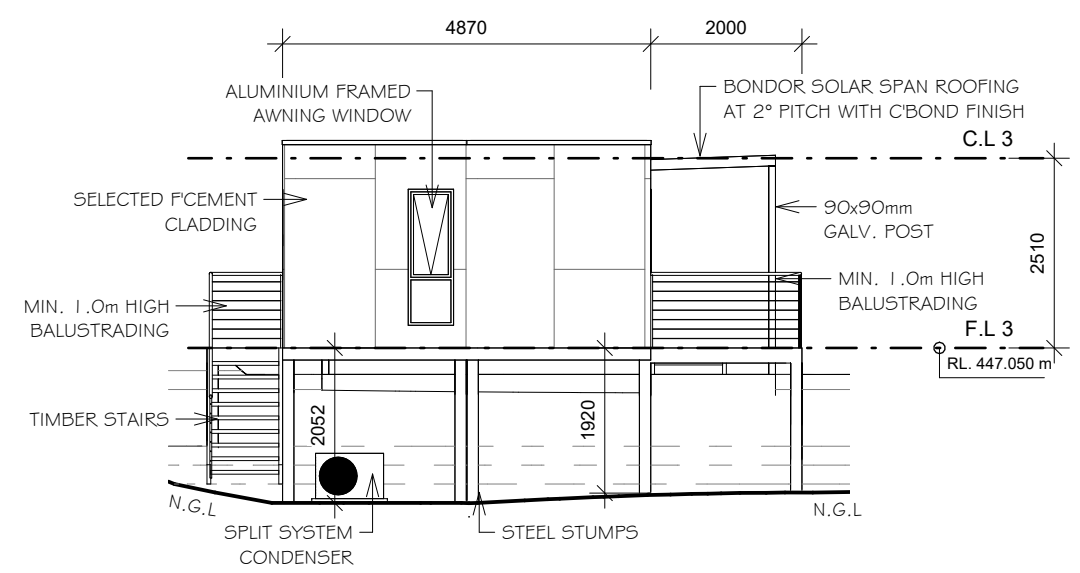
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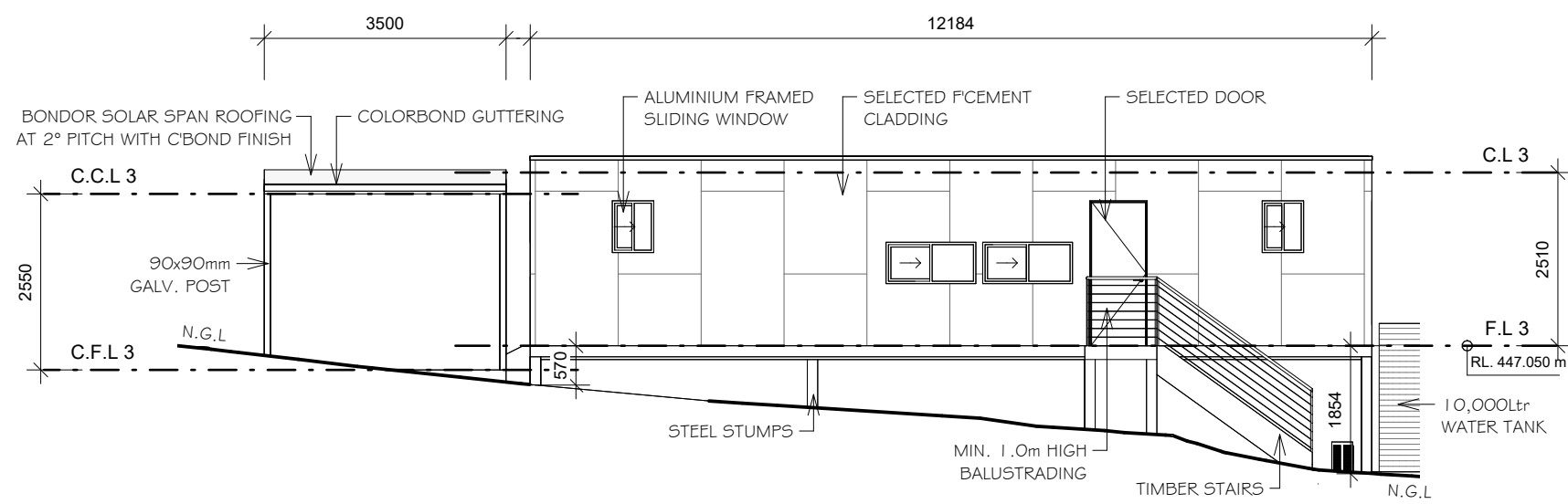
SELINA 2 S.W ELEVATION

1 : 100



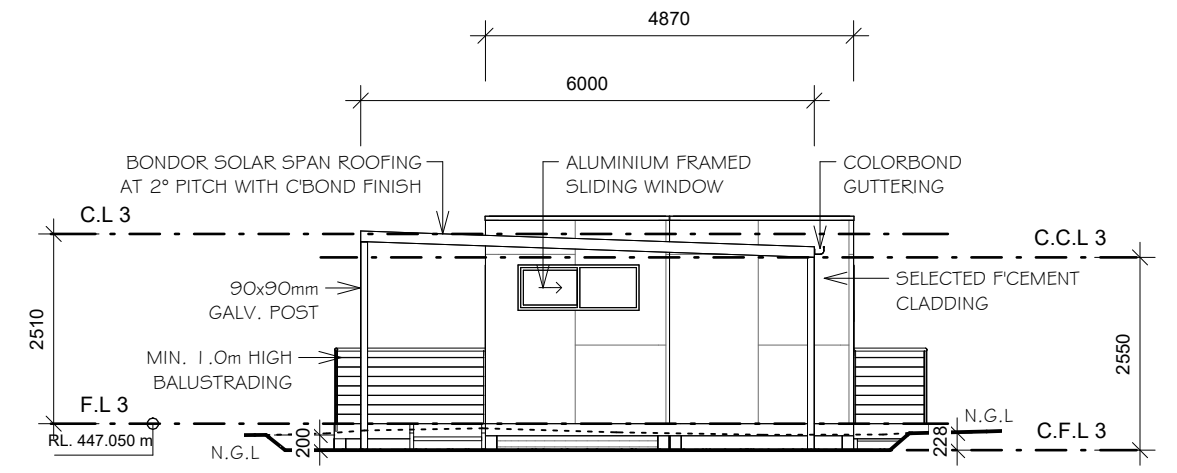
SELINA 2 N.W ELEVATION

1 : 100



SELINA 2 N.E ELEVATION

1 : 100



SELINA 2 S.E ELEVATION

1 : 100

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PROJECT ADDRESS:
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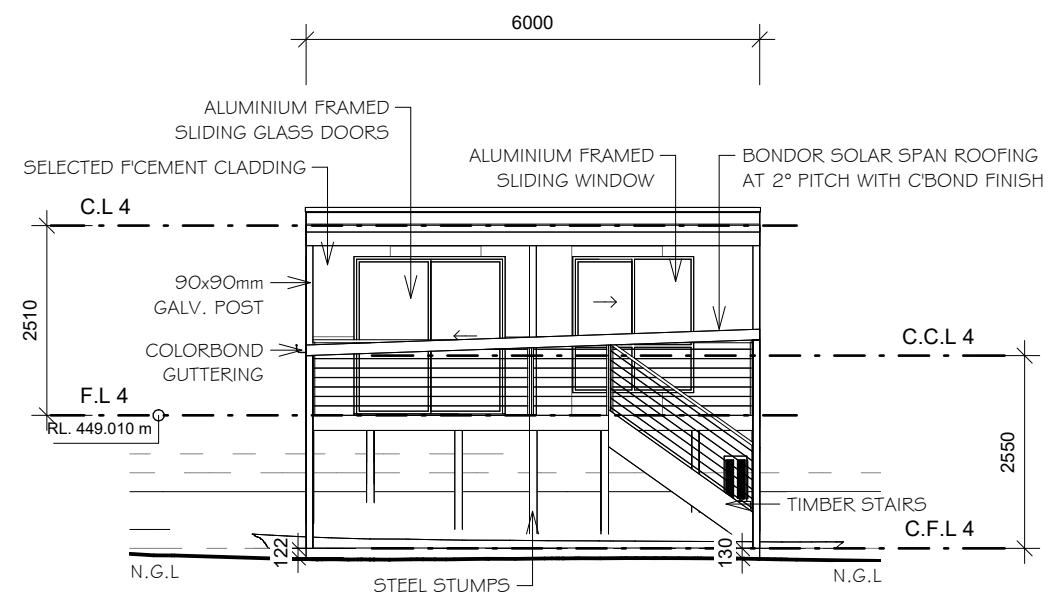
REFERENCE No.:
CUSTOM

ISSUE No.:
DATE: 04/09/2023

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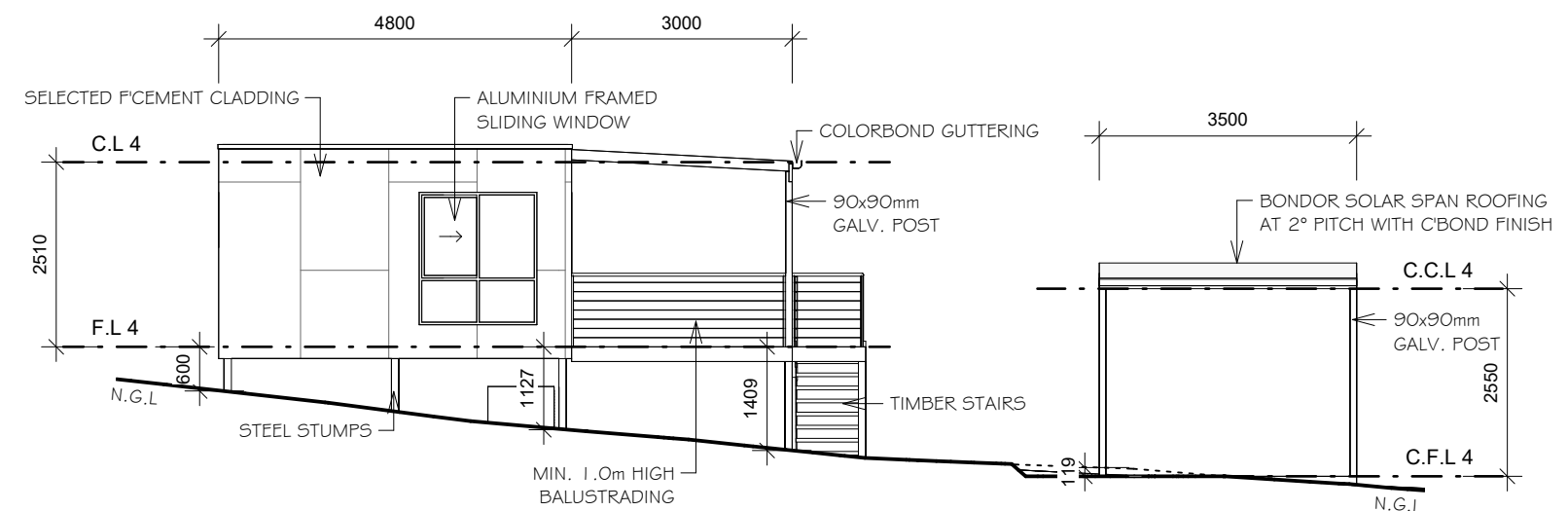
DRAWING:
**DWELLING 3- SELINA 2
ELEVATIONS**

SCALE: 1 : 100 (A3 SHEET) SHEET No.: 07



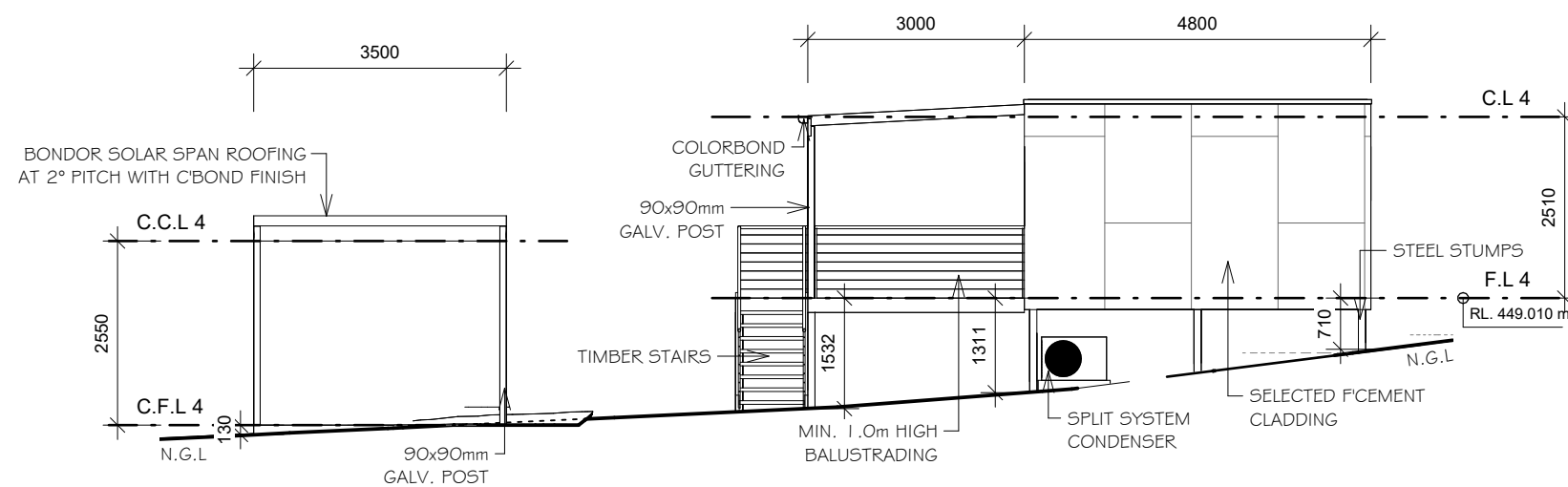
AVON N.W ELEVATION

1 : 100



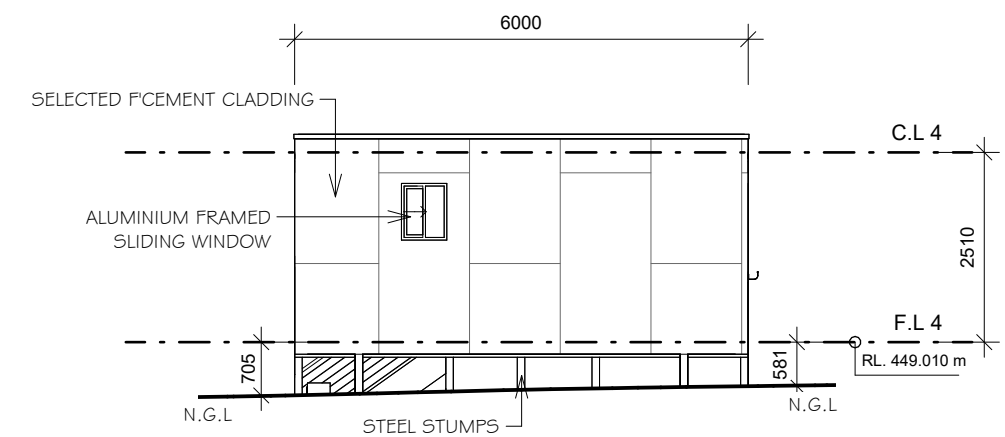
AVON N.E ELEVATION

1 : 100



AVON S.W ELEVATION

1 : 100



AVON S.E ELEVATION

1 : 100

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REFERENCE No.:
CUSTOM

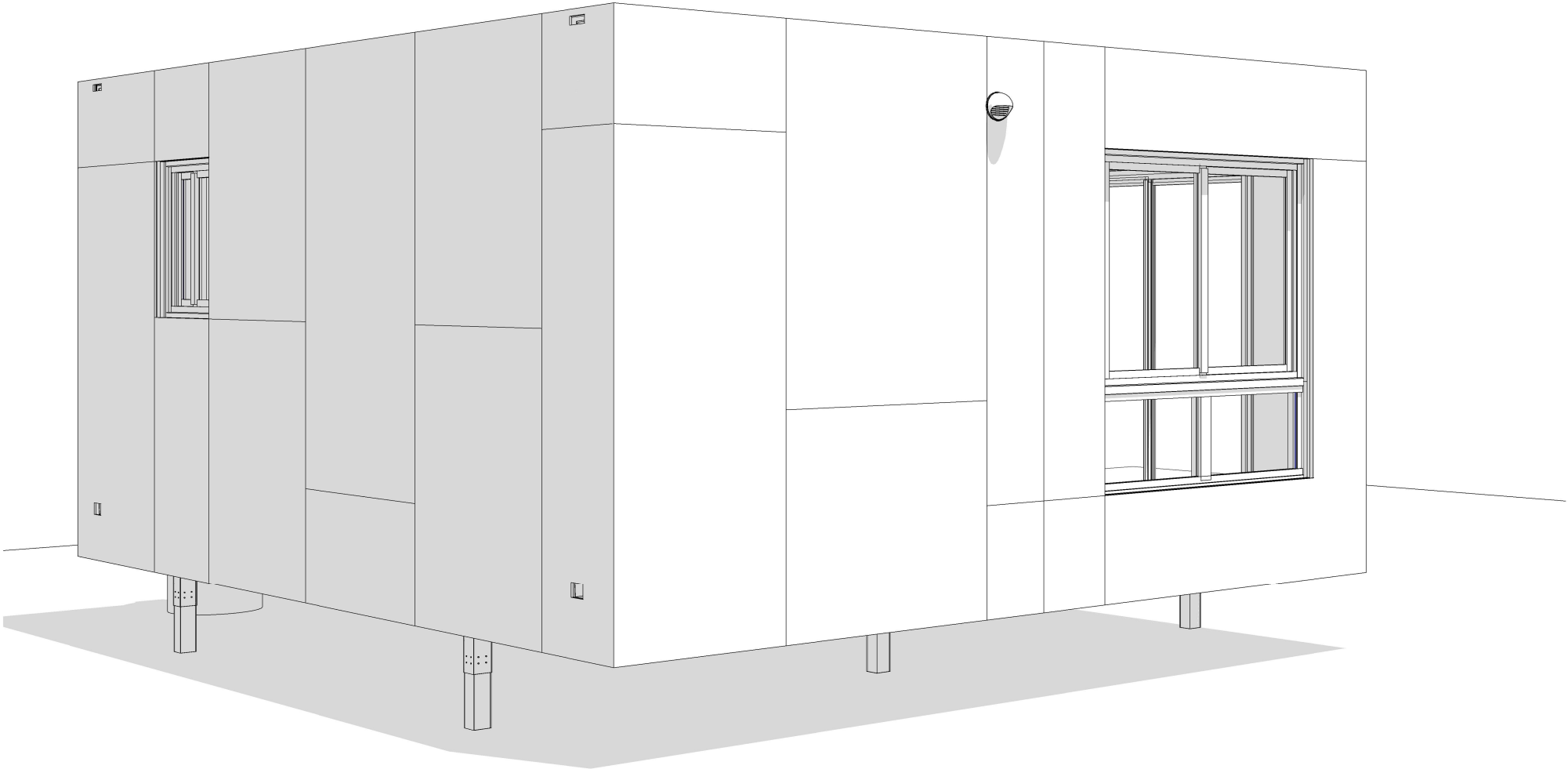
ISSUE No.: REV-8
DATE: 04/09/2023

DRAWN BY: B.M
CHECKED BY: G.P

DRAWING:
**DWELLING 4- AVON
ELEVATIONS**
SCALE: 1 : 100 (A3 SHEET) SHEET No.: 08

WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

AVON



6HOMES

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B	Revision 2	23.11.2021
A	Revision 1	10.11.2021
REV	DESCRIPTION	DATE

STYLE: AVON ADDRESS:
JOB NO.

CLIENT:
SHEET 000 SHEET TOTALS

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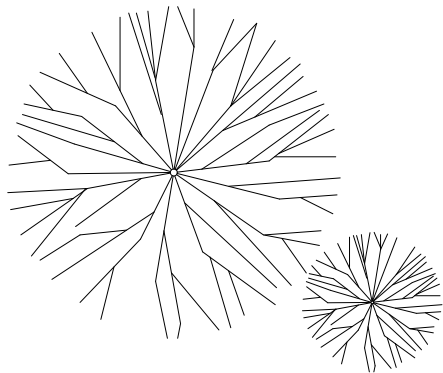
2 x 20'

AVON

29.6 m²

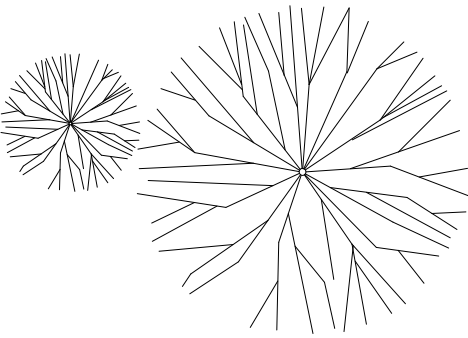
6058 x 4886

1:35@A3



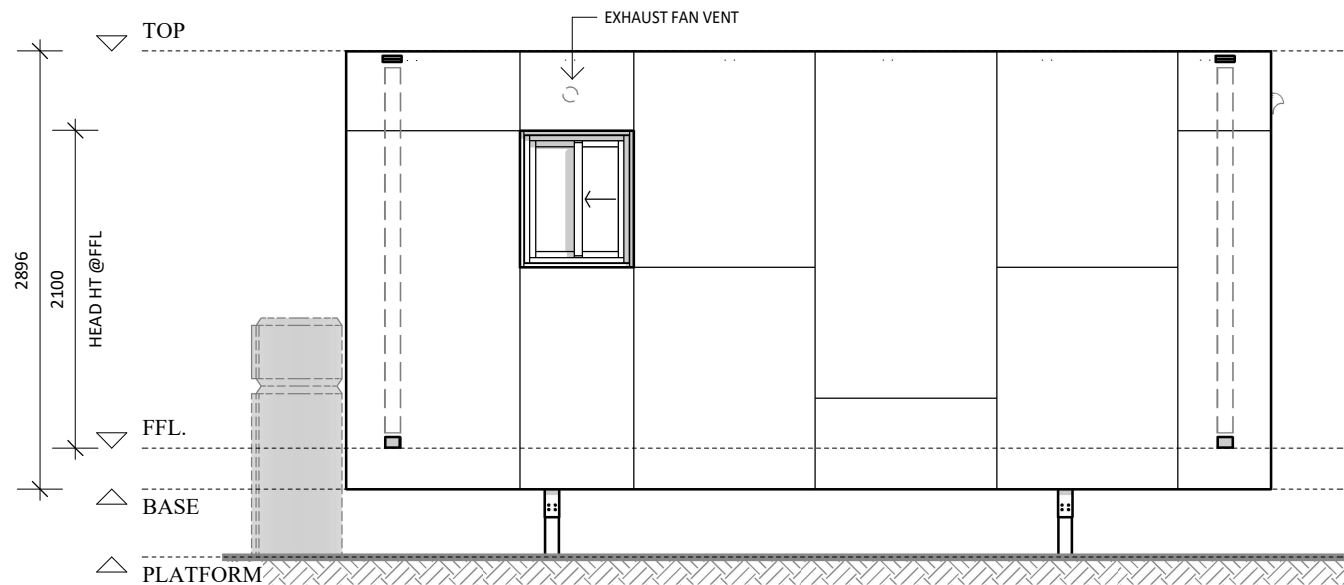
LEGEND

- 1. BEDROOM
- 2. LIVING
- 3. DINING
- 4. BATHROOM
- 5. KITCHEN

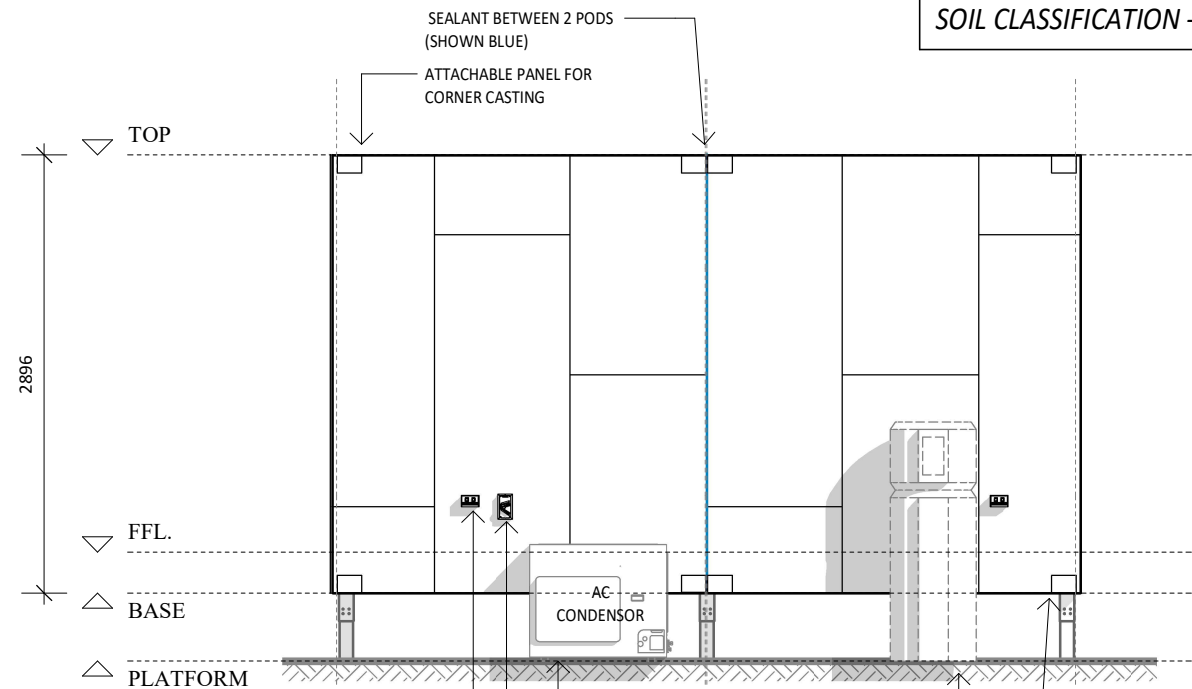


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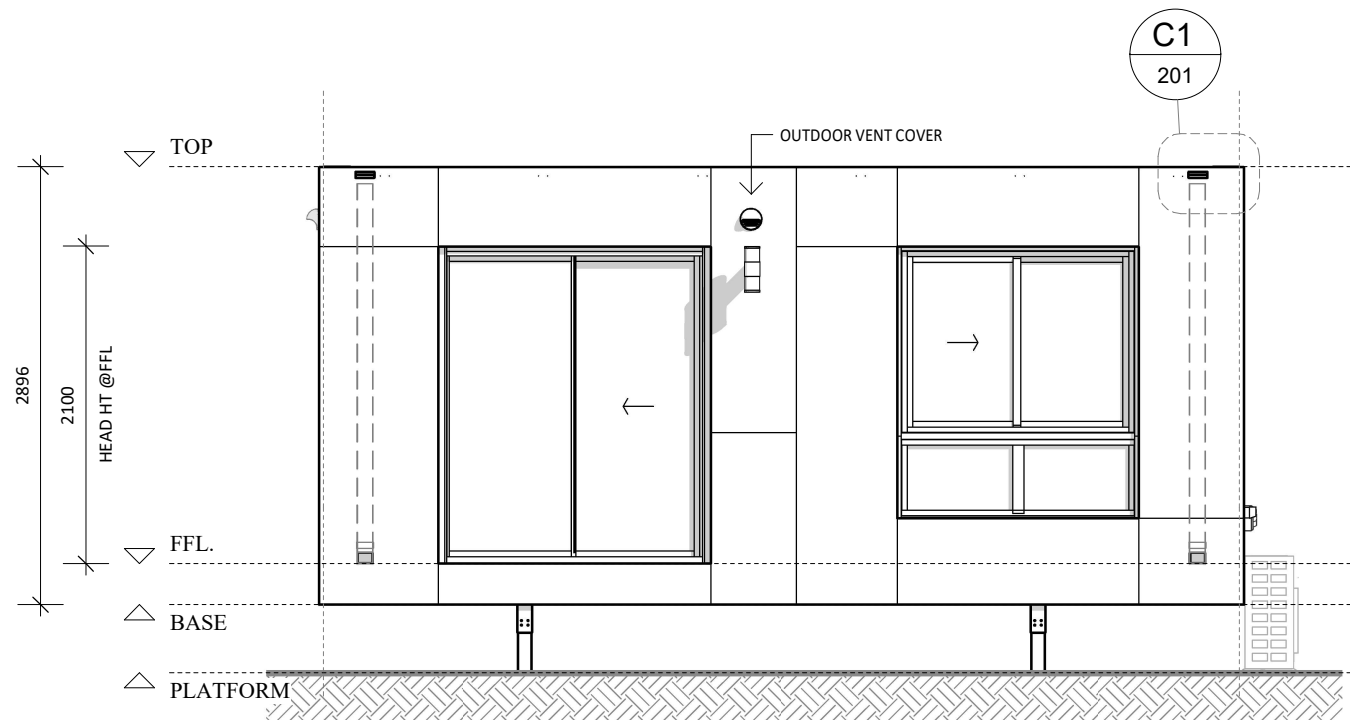
WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



E1
101
ELEVATION 1
scale 1:50



E2
101
ELEVATION 2
scale 1:50



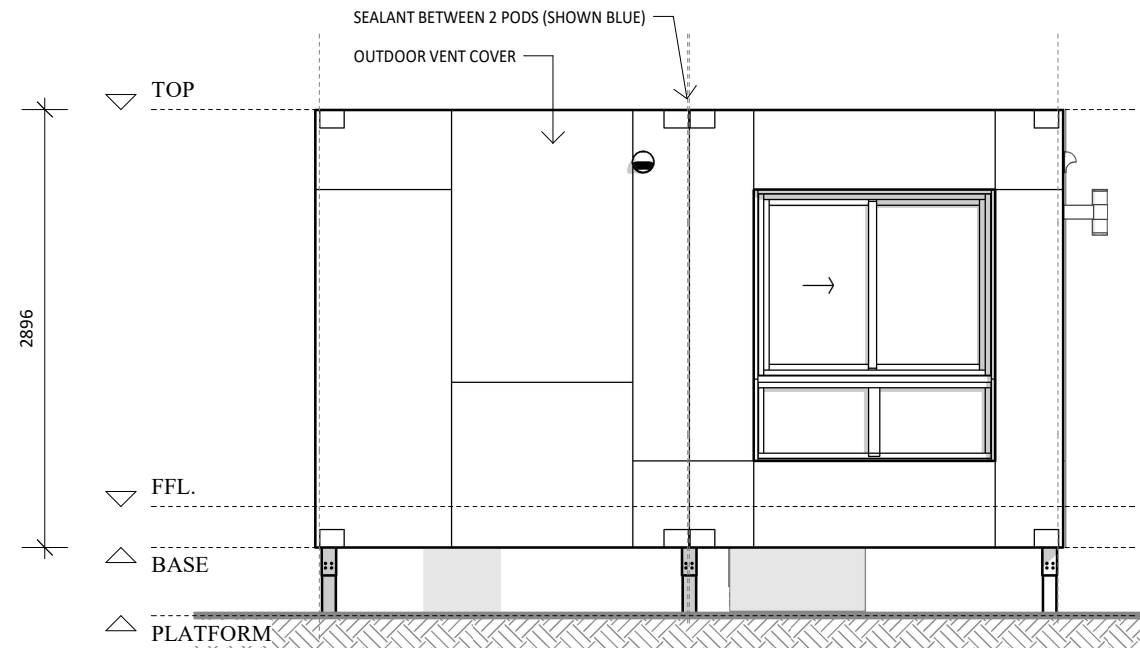
E3
101
ELEVATION 3
scale 1:50

NOTE - EXTERNAL LIGHTS

- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

SECURITY FLYSCREEN

- PLEASE PROVIDE SECURITY FLYSCREENS TO ALL OPENINGS. (PART OF WINDOW & DOOR PROFILE IF POSSIBLE)



E4
101
ELEVATION 4
scale 1:50

NOTE - STUMPS

- FOOTING + STUMPS SUPPLIED AND INSTALLED ON SITE BY OTHERS.
- FOOTING ENGINEERED BY OTHERS.
- PLEASE REFER TO ENGINEER'S DRAWING FOR DETAIL.



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A	Revision 1	10.11.2021
REV	DESCRIPTION	DATE

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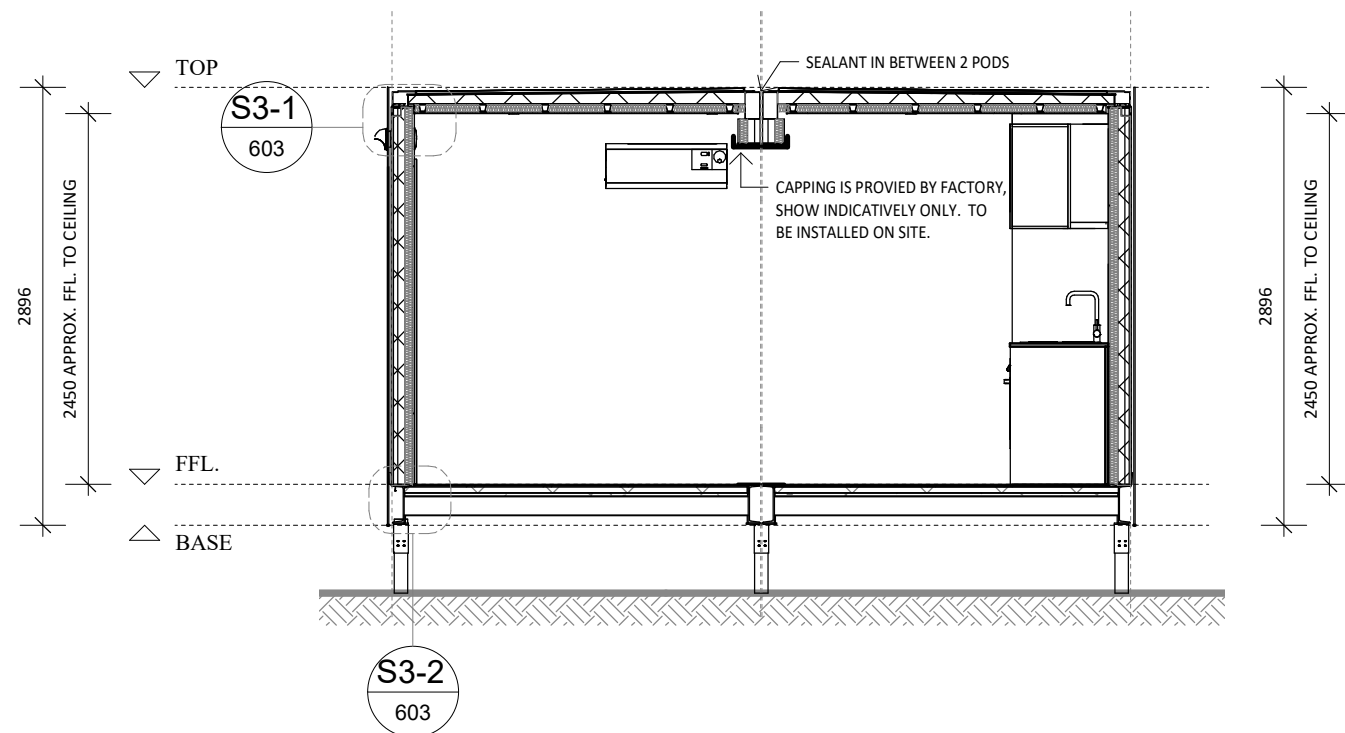
SHEET 200

SHEET TOTALS

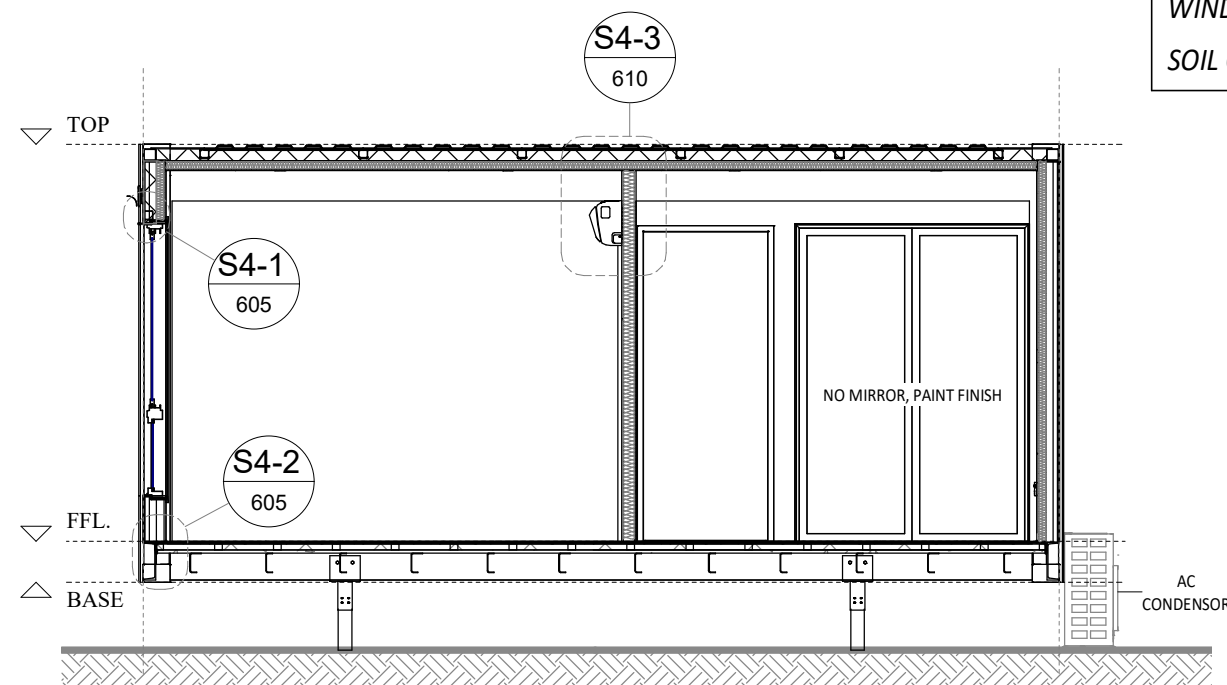
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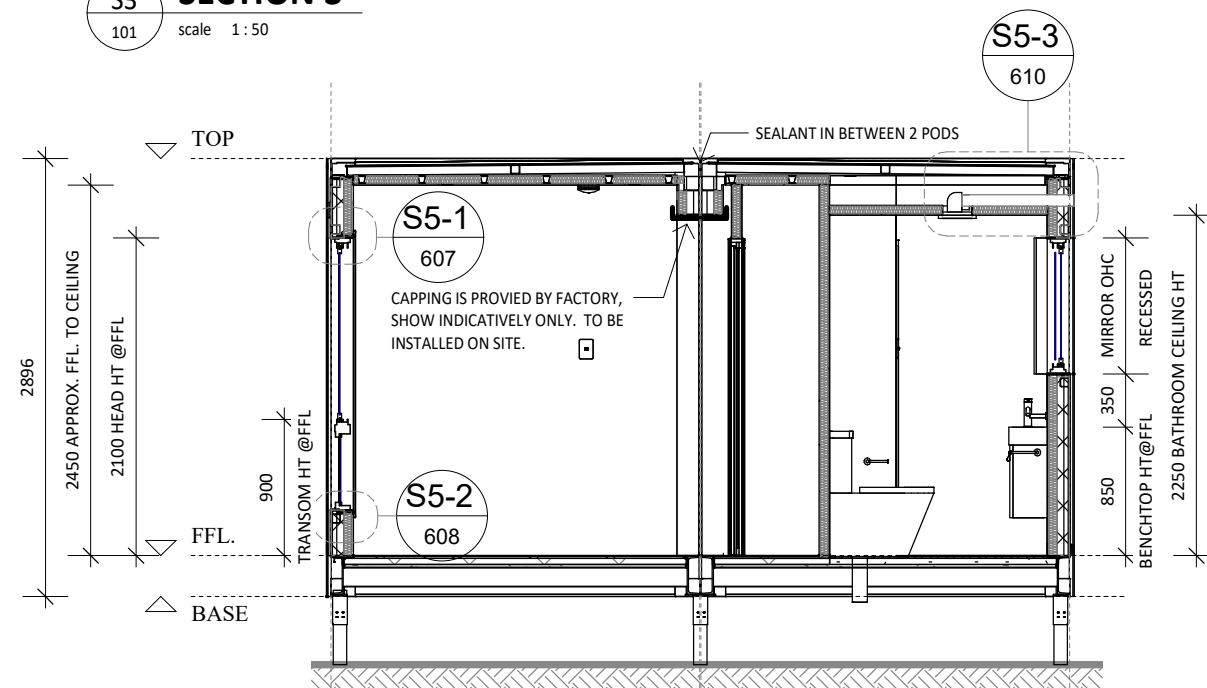
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SOIL CLASSIFICATION - CLASS N/A



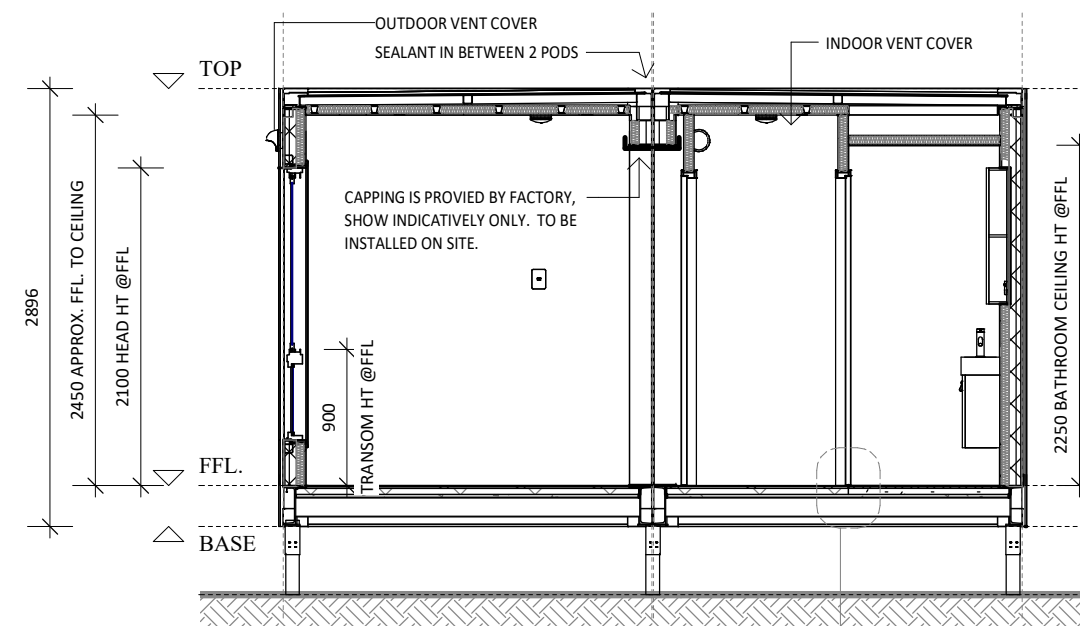
S3 SECTION 3
101 scale 1:50



S4 SECTION 4
101 scale 1:50



S5 SECTION 5
101 scale 1:50



S6 SECTION 6
101 scale 1:50

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- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

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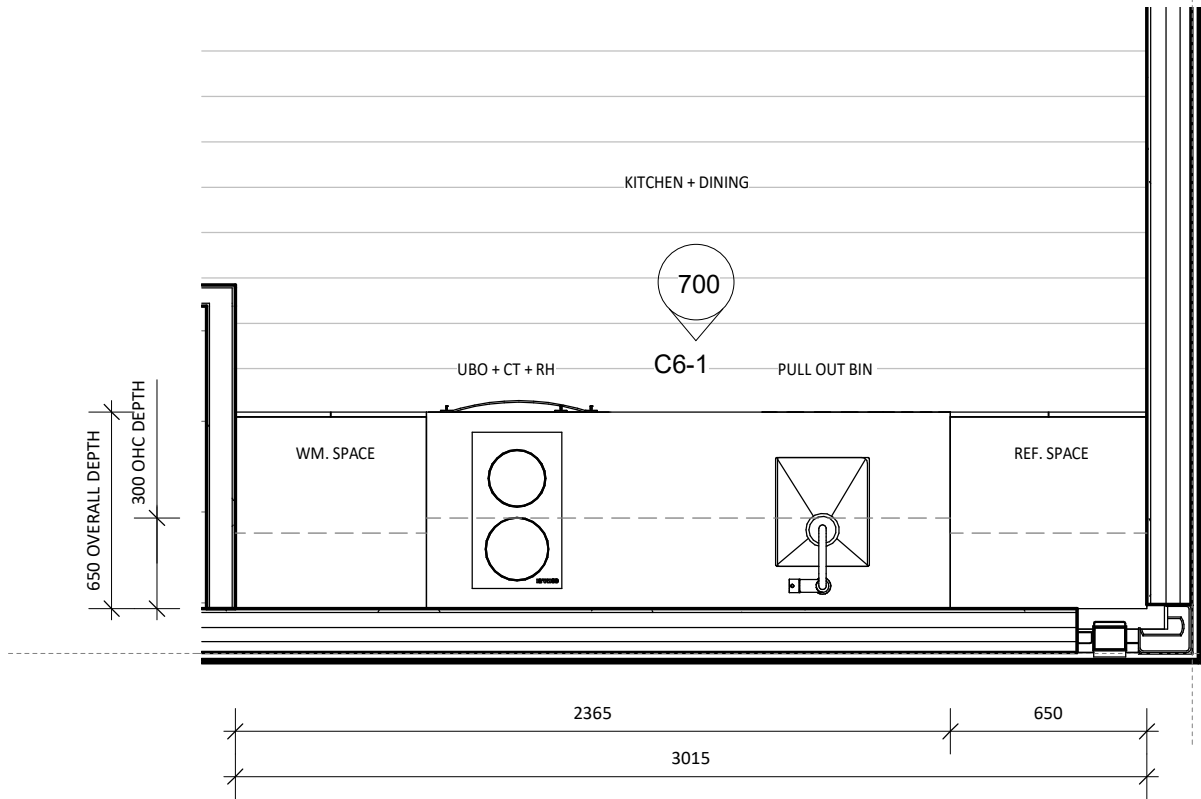
SHEET 600

SHEET TOTALS

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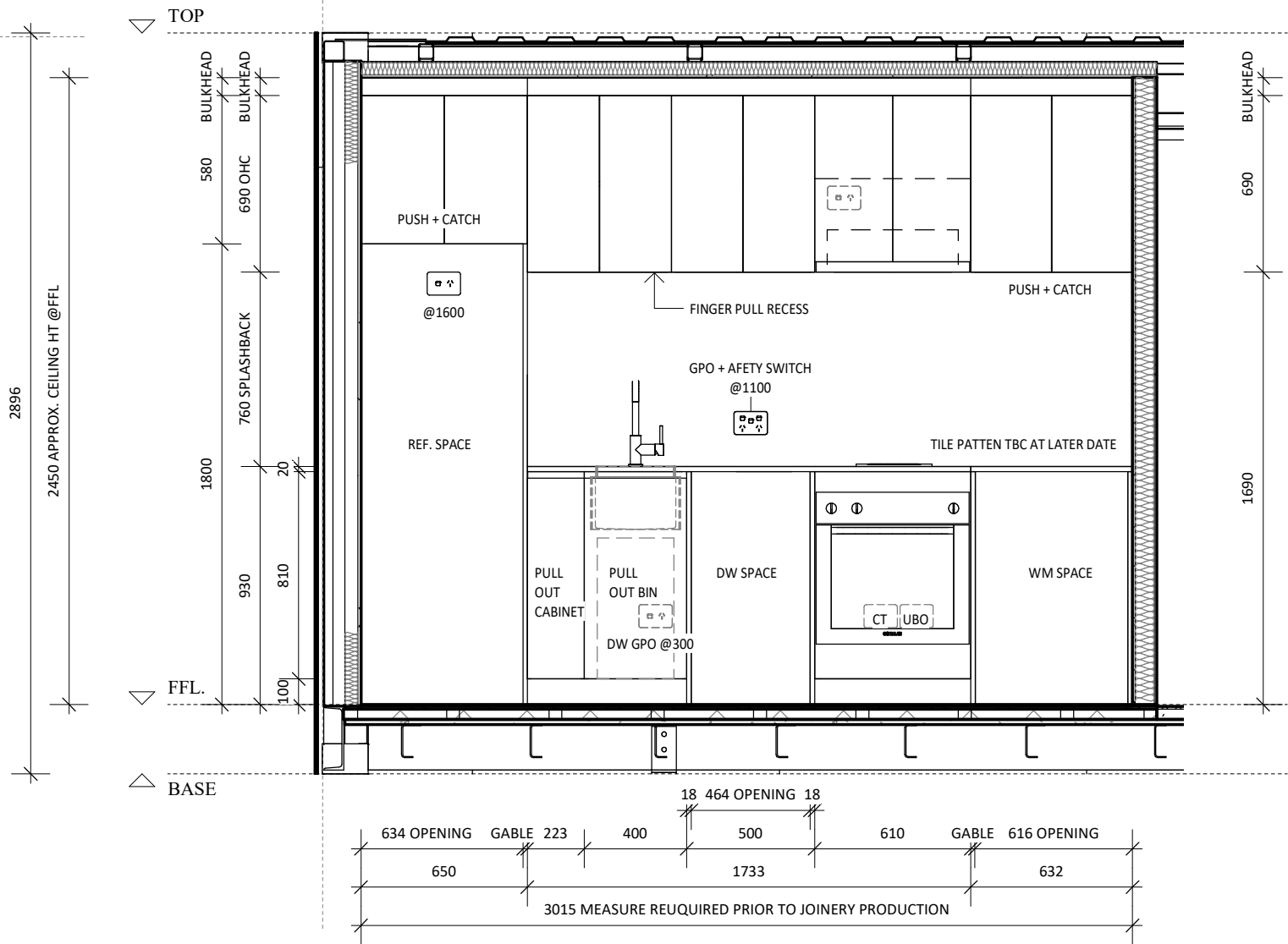


C6 KITCHEN LAYOUT
101 scale 1:25

CABINETS NOTE

- ALL CABINETS SHOP DRAWINGS BY FACTORY TEAM. SITE MEASURE REQUIRED, DIMENSIONS TO BE ADJUSTED ACCORDINGLY.
- 所有橱柜的施工图由工厂团队负责。在进行橱柜工序前请实际测量箱内壁尺寸（龙骨到龙骨间距），橱柜尺寸可酌情调整。
- MATERIALS AND FINISHES REFER TO COLOUR SCHEME AND MATERIAL SCHEDULE. TO BE CONFIRMED AT LATER DATE.
- 材料和颜色请参考配色方案和选料清单。待确认。
- FILLERS HAVE BEEN OMITTED FOR CLARITY. SIZES AND POSITIONS TO BE DECIDED BY THE FACTORY TEAM.
- 图纸上省略filler，需要加filler，以确保抽屉及柜门可以自由拉开，没有阻碍物，位置和尺寸由工厂团队依情况决定。
- ALL DRAWERS HAVE SOFT CLOSE TRACKS.
- 所有抽屉使用缓冲滑道。
- DRAWER CARCASS COLOUR TO MATCH DOOR FRONT COLOUR, UNLESS NOTED DIFFERENTLY.
- 除非图纸有特殊标注，抽屉的内外颜色一致。

PULL OUT CABINET REFERENCE PHOTO



C6-1 KITCHEN ELEVATION
700 scale 1:25



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Revision 1		
A	DESCRIPTION	DATE
REV		10.11.2021

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JOB NO.

CLIENT:
SHEET 700 SHEET TOTALS

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REV	DESCRIPTION	DATE

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JOB NO.

CLIENT:

SHEET 905 SHEET TOTALS



Neutral
SCHEME

A Neutral scheme inspired from nature focusing on texture and natural materials.

- Key
- P1 Lexicon
 - P2 Lexicon Quarter
 - T1 White Chevron Tile
 - T2 Beige Floor Tile
 - H1 Champagne Tapware
 - A1 Champagne Hardware
 - S1 Stone Top
 - UP1 Upholstery
 - TF1 Timber Flooring

WIND CLASSIFICATION - N/A

SOIL CLASSIFICATION - CLASS N/A

CONTRACT ISSUE

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A	Revision 1	10.11.2021
REV	DESCRIPTION	DATE



Light SCHEME

A light and timeless
 colour scheme that
 allows it's users to
 insert their personality.

Key

- P1 Lexicon Quarter
- P2 Terrace White
- T1 Floor Tile
- T2 Wall Tile
- H1 Chrome Tapware
- TF1 Timber Flooring
- A1 Chrome Hardware
- S1 Stone Top
- UP1 Upholstery



Revision 1		
A	REV	DESCRIPTION
10.11.2021	DATE	



WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

Dark.
SCHEME

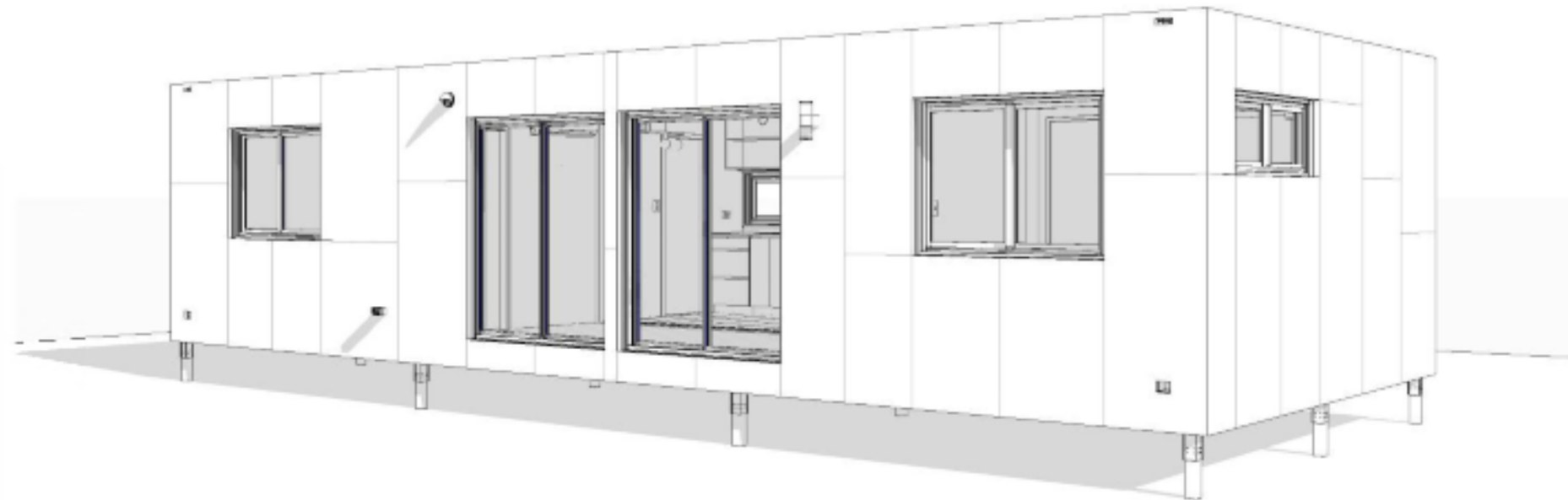
Raw materials such as timber, marble & concrete contrasted with black to create a bold & architectural statement.

Key

- CL Feature Cladding
- P1 Lexicon
- P2 Black Caviar
- TF1 Timber Flooring
- T1 Floor Tiles
- T2 Wall Tiles
- TV1 Timber Veneer
- LAM1 Timber Look Laminate
- H1 Matte Black Tapware
- A1 Matte Black Hardware
- S1 Stone Top

WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

SELINA



6HOMES

6HOMES
Phone 1800 646 637 E-mail: info@6homes.com
325 Ascot Vale Road, Moonee Ponds VIC 3039

A	Revision 1	03.11.2021
REV	DESCRIPTION	DATE

STYLE: **SELINA - A** ADDRESS:
JOB NO.

CLIENT:
SHEET **000** SHEET TOTALS

PRELIMINARY ISSUE

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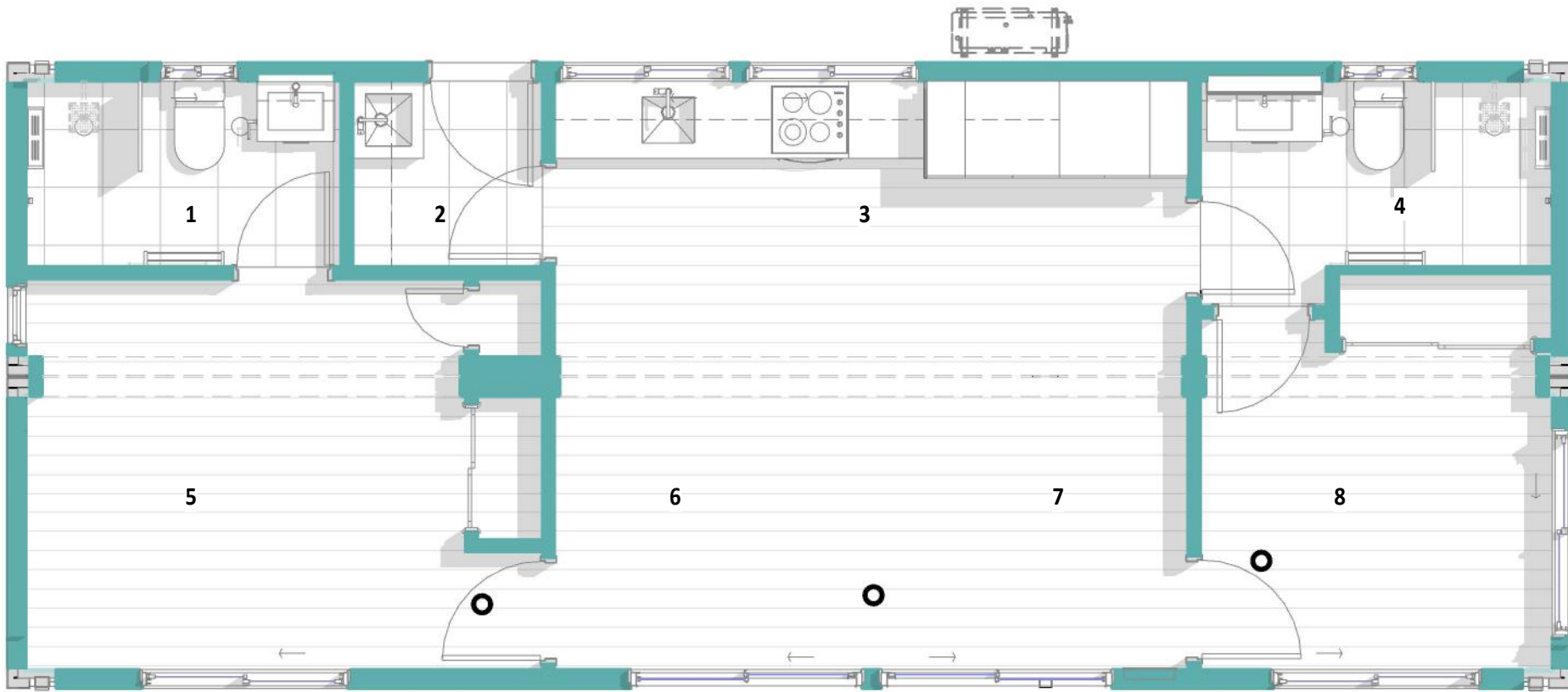
40' x 2

SELINA

59.4 m²

12.1 x 4.8

1 : 50 @ A3

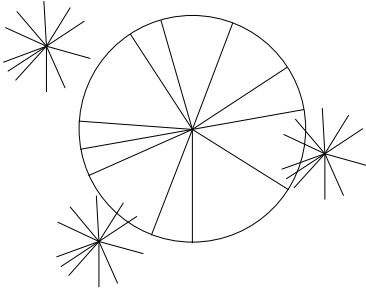


LEGEND

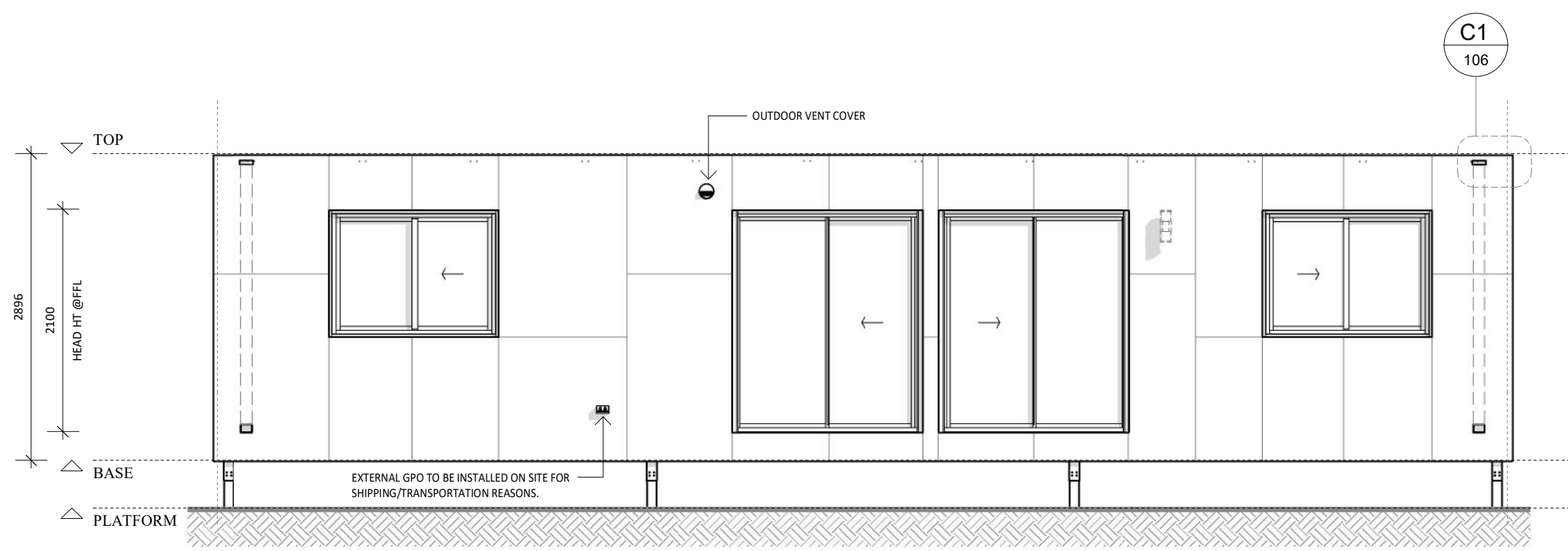
- 1. ENSUITE
- 2. LAUNDRY
- 3. KITCHEN
- 4. BATHROOM
- 5. BEDROOM 1
- 6. DINING
- 7. LIVING
- 8. BEDROOM 2



6HOMES



WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



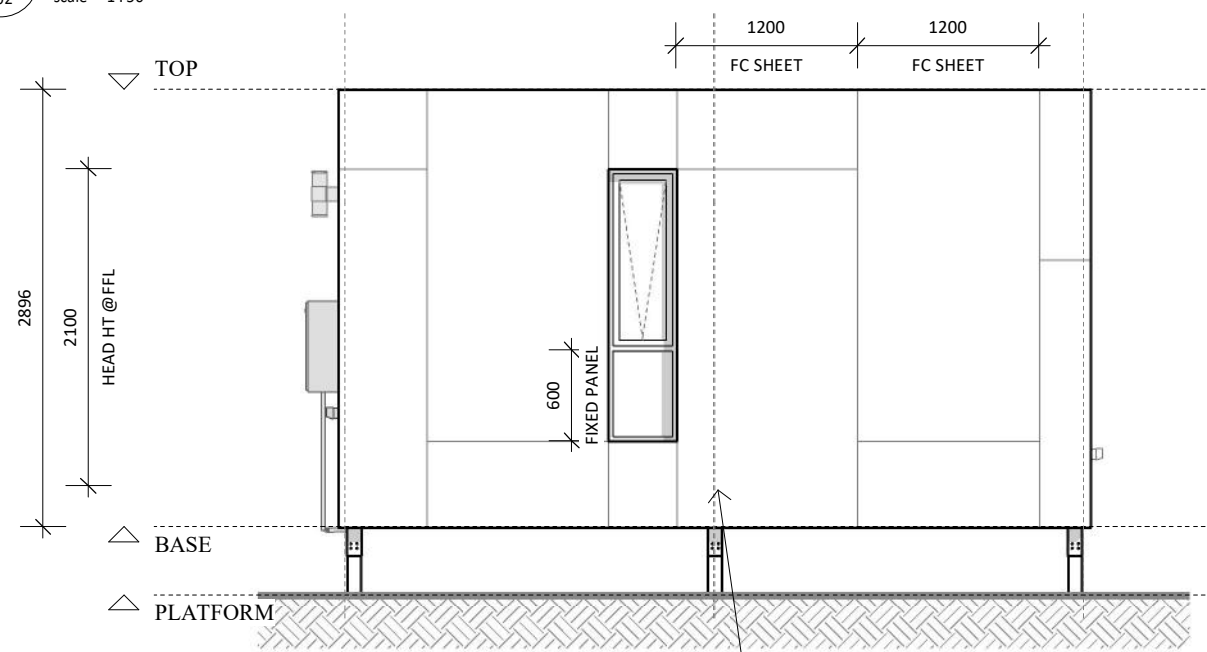
NOTE - EXTERNAL LIGHTS

- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

NOTE - STUMPS

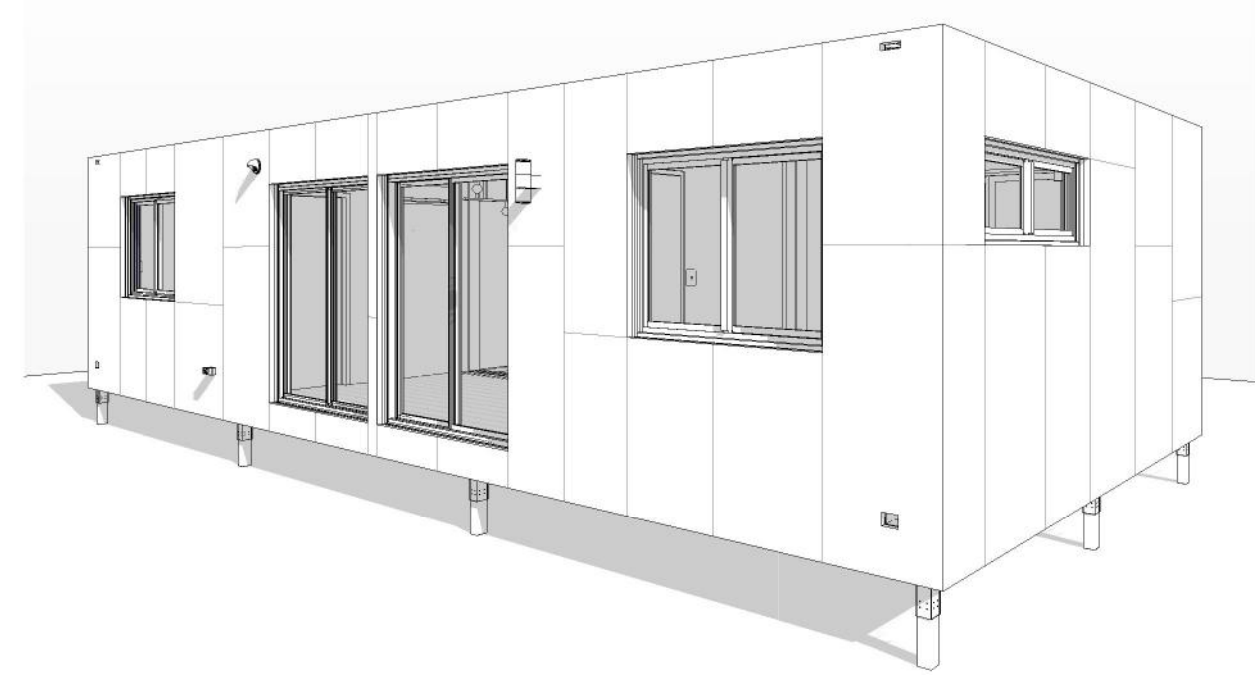
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E1
102
ELEVATION 1
scale 1:50



E2
102
ELEVATION 2
scale 1:50

- SEALANT IN BETWEEN 2 PODS
- PROVIDE CLADDING INFILL PIECE AT BOTH ENDS.



PRELIMINARY ISSUE

A	Revision 1	03.11.2021
REV	DESCRIPTION	DATE

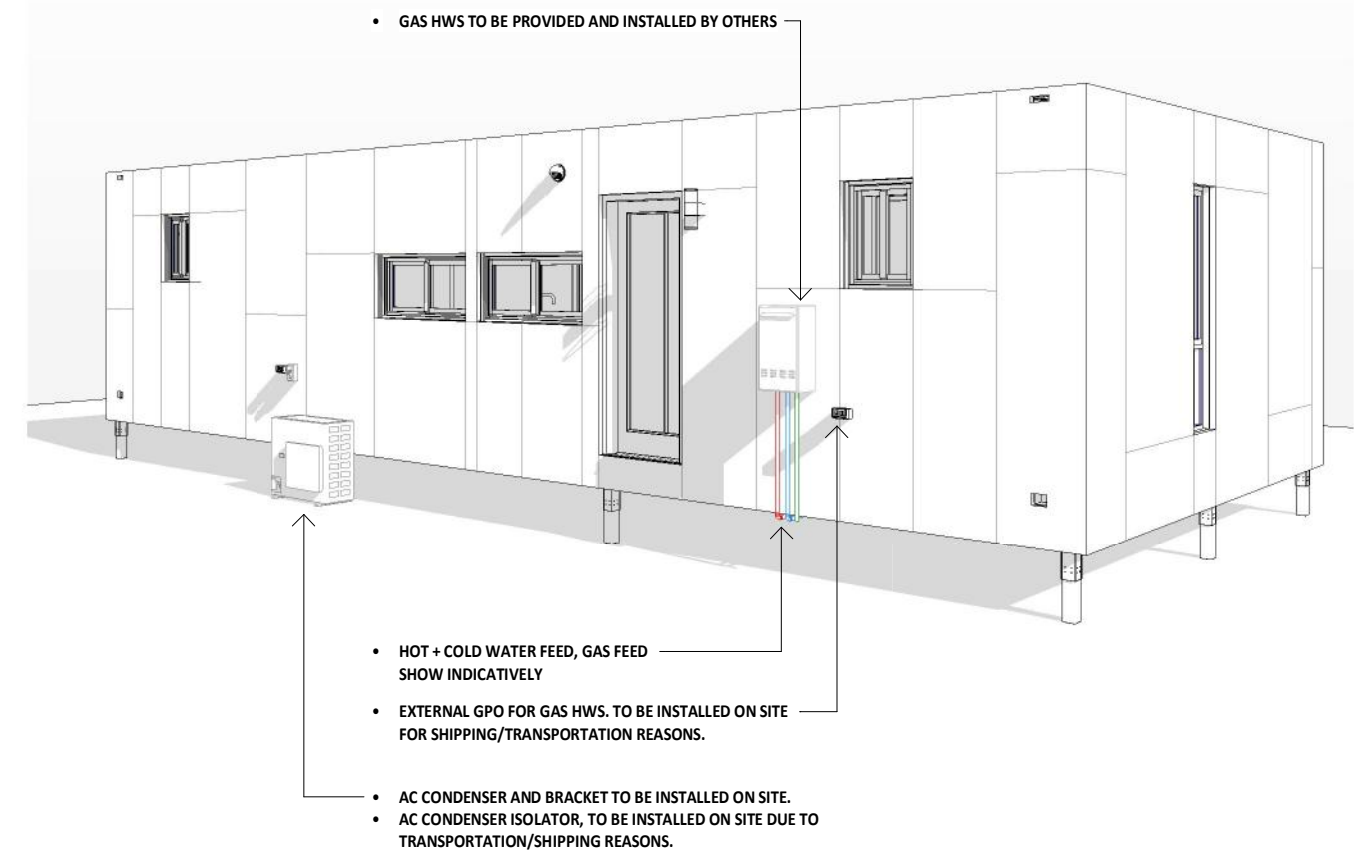
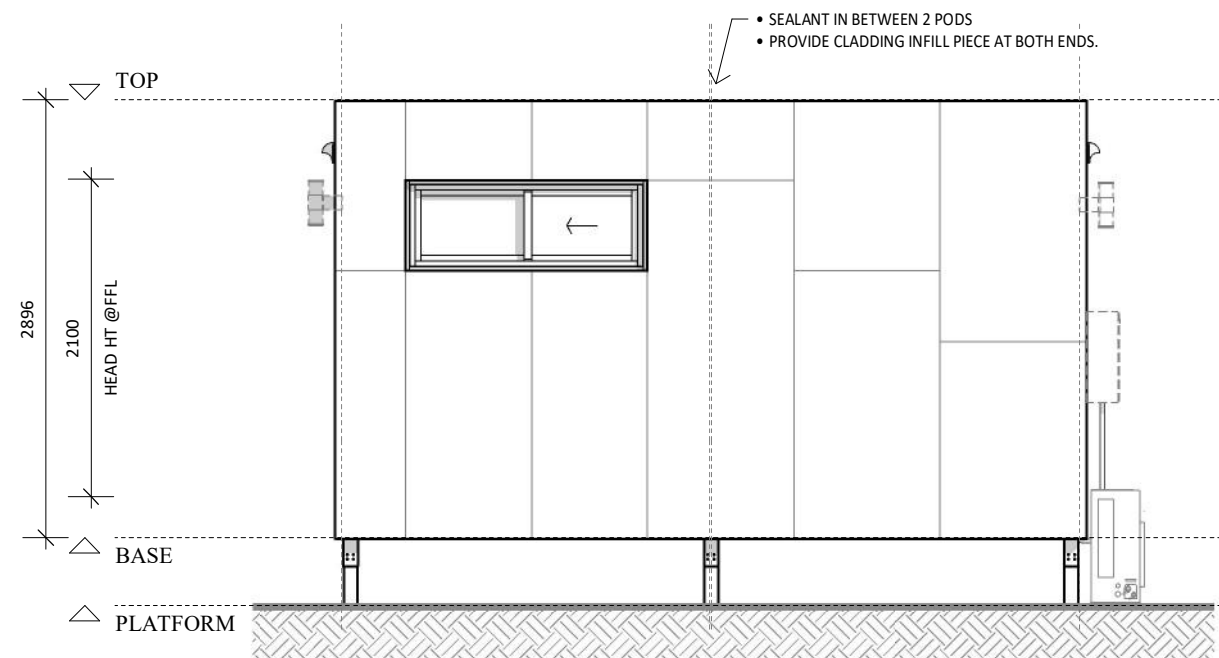
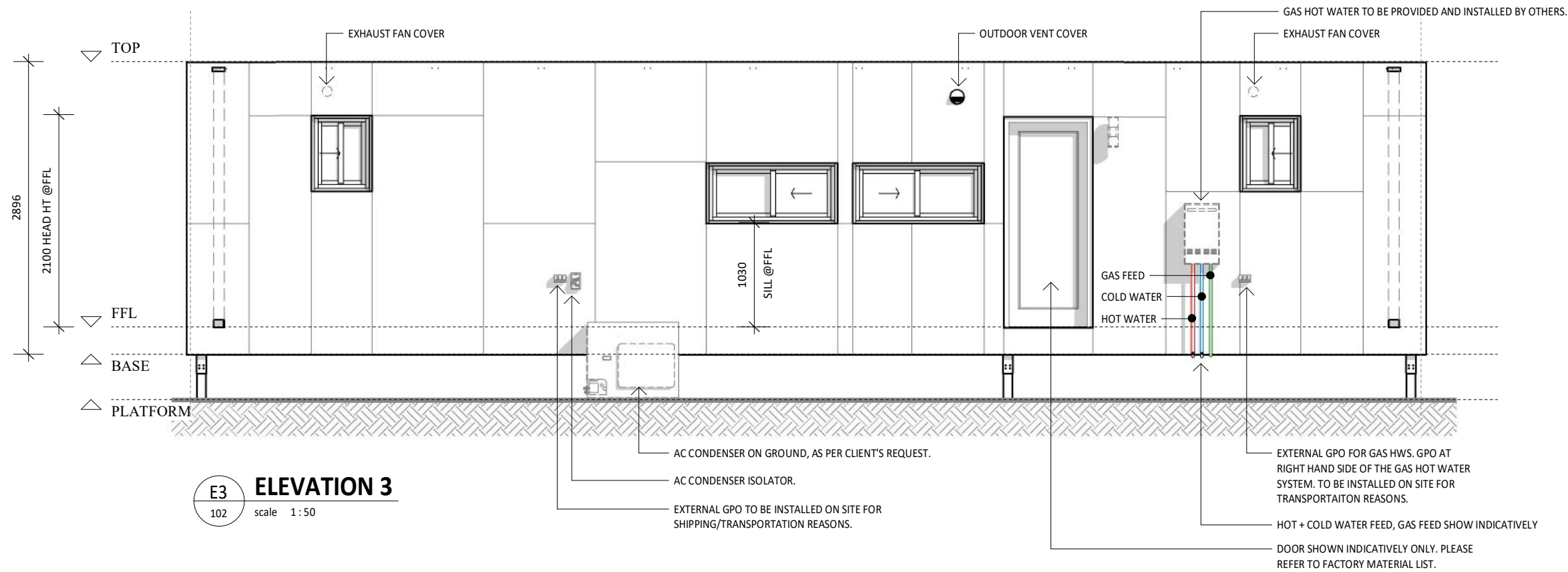
WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

NOTE - EXTERNAL LIGHTS

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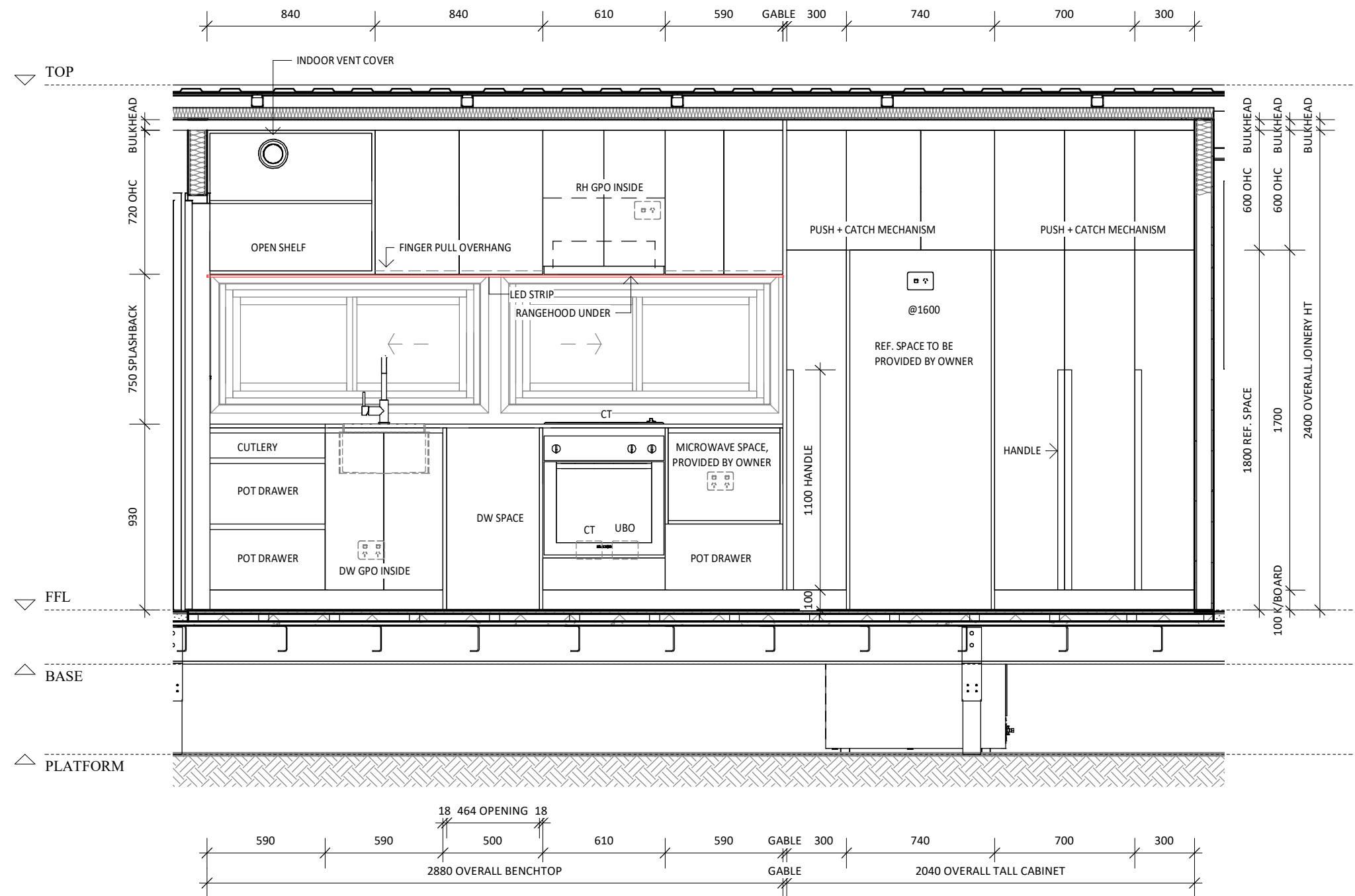
CLIENT:

SHEET **105** SHEET TOTALS

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WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



C7-1 KITCHEN ELEVATION
402 scale 1:25

CABINET NOTE

- ALL CABINETS SHOP DRAWINGS BY FACTORY TEAM. SITE MEASURE REQUIRED, DIMENSIONS TO BE ADJUSTED ACCORDINGLY.
- MATERIALS AND FINISHES CHOOSE FROM LIGHT COLOUR SCHEME.
- FILLERS HAVE BEEN OMITTED FOR CLARITY. SIZES AND POSITONS TO BE DECIDED BY THE FACTORY TEAM.
- SLIDING ROBE DOORS, PAINTED TO MATCH WALL COLOUR, NO MIRROR.
- ALL DRAWERS HAVE SOFT CLOSE TRACKS.
- DRAWER CARCASS COLOUR TO MATCH DOOR FRONT COLOUR, UNLESS NOTED DIFFERENTLY.



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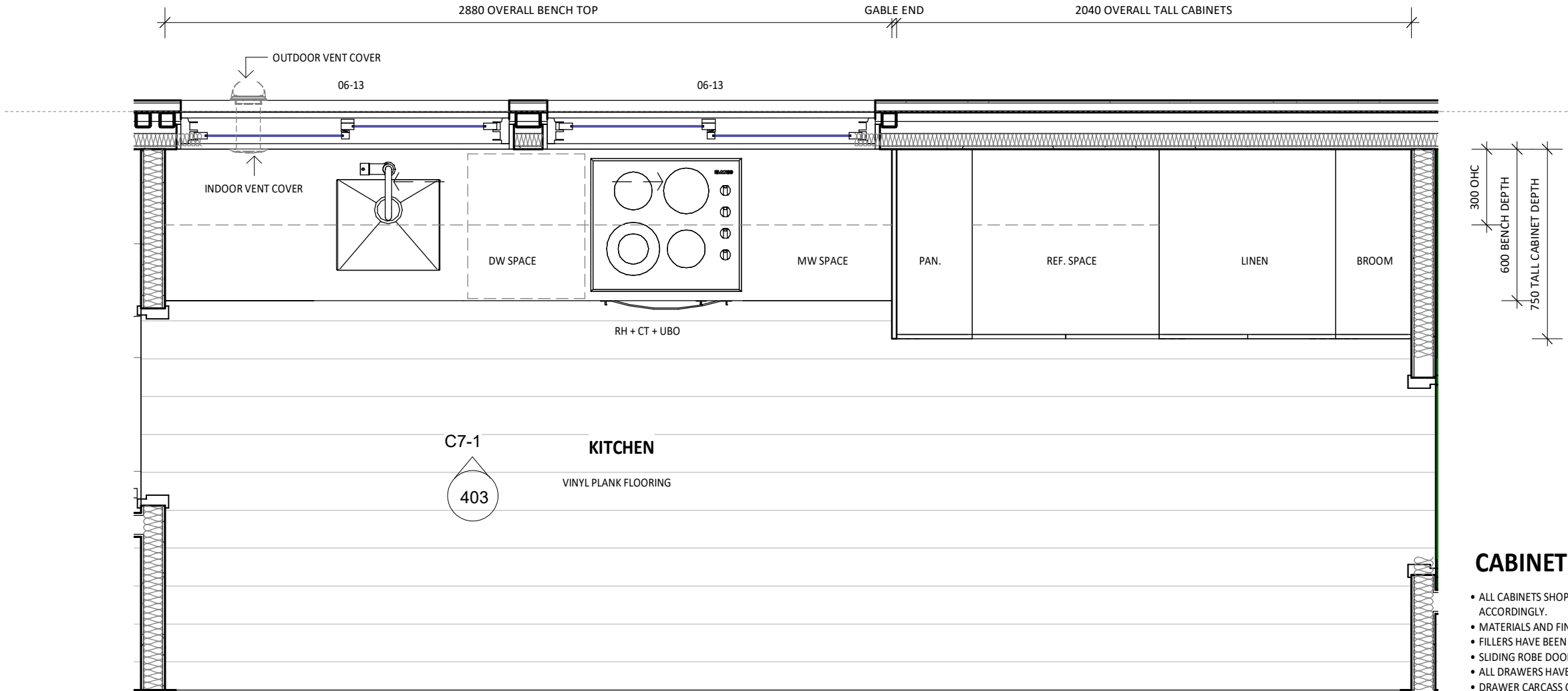
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SHEET 403 SHEET TOTALS

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WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



CABINET NOTE

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- SLIDING ROBE DOORS, PAINTED TO MATCH WALL COLOUR, NO MIRROR.
- ALL DRAWERS HAVE SOFT CLOSE TRACKS.
- DRAWER CARCASS COLOUR TO MATCH DOOR FRONT COLOUR, UNLESS NOTED DIFFERENTLY.

C7 KITCHEN LAYOUT
102 scale 1 : 20

REF. TO BE PROVIDED BY OWNER. PHOTOS BELOW ARE 2 MODELS THAT WILL FIT IN THE CAVITY.

Technical Specifications	
Fridge Colour:	Silver
Supplier Finish:	Easy Clean Steel
Total Capacity:	471L
Fridge Capacity:	338L
Freezer Capacity:	133L
Fridge Features:	Smart Conversion Mode - from Freezer to Fridge, Easy Slide Shelf, Power Cool Function, Power Freeze Function, Big Bottle Door Bin
Energy Rating:	3.5 Star
Door Hinge:	Right
Product Width (mm):	700
Product Height (mm):	1785
Product Depth (mm):	726
Additional Features:	Twist Ice Maker, Twin Cooling Plus, Tempered Glass Shelves, Power Cool Function, Power Freeze Function.



DIMENSIONS

Height 1785mm

Width 700mm

Depth 726mm

Technical Specifications	
Fridge Colour:	Stainless Steel
Total Capacity:	454L
Fridge Capacity:	299L
Freezer Capacity:	155L
Energy Rating:	4.5 Star
Door Hinge:	Reversible
Product Width (mm):	700
Product Height (mm):	1720
Product Depth (mm):	700
Additional Features:	Door Cooling, Folding Shelf, Moisture Balance Crisper, Reversible door



DIMENSIONS

Height 1720mm

Width 700mm

Depth 700mm



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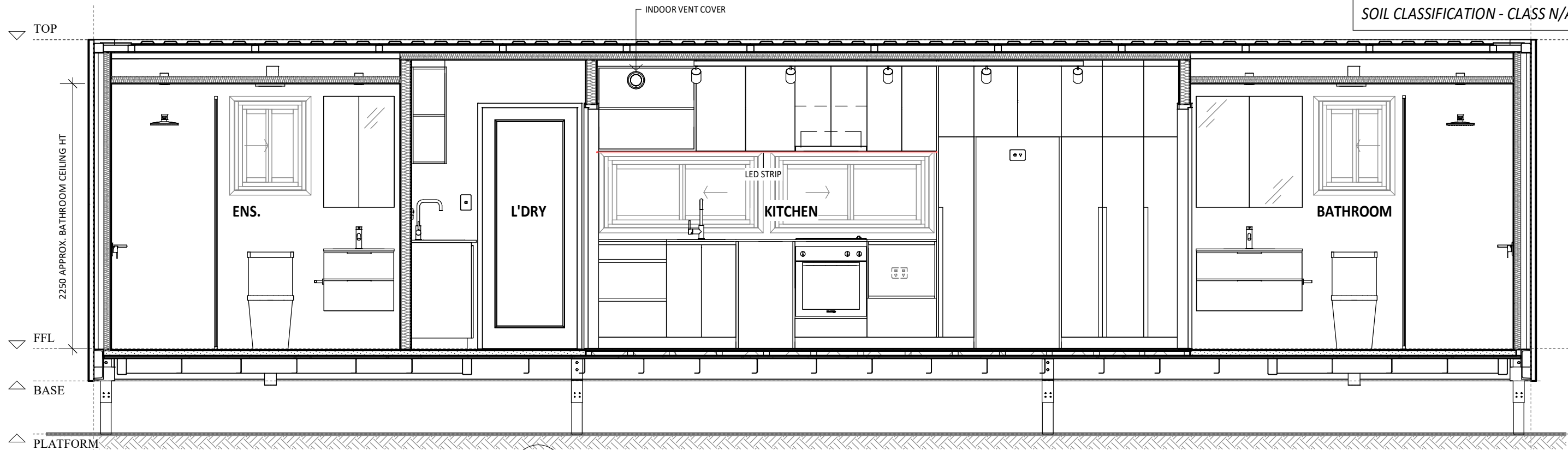
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JOB NO.

CLIENT:
SHEET 402 SHEET TOTALS

PRELIMINARY ISSUE

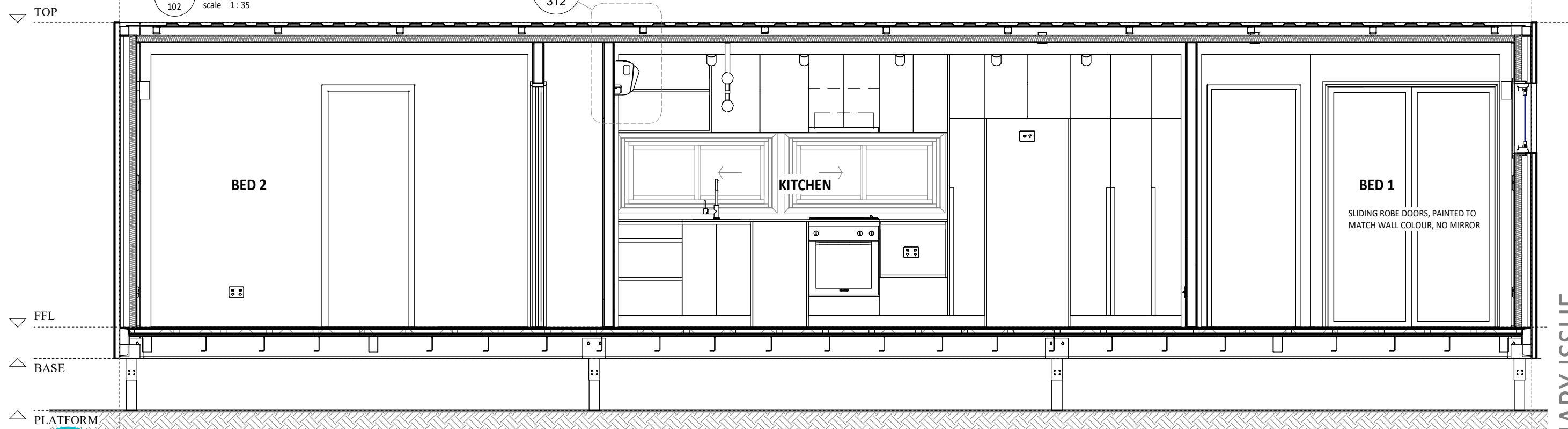
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WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



S7 SECTION 7
102 scale 1:35

S8-1
312



S8 SECTION 8
102 scale 1:35

CABINET NOTE

- ALL CABINETS SHOP DRAWINGS BY FACTORY TEAM. SITE MEASURE REQUIRED, DIMENSIONS TO BE ADJUSTED ACCORDINGLY.
- MATERIALS AND FINISHES CHOOSE FROM LIGHT COLOUR SCHEME.
- FILLERS HAVE BEEN OMITTED FOR CLARITY. SIZES AND POSITONS TO BE DECIDED BY THE FACTORY TEAM.
- SLIDING ROBE DOORS, PAINTED TO MATCH WALL COLOUR, NO MIRROR.
- ALL DRAWERS HAVE SOFT CLOSE TRACKS.
- DRAWER CARCASS COLOUR TO MATCH DOOR FRONT COLOUR, UNLESS NOTED DIFFERENTLY.

STUMPS

- ENGINEERED BY OTHERS.
- SUPPLIED BY OTHERS.
- INSTALLED ON SITE BY OTHERS.
- PLEASE REFER TO ENGINEER'S DRAWING FOR DETAILS AND DIMENSIONS



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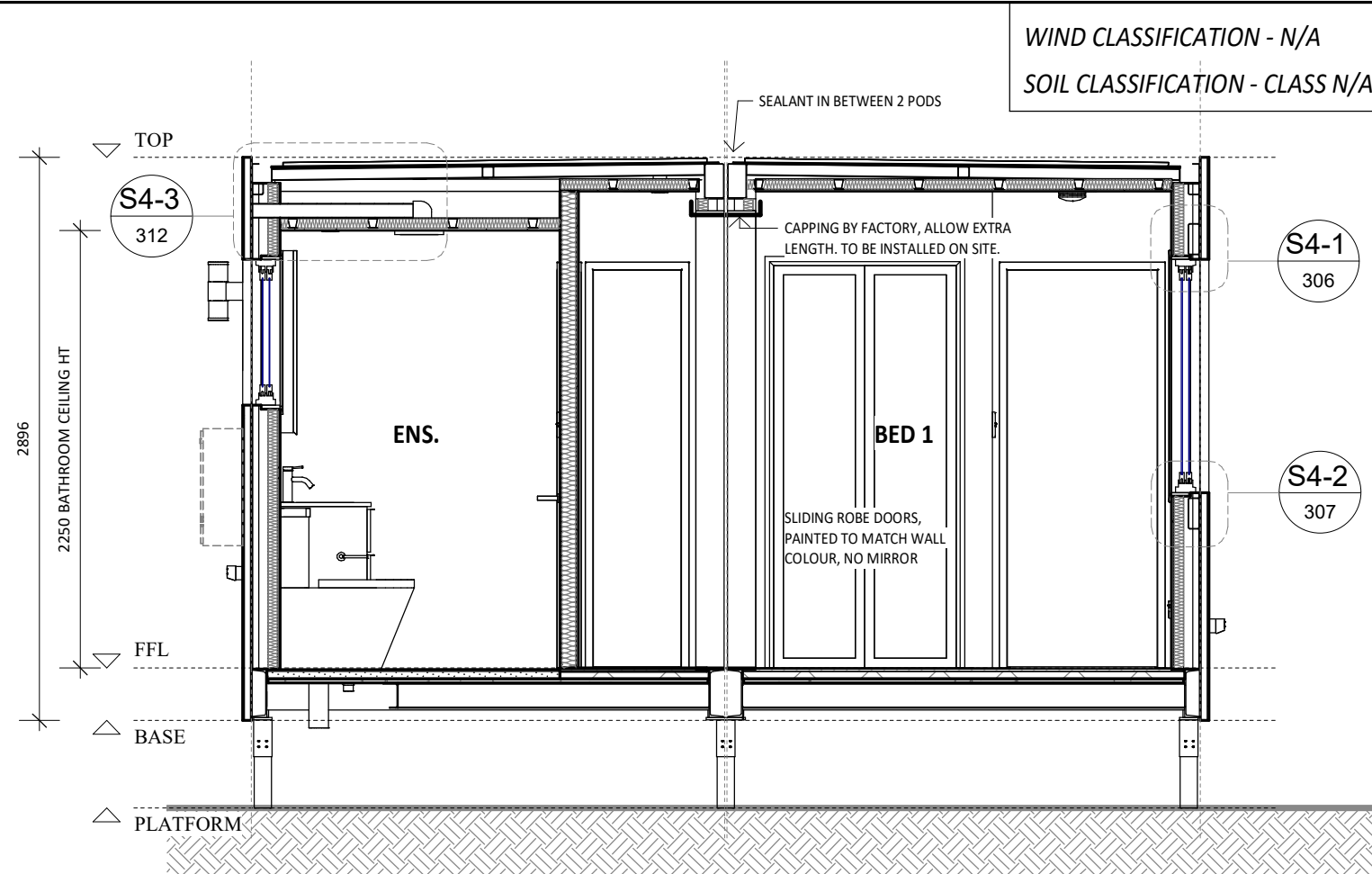
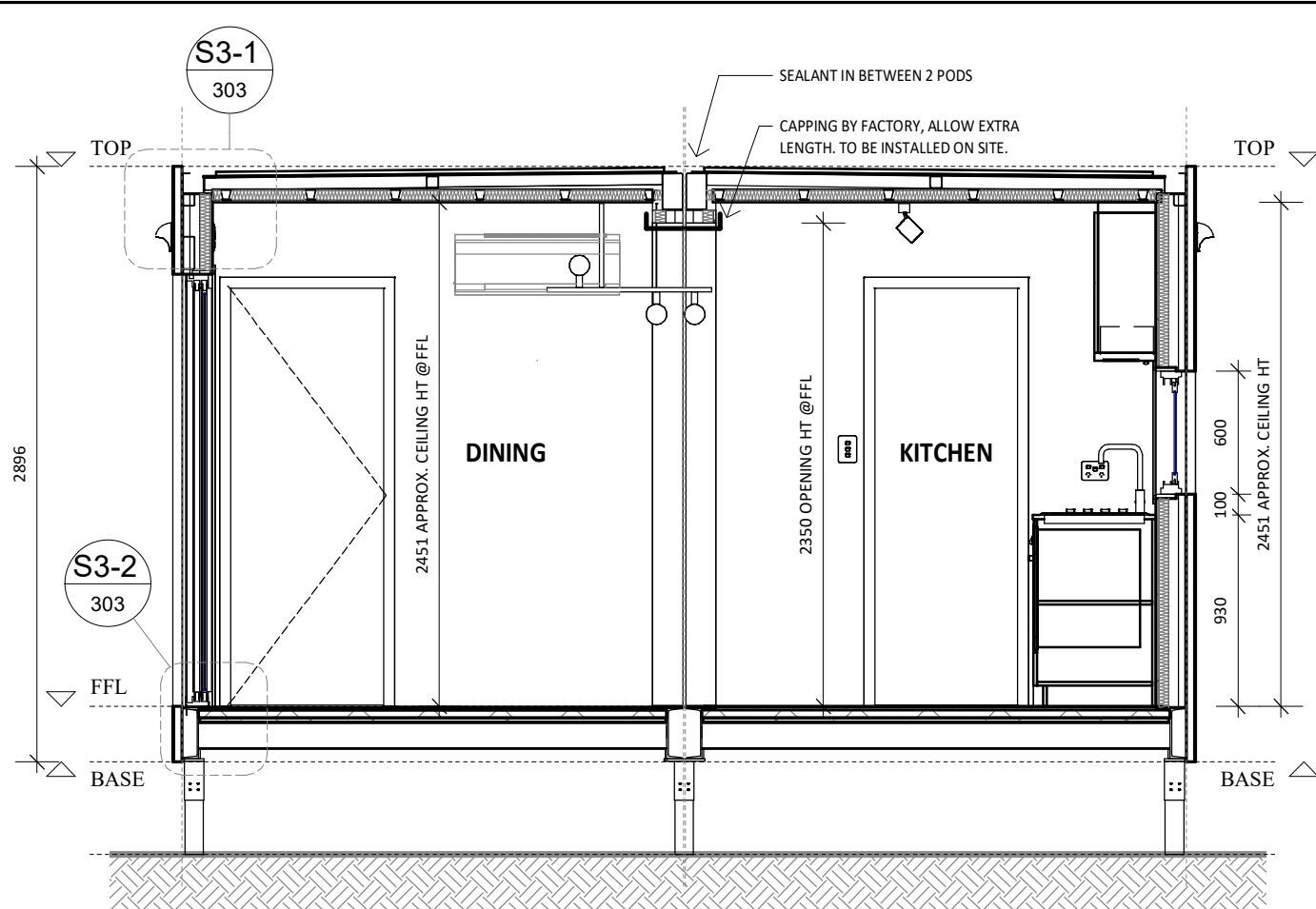
REV	DESCRIPTION	DATE
A	Revision 1	03.11.2021

STYLE: SELINA - A ADDRESS:
JOB NO.

CLIENT:
SHEET 302 SHEET TOTALS

PRELIMINARY ISSUE

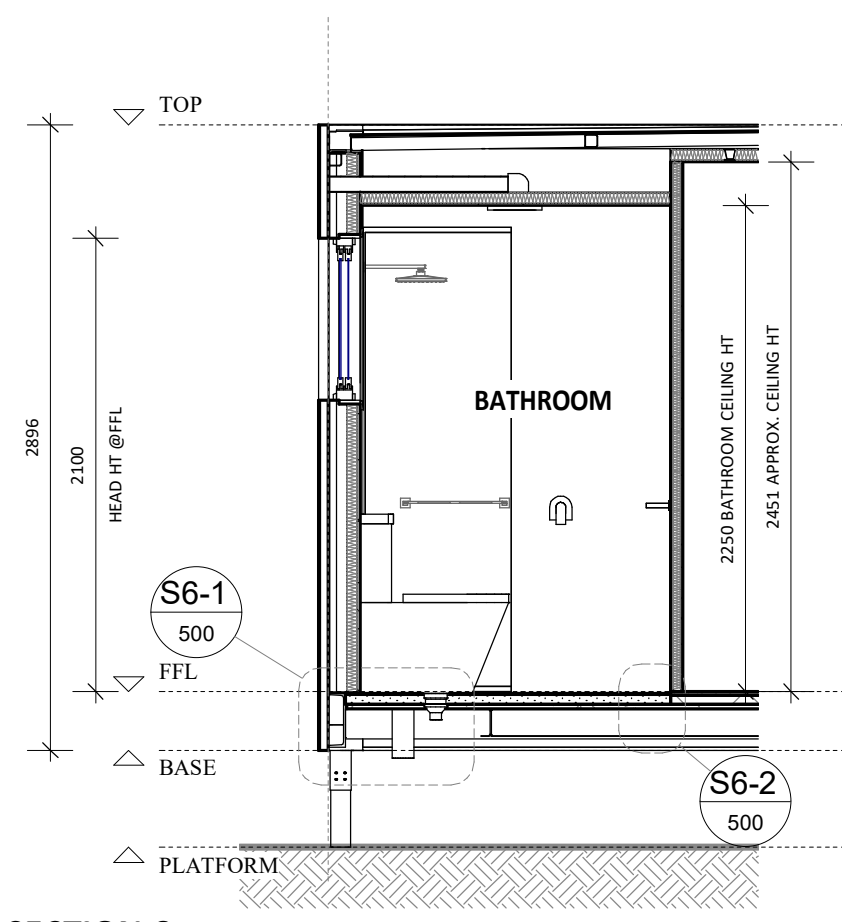
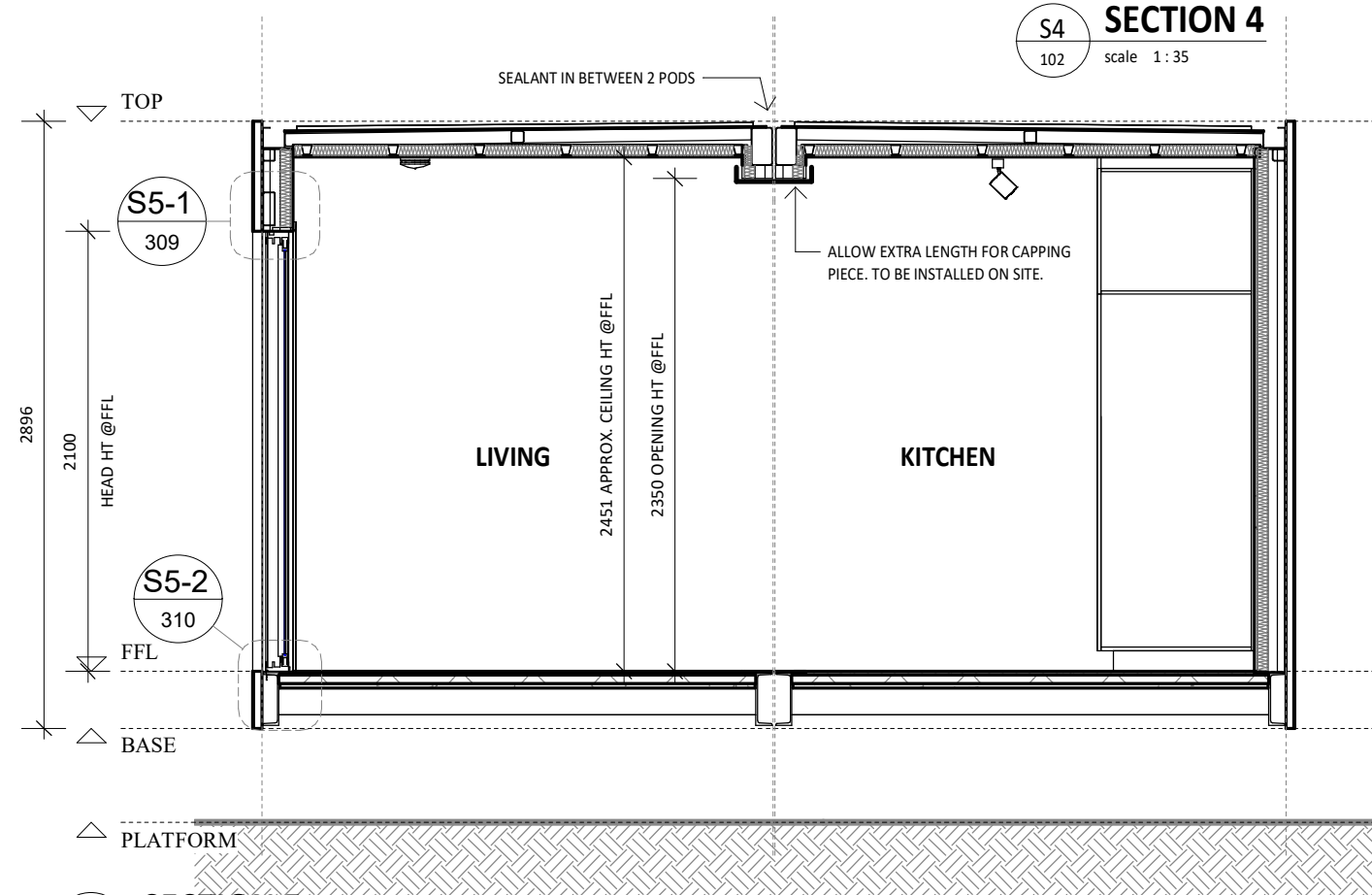
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WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

S3 SECTION 3
102 scale 1:35

S4 SECTION 4
102 scale 1:35



S5 SECTION 5
102 scale 1:35

S6 SECTION 6
102 scale 1:35



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REV	DESCRIPTION	DATE
A	Revision 1	03.11.2021

STYLE: **SELINA - A** ADDRESS:

JOB NO.

CLIENT:

SHEET **301**

SHEET TOTALS

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Revision 1		
A	DESCRIPTION	DATE
REV		03.11.2021

STYLE: **SELINA - A** ADDRESS:
 JOB NO.

CLIENT:
 SHEET **600** SHEET TOTALS

WIND CLASSIFICATION - N/A
 SOIL CLASSIFICATION - CLASS N/A



Dark. SCHEME

Raw materials such as timber, marble & concrete contrasted with black to create a bold & architectural statement.

Key

- CL Feature Cladding
- P1 Lexicon
- P2 Black Caviar
- TF1 Timber Flooring
- T1 Floor Tiles
- T2 Wall Tiles
- TV1 Timber Veneer
- LAM1 Timber Look Laminate
- H1 Matte Black Tapware
- A1 Matte Black Hardware
- S1 Stone Top



WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

Light SCHEME

A light and timeless colour scheme that allows it's users to insert their personality.

Key

- P1 Lexicon Quarter
- P2 Terrace White
- T1 Floor Tile
- T2 Wall Tile
- H1 Chrome Tapware
- TF1 Timber Flooring
- A1 Chrome Hardware
- S1 Stone Top
- UP1 Upholstery

PRELIMINARY ISSUE

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REV	DESCRIPTION	DATE
A	Revision 1	03.11.2021

STYLE: *SELINA - A*

ADDRESS:

CLIENT:

JOB NO.

SHEET

601

SHEET TOTALS



Neutral SCHEME

A Neutral scheme inspired from nature focusing on texture and natural materials.

Key

- pa01 Natural White
- p02 Vivid White
- til01 White Chevron Tile
- til02 Beige Floor Tile
- tp01 Brushed Gold Tapware
- a01 Brushed Gold Accessories
- st01 Stone Top
- UP1 Upholstery
- TF1 Timber Flooring



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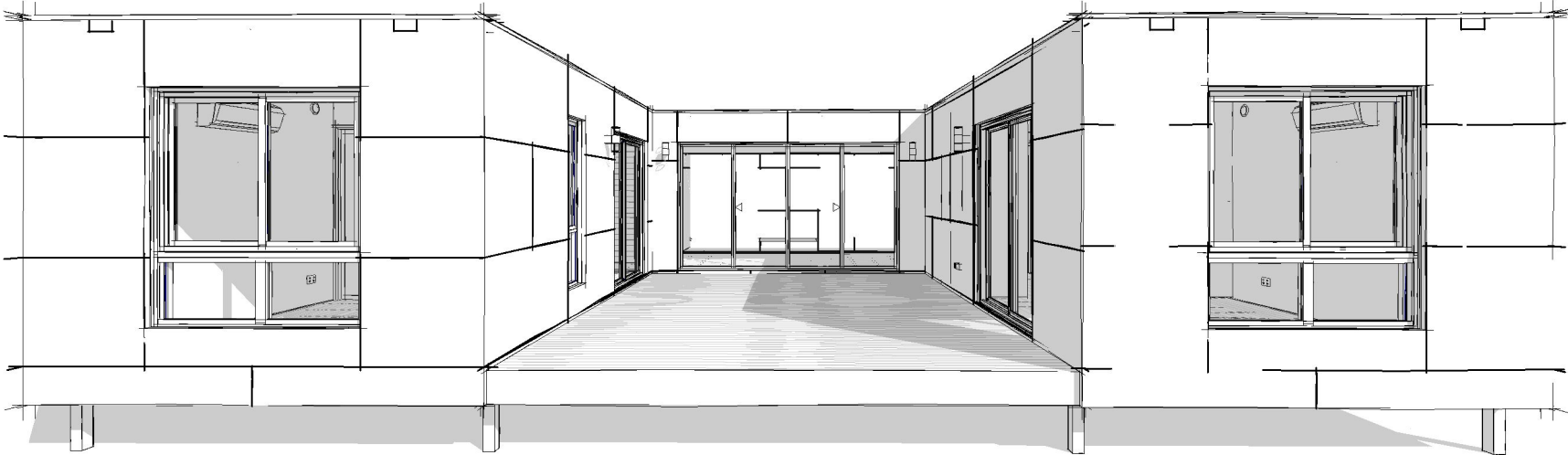
CLIENT:
SHEET 602 SHEET TOTALS

PRELIMINARY ISSUE

23 KINGS ROAD

MARYSVILLE VIC 3779

DRAWING REGISTER			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
000	TITLE PAGE	E	21.03.2022
101	FLOOR PLAN	E	21.03.2022
102	VIEW DIRECTORY	A	24.06.2021
103	WINDOW + DOOR SCHEDULE	A	24.06.2021
104	ELEVATIONS	E	21.03.2022
105	ELEVATIONS	E	21.03.2022
106	ELEVATIONS	E	21.03.2022
107	GUTTER + OVERFLOW	A	24.06.2021
108	ELECTRICAL PLAN	D	07.03.2022
109	ELECTRICAL SCHEMATIC + CABLE SCHEDULE	A	24.06.2021
200	MEMBER SIZES	A	24.06.2021
201	STUMPS LAYOUT	A	24.06.2021
202	BASE JOIST LAYOUT	A	24.06.2021
203	SHS POSTS LAYOUT	A	24.06.2021
204	FLOORING SYSTEM	A	24.06.2021
205	ROOF TOP SUPPORT LAYOUT	A	24.06.2021
206	TOP LAYOUT	A	24.06.2021
300	WALL SYSTEM	A	24.06.2021
301	CEILING + BASE COMPOSITION DETAIL	A	24.06.2021
302	POD VENT SPECIFICATION	A	24.06.2021
303	DOOR + WINDOW SECTION + CROSS SECTION	A	24.06.2021
304	WINDOW DETAIL	A	24.06.2021
305	WINDOW HEAD DETAIL	A	24.06.2021
306	WINDOW SILL DETAIL	A	24.06.2021
307	DOOR DETAIL	A	24.06.2021
308	DOOR HEAD + DOOR THRESHOLD DETAILS	A	24.06.2021
309	DOOR + WINDOW 3D VIEWS	A	24.06.2021
310	BATHROOM EXHAUST FAN	A	24.06.2021
401	KITCHEN LAYOUT	A	24.06.2021
402	KITCHEN ELEVATIONS	A	24.06.2021
403	KITCHEN ELEVATION	A	24.06.2021
404	BATHROOM LAYOUT	A	24.06.2021
405	LAUNDRY ELEVATION	A	24.06.2021
406	ENSUITE LAYOUT	A	24.06.2021
407	SINK SPECIFICATION	A	24.06.2021
501	WET AREA FLOOR COMPOSITION	A	24.06.2021
502	BATHROOM WATERPROOFING 1ST LAYER	A	24.06.2021
503	BATHROOM WATERPROOFING 2ND & 3RD LAYER	A	24.06.2021
504	BATHROOM WATERPROOFING 4TH & 5TH LAYER	A	24.06.2021
600	COLOUR SCHEME - LIGHT	A	24.06.2021
700	RANGEHOOD SPECIFICATION	A	24.06.2021
701	DISHWASHER SPECIFICATION	A	24.06.2021
702	UNDERBENCH OVEN SPECIFICATION	A	24.06.2021
703	COOKTOP SPECIFICATION	A	24.06.2021
704	HOT WATER SYSTEM SPECIFICATION	A	24.06.2021
997	MARKETING PLAN	A	24.06.2021
TOTAL NUMBER OF SHEET: 46			



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E	Revision 5	21.03.2022
C	Revision 3	01.02.2022
A	Revision 1	24.06.2021
REV	DESCRIPTION	DATE

STYLE: MIRANDA (MOD) ADDRESS: 23 KINGS ROAD
JOB NO. 6H0004 MARYSVILLE VIC 3779

CLIENT:
SHEET 000 SHEET TOTALS TBA

PRELIMINARY ISSUE

KEYNOTE LEGEND	
MIXER	SHOWER MIXER FIXED TO 1500h
OVERFLOW	WHERE THERE IS NO FLOOR WASTE ON SLAB/UPPER FLOOR, SELECTED VANITY MUST HAVE OVERFLOW.
S.G.	SAFETY GLASS TO SHOWER SCREEN.
W.S.A.	WATER STOP ANGLES TO ALL WET AREA DOORWAYS INCLUDING BATHROOMS, WATER CLOSETS AND LAUNDRIES AS PER BCA 2006 PART 3.8.1.8(C)(II).

SMOKE ALARM

- SMOKE ALARMS MUST
- BE PHOTOELECTRIC (AS3786-2014); AND
 - NOT ALSO CONTAIN AN IONISATION SENSOR; AND
 - BE HARDWIRED TO THE MAINS POWER SUPPLY WITH A SECONDARY POWER SOURCE (i.e. BATTERY); AND
 - BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ACTIVATE TOGETHER.

- WHERE PRACTICABLE SMOKE ALARMS MUST BE PLACED ON THE CEILING. SMOKE ALARMS MUST NOT BE PLACED;
- WITHIN 300mm OF A CORNER OF CEILING AND A WALL;
 - WITHIN 300mm OF A LIGHT FITTING;
 - WITHIN 400mm OF AN AIR-CONDITIONING VENT;
 - WITHIN 400mm OF THE BLADES OF A CEILING FAN.

ARTICULATION JOINTS

- PROVIDE CONTROL JOINTS TO ALL OPENING.

CABINET NOTE

- ALL CABINETS SHOP DRAWINGS BY FACTORY TEAM. SITE MEASURE REQUIRED, DIMENSIONS TO BE ADJUSTED ACCORDINGLY.
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- DRAWER CARCASS COLOUR TO MATCH DOOR FRONT COLOUR, UNLESS NOTED DIFFERENTLY.

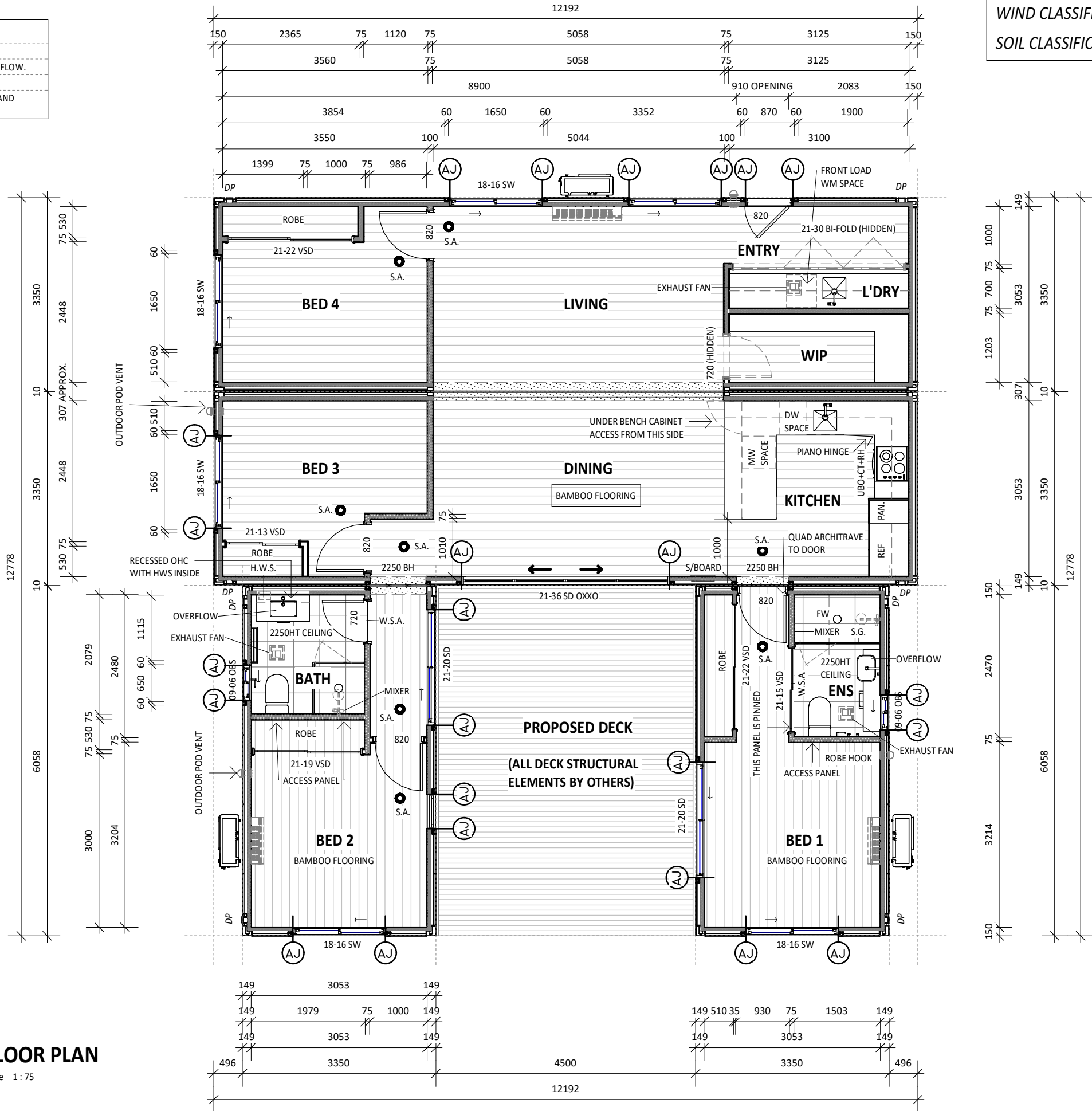


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FLOOR PLAN

scale 1:75



WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

PRELIMINARY ISSUE

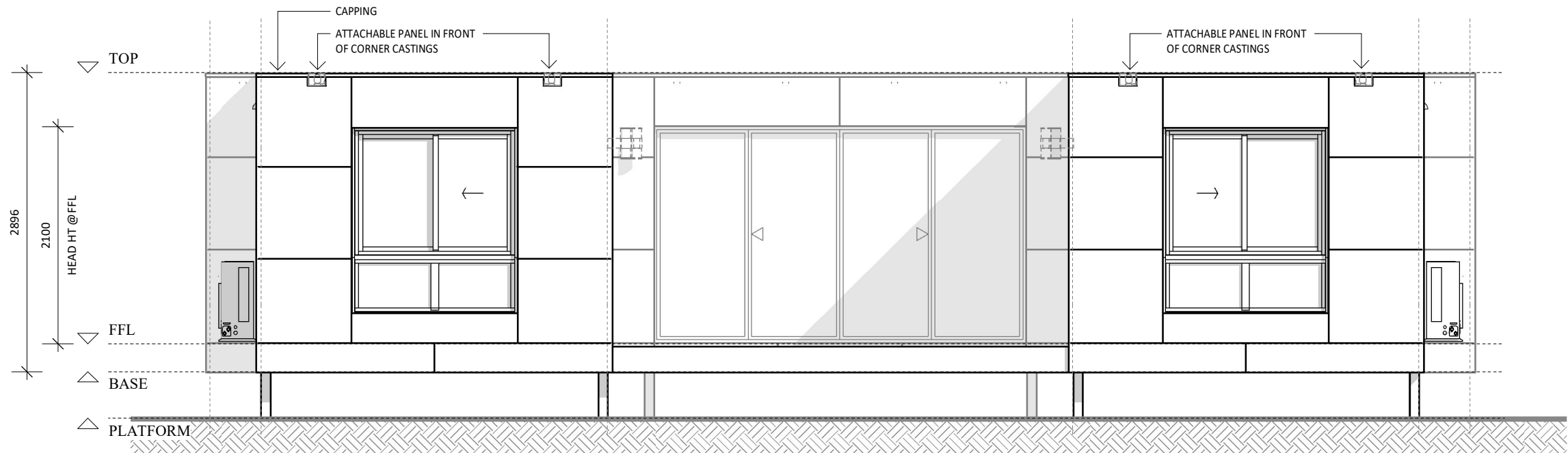
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E	Revision 5	21.03.2022
D	Revision 4	07.03.2022
C	Revision 3	01.02.2022
B	Revision 2	03.12.2021
REV	DESCRIPTION	DATE

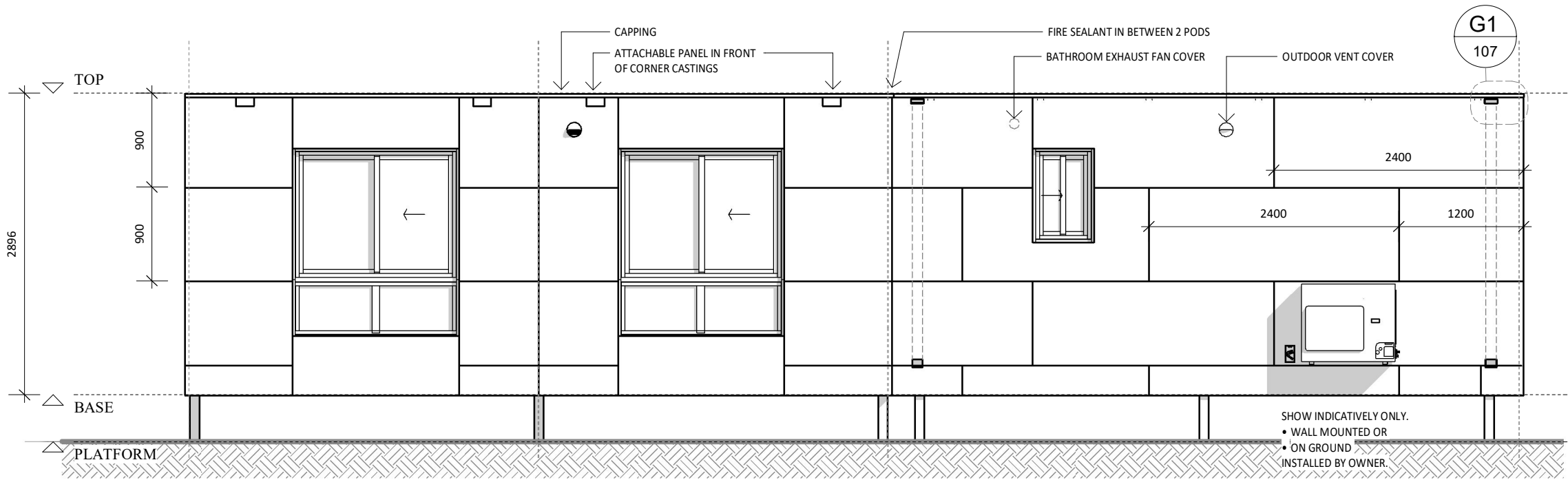
STYLE: MIRANDA (MOD) ADDRESS: 23 KINGS ROAD
JOB NO. 6H0004 MARYSVILLE VIC 3779

CLIENT:
SHEET 101 SHEET TOTALS TBA

WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



E1
102
ELEVATION 1
scale 1:50



E2
102
ELEVATION 2
scale 1:50

NOTE - EXTERNAL LIGHTS

- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

NOTE - STUMPS

- FOOTING + STUMPS ARE SHOWN INDICATIVELY ONLY.
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- INSTALLED ON SITE BY OTHERS.



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B	Revision 2	03.12.2021
A	Revision 1	24.06.2021
REV	DESCRIPTION	DATE

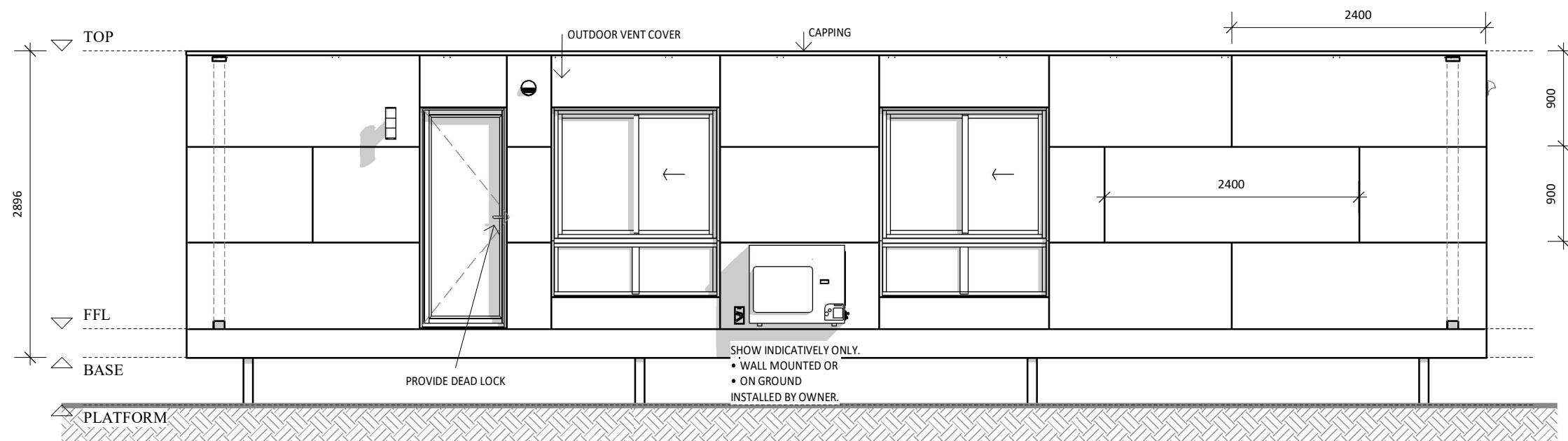
STYLE: **MIRANDA (MOD)** ADDRESS: **23 KINGS ROAD**
JOB NO. **6H0004** **MARYSVILLE VIC 3779**

CLIENT:
SHEET **104** SHEET TOTALS **TBA**

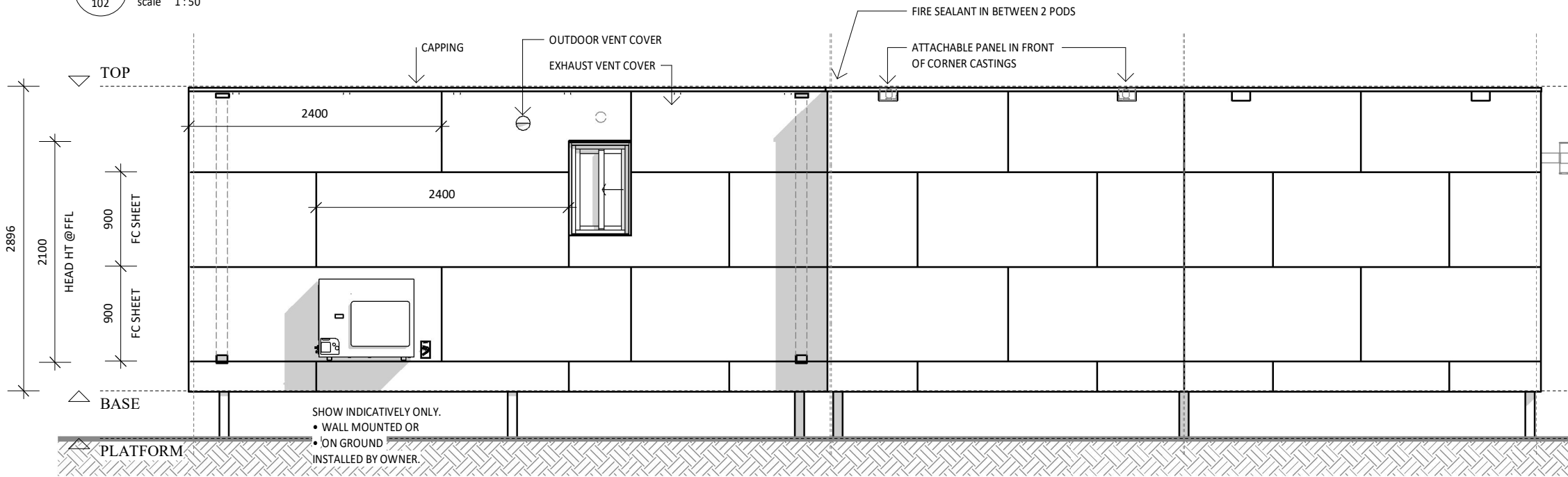
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WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



E3 ELEVATION 3
102 scale 1:50



E4 ELEVATION 4
102 scale 1:50

NOTE - EXTERNAL LIGHTS

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- PROVIDED AND INSTALLED ON SITE BY OTHERS.

NOTE - STUMPS

- FOOTING + STUMPS ARE SHOWN INDICATIVELY ONLY.
- ENGINEERED BY OTHERS.
- SUPPLIED BY OTHERS.
- INSTALLED ON SITE BY OTHERS.



6HOMES

6HOMES
Phone 1800 646 637 E-mail: info@6homes.com
325 Ascot Vale Road, Moonee Ponds VIC 3039

E	Revision 5	21.03.2022
B	Revision 2	03.12.2021
A	Revision 1	24.06.2021
REV	DESCRIPTION	DATE

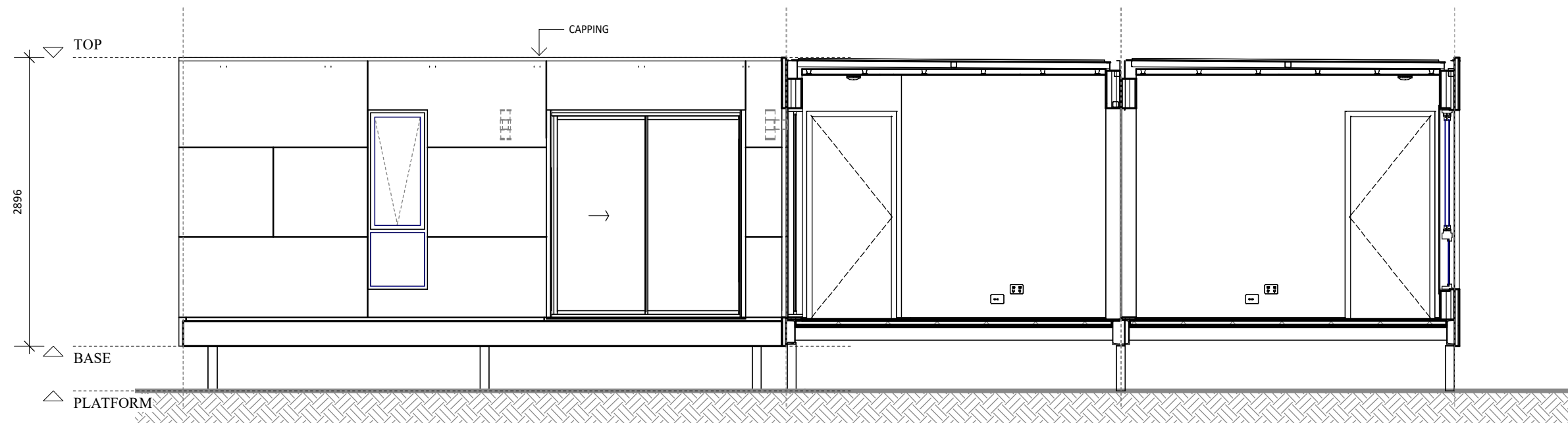
STYLE: **MIRANDA (MOD)** ADDRESS: **23 KINGS ROAD**
JOB NO. **6H0004** **MARYSVILLE VIC 3779**

CLIENT:
SHEET **105** SHEET TOTALS **TBA**

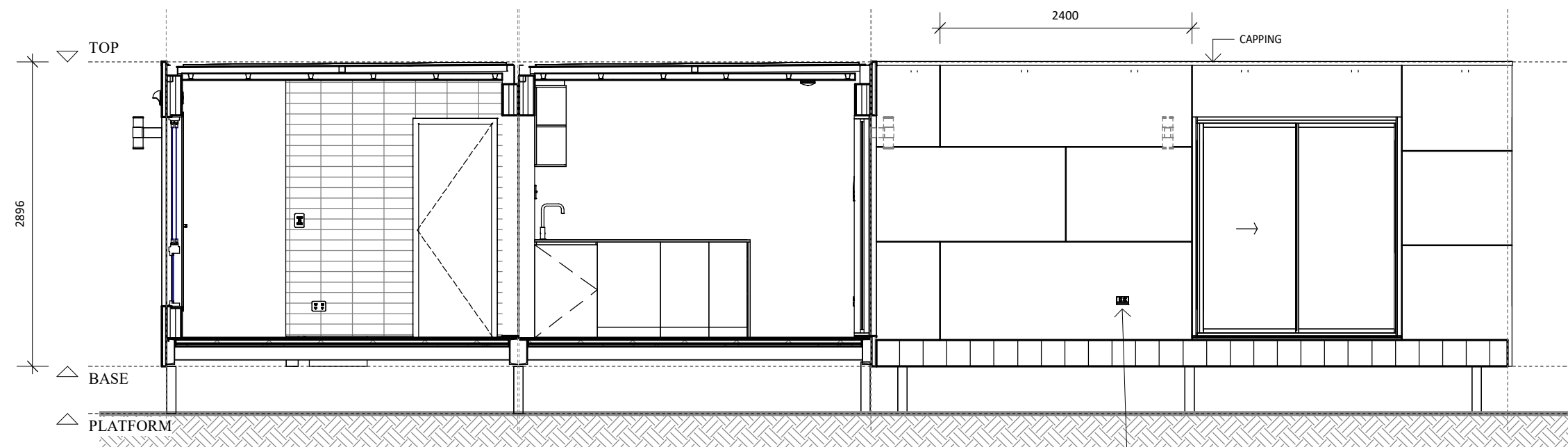
PRELIMINARY ISSUE

COPYRIGHT - THE IDEAS AND CONCEPTS CONTAINED WITHIN ALL DRAWINGS AND DOCUMENTS IS THE SOLE PROPERTY OF 6HOMES

WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A



E5
102 scale 1:50
ELEVATION 5



E6
102 scale 1:50
ELEVATION 6

NOTE - EXTERNAL LIGHTS

- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

NOTE - STUMPS

- FOOTING + STUMPS ARE SHOWN INDICATIVELY ONLY.
- ENGINEERED BY OTHERS.
- SUPPLIED BY OTHERS.
- INSTALLED ON SITE BY OTHERS.

EXTERNAL GPO TO BE INSTALLED ON SITE
FOR SHIPPING/TRANSPORTATION REASONS.



6HOMES

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E	Revision 5	21.03.2022
B	Revision 2	03.12.2021
A	Revision 1	24.06.2021
REV	DESCRIPTION	DATE

STYLE: **MIRANDA (MOD)** ADDRESS: **23 KINGS ROAD**
JOB NO. **6H0004** **MARYSVILLE VIC 3779**

CLIENT:
SHEET **106** SHEET TOTALS **TBA**

PRELIMINARY ISSUE

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Electrical Schedule		
Image	Type	Count
BASE	ISOLATOR	3
	SWITCH 5 GANG	1
FFL	POWER POINT - DOUBLE	20
	POWER POINT - DOUBLE + EXTRA SWITCH	1
	POWER POINT - DOUBLE EXTERNAL	1
	POWER POINT - SINGLE	6
	SWITCH 1 GANG	8
	SWITCH 2 GANG	4
	SWITCH 3 GANG	1
	TV-DATA-FOX	4
Grand total		49

Fire Alarm Device Schedule		
Image	Type	Count
TOP S.A.	S.A.	8
Grand total: 8		

Air Terminal Schedule	
Type	Count
EXHAUST FAN	1
TOP	
EXHAUST FAN	2
INDOOR VENT	4
OUTDOOR VENT COVER	4
Grand total: 11	

Lighting Fixture Schedule		
Image	Type	Count
●	DOWNLIGHT 2	30
	WALL LIGHT	5
Grand total: 35		

KEYNOTE LEGEND	
H.W.S.	INSTANTANEOUS HOT WATER SYSTEM. MAKE SURE HOT WATER SUPPLY IS SET TO A PROPER TEMPERATURE TO PREVENT SCALDING.
S.A.	SMOKE ALARMS AS ANNOTATED TO BE PROVIDED AS PER B.C.A. AND AS3786. WHERE MORE THAN ONE SMOKE ALARM IS INSTALLED, THOSE ALARMS MUST BE INTERCONNECTED.



ELECTRICAL PLAN

scale 1 : 50

6HOMES
Phone 1800 646 637 E-mail: info@6homes.com
325 Ascot Vale Road, Moonee Ponds VIC 3039

D	Revision 4	07.03.2022
A	Revision 1	24.06.2021
REV	DESCRIPTION	DATE

STYLE: **MIRANDA (MOD)** ADDRESS: **23 KINGS ROAD**
JOB NO. **6H0004** **MARYSVILLE VIC 3779**

CLIENT:
SHEET **108** SHEET TOTALS **TBA**



WIND CLASSIFICATION - N/A
SOIL CLASSIFICATION - CLASS N/A

Electrical Fixture Schedule	
Type	Count
BASE	
AC OUTDOOR UNIT	3
Split System_Cooling_FTXS20LVMA_2 .0kW	2
Split System_Cooling_FTXS95LVMA_9 .5kW	1
FFL	
600w HOT PLATE	1
Switchboard	1
Grand total: 8	

NOTE - EXTERNAL LIGHTS

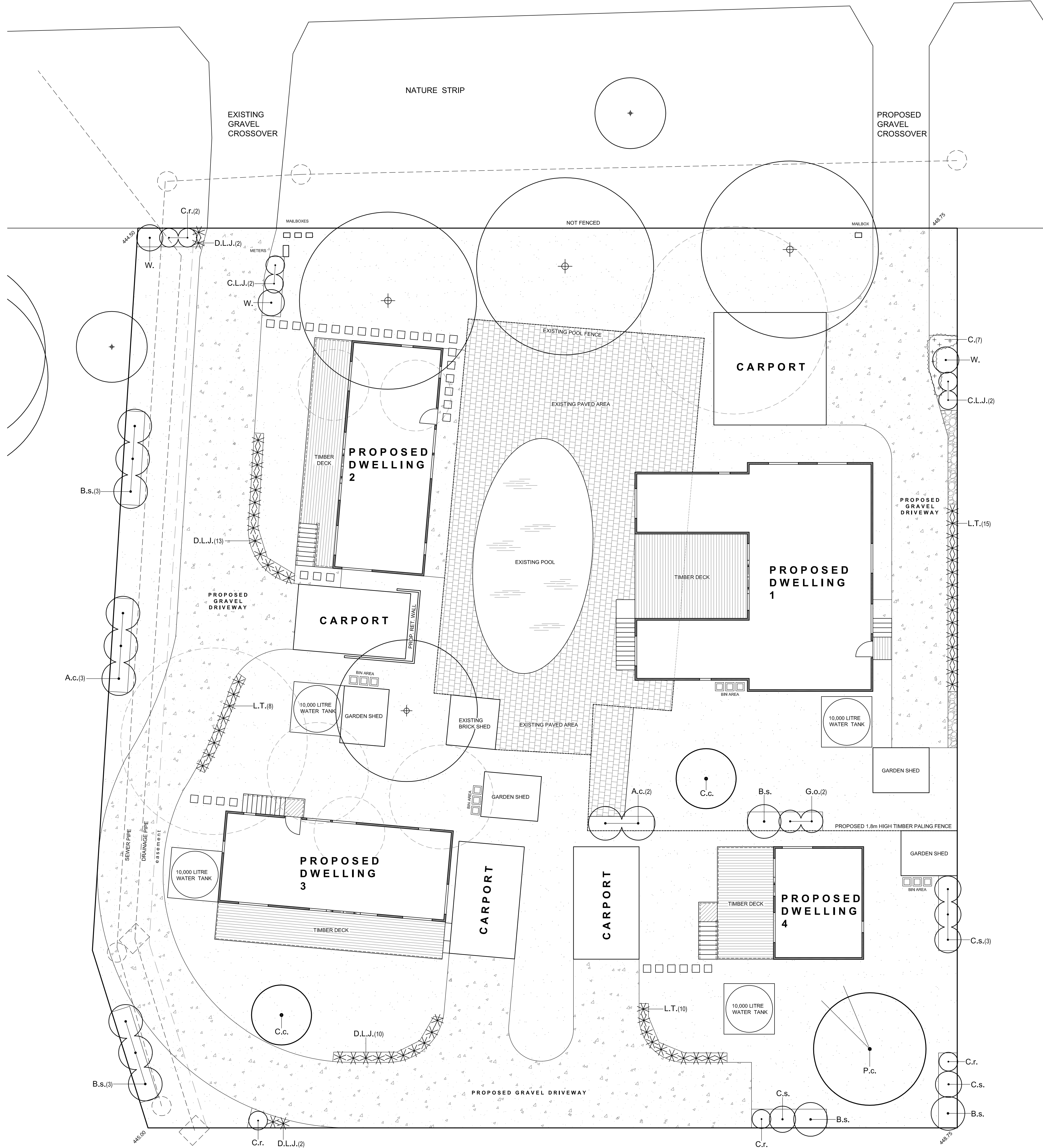
- ALL EXTERNAL WALL LIGHT TO BE PRE-WIRE ONLY.
- PROVIDED AND INSTALLED ON SITE BY OTHERS.

NOTE - ELECTRICAL

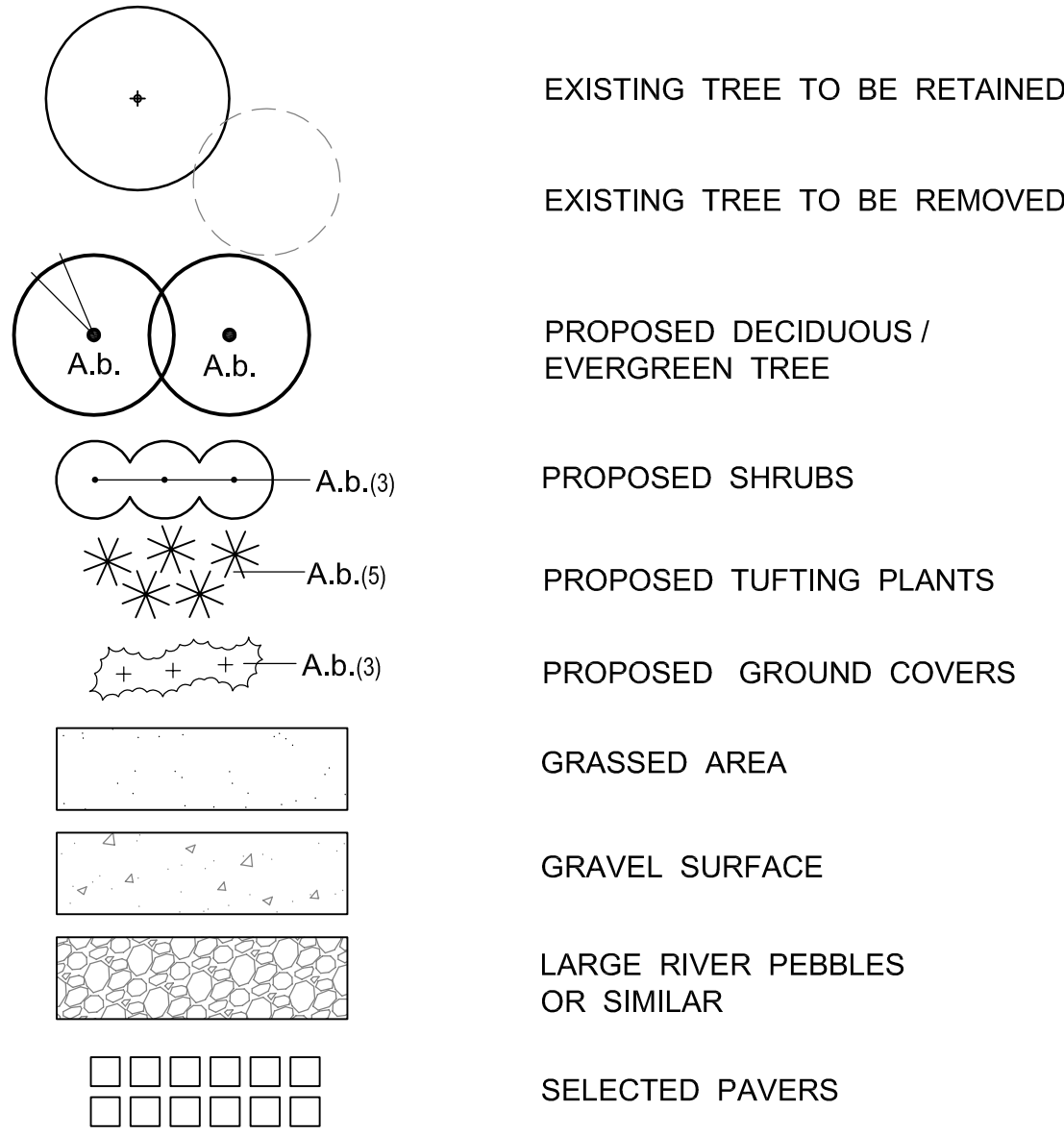
- GPO @300HT UNLESS NOTED OTHERWISE.
- WET AREA GPO @1100HT.
- ALL LIGHT SWITCHES @1200HT.
- KITCHEN GPO @1100HT UNLESS NOTED OTHERWISE.
- KITCHEN SAFETY SWITCH @1100HT
- REF. GPO @1600

PRELIMINARY ISSUE

KINGS ROAD



LEGEND



NOTES

EXISTING TREES: Existing trees to remain are to be adequately protected during site works. Tree protection measures are to be in accordance with Australian Standard AS4970-2009 Protection of Trees on Development Sites.

TOPSOIL: Soil, if imported to the site is to be screened and free from perennial weeds. Cultivate existing site soil to 200mm depth. To garden areas spread imported topsoil to a lightly rolled depth of 150mm over cultivated site soil. To lawn areas spread imported topsoil to lightly rolled depth of 100mm. Imported topsoil to be a 70/30 mix of screened topsoil and organic compost, pH range 6-7. Apply gypsum where necessary.

TREES: All canopy trees to be a minimum 2.0 metres tall when planted.

PLANTS AND PLANTING: All plants to be healthy disease-free specimens. Over-excavate all plant holes by at least twice pot volume. Spread a slow release fertiliser to each plant hole at the manufacturers specifications. Stake and tie trees by two 2100x32x32 pointed stakes and large shrubs with one 1800x25x25 pointed stake. All ties to be flexible rubber or canvas ties in 'figure 8' configuration. Immediately after planting, water-in all plants and maintain regular follow-up watering during establishment period.

LAWN: Soil to finish as a lightly rolled layer 8mm above adjacent paved surfaces, or plinth board. Spread lawn seed at the rate of 40gms/m squared. For instant turf grass finish top soil as lightly rolled layer flush to adjacent paved surfaces. Ensure seed bed and instant turf areas are kept moist during the establishment period.

EDGING: Separate garden bed, gravel and lawn areas by a 100x20 C.C.A. treated pine plinth board pegged at 1200mm centres, or similar hard edging.

MULCH: After planting spread shredded pinewood mulch to a depth of 75mm to all garden beds.

IRRIGATION: The garden bed areas are to be irrigated by an in-ground poly-pipe and emitter dripper system (with automatic timer).

MAINTENANCE: Maintain all garden beds in a neat and tidy condition. Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate any weed growth.

DISCLAIMER: Bradbury Culina shall not be liable for any damage caused to the existing vegetation retained on and surrounding the site, it is the sole responsibility of the owner or builder. It is the Landscape Contractor's responsibility to locate and prove all services prior to undertaking works and various authorities are to be notified. Should any existing services be damaged during construction works, the contractor shall make arrangement for repairs. All costs for this shall be borne by the contractor.

BUSHFIRE MANAGEMENT NOTES

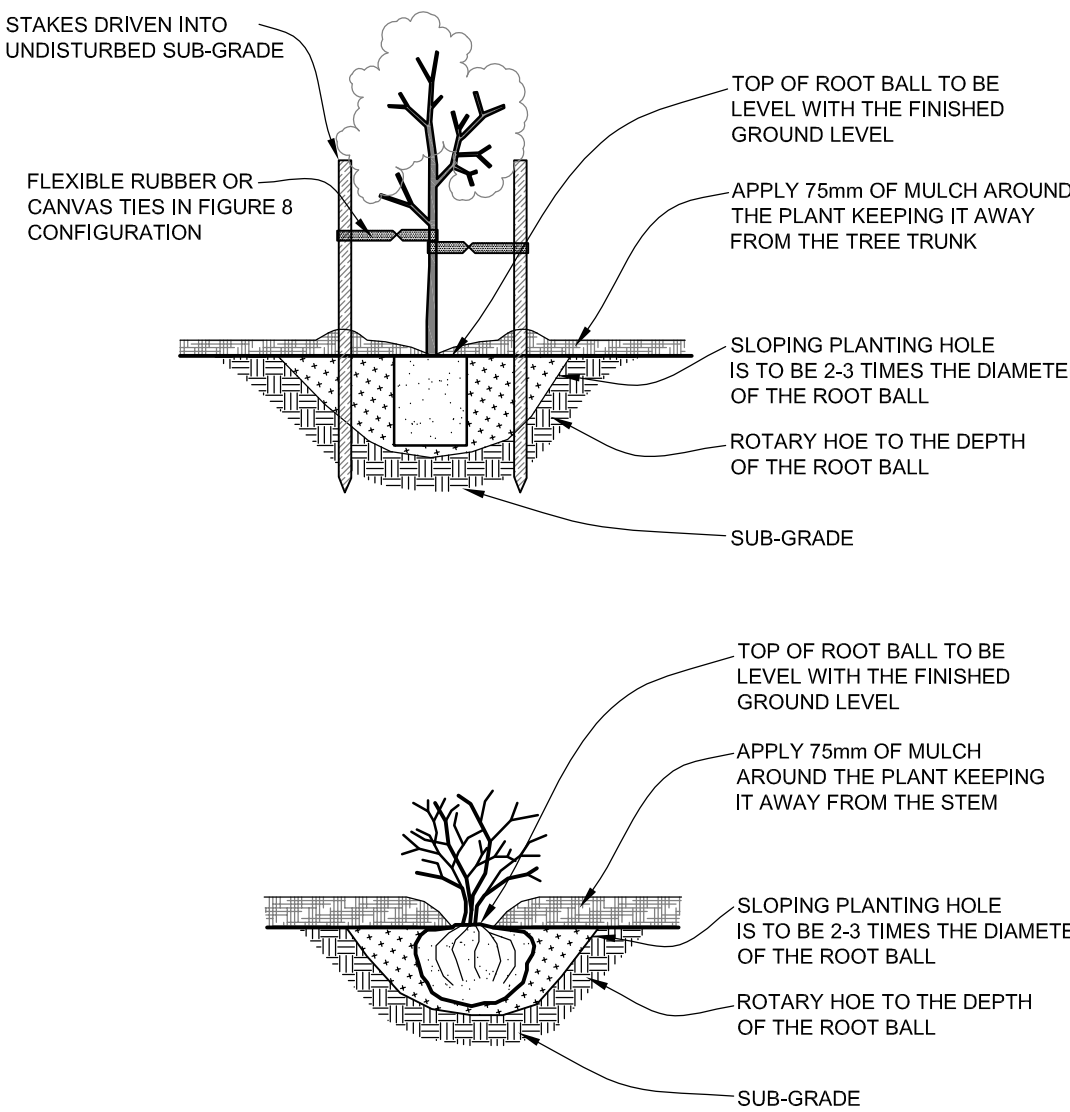
Defendable space to a distance of the property boundary around the proposed buildings is to be provided and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT*	WIDTH*	POT SIZE	QTY
EVERGREEN TREES						
C.c.	Corymbia citridora 'Scentuosus'	Dwarf Lemon Scented Gum	7m	3-4m	1.5m TALL	2
DECIDUOUS TREES						
P.c.	Pistacia chinensis	Chinese Pistachio	8m	6m	1.5m TALL	1
SHRUBS						
A.a.	Acacia achnacea	Gold Dust Wattle	2m	2m	150mm	5
B.s.	Bursaria spinosa	Sweet Bursaria	4m	2m	150mm	9
C.L.J.	Callistemon 'Little John'	Bottlebrush 'Little John'	1m	1m	150mm	4
C.r.	Correa reflexa	Common Correa	1.2m	1.2m	150mm	5
C.S.	Callistemon 'Slim'	Bottlebrush 'Slim'	3m	1.5m	200mm	5
G.o.	Goodenia ovata	Hop Goodenia	1.2m	1.5m	150mm	2
W.	Westringia 'Wynnable Gem'	Native Rosemary	1.5m	1.5-2m	200mm	3
GROUNDCOVERS AND TUFTING PLANTS						
C.	Chryscephalum apiculatum	Yellow Buttons	0.2m	1m	100mm	7
D.L.J.	Dianella 'Little Jess'	Flax Lily 'Little Jess'	0.4m	0.5m	150mm	27
L.T.	Lomandra longifolia 'Tanika'	Mat-Rush 'Tanika'	0.6m	0.7m	150mm	33

* Denotes height and width at maturity

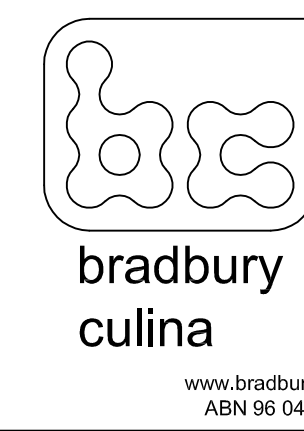


TYPICAL TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE

MAINTENANCE PLAN

ACTION	0-1 MONTH	1-3 MONTHS	3-6 MONTHS	6-12 MONTHS	12-24 MONTHS
Watering	Every 3 days		Weekly	Every 2-3 weeks	During dry spells
Weeding	Every 2-3 weeks		Once a month		
Mulching	Maintain mulch level at 75mm - apply additional mulch as required				
Dead Plants	Replace dead plants with approved species as required				
Fertilising	Apply fertiliser once a year				Once a year
Pruning	Prune after flowering - once a year				
Pest Control	Inspect every 2 weeks		Inspect monthly		
Plant Stakes		Remove ties after 3 months		Remove stakes once plants are established	

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CLIENT:
V & A. Joannidis
PROJECT ADDRESS:
32 Kings Road, Marysville

DATE:
14 Sep. 2023
SCALE (BAG):
1:100

DRAWING TITLE:
Landscape Plan
DRAWING NUMBER:
4076-A

FOR TOWN
PLANNING
SHEET:
1 / 1

Report of available native vegetation credits

This report lists native vegetation credits available to purchase through the Native Vegetation Credit Register.

This report is **not evidence** that an offset has been secured. An offset is only secured when the units have been purchased and allocated to a permit or other approval and an allocated credit extract is provided by the Native Vegetation Credit Register.

Date and time: 22/01/2024 08:09

Report ID: 22514

What was searched for?

General offset

General habitat units	Strategic biodiversity value	Large trees	Vicinity (Catchment Management Authority or Municipal district)	
0.026	0.744	0	CMA	Goulburn Broken
			or LGA	Murrindindi Shire

Details of available native vegetation credits on 22 January 2024 08:09

These sites meet your requirements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
BBA-1145	1.047	53	Goulburn Broken	Mitchell Shire	No	Yes	No	Ethos
BBA-2748	0.065	107	Goulburn Broken	Greater Shepparton City	Yes	Yes	No	VegLink
BBA-2865	2.349	0	Goulburn Broken	Greater Shepparton City	Yes	Yes	No	VegLink
TFN-C1962	0.042	8	Goulburn Broken, Melbourne Water	Macedon Ranges Shire	No	Yes	No	Contact NVOR
TFN-C2008	0.392	0	Goulburn Broken	Greater Shepparton City	No	Yes	No	Contact NVOR
VC_CFL-2355_03	8.817	88	Goulburn Broken	Greater Shepparton City	Yes	Yes	No	VegLink
VC_CFL-2636_01	0.289	0	Goulburn Broken	Strathbogie Shire	Yes	Yes	No	Bio Offsets, VegLink
VC_CFL-2636_01	0.430	0	Goulburn Broken	Strathbogie Shire	Yes	Yes	Yes	VegLink
VC_CFL-3790_01	4.770	40	Goulburn Broken	Campaspe Shire	Yes	Yes	No	VegLink

These sites meet your requirements using alternative arrangements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
BBA-3014	0.030	78	Goulburn Broken	Mitchell Shire	No	Yes	No	Ethos

TFN-C1498_2	0.053	0	Goulburn Broken	Strathbogie Shire	No	Yes	No	Ethos
VC_CFL-2865_02	0.056	25	Goulburn Broken	Greater Shepparton City	Yes	Yes	No	VegLink

These potential sites are not yet available, land owners may finalise them once a buyer is confirmed.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
VC_CFL-3747_01	6.571	150	Goulburn Broken	Mansfield Shire	Yes	Yes	No	VegLink

LT - Large Trees

CMA - Catchment Management Authority

LGA - Municipal District or Local Government Authority

Next steps

If applying for approval to remove native vegetation

Attach this report to an application to remove native vegetation as evidence that your offset requirement is currently available.

If you have approval to remove native vegetation

Below are the contact details for all brokers. Contact the broker(s) listed for the credit site(s) that meet your offset requirements. These are shown in the above tables. If more than one broker or site is listed, you should get more than one quote before deciding which offset to secure.

Broker contact details

Broker Abbreviation	Broker Name	Phone	Email	Website
Abezco	Abzeco Pty. Ltd.	(03) 9431 5444	offsets@abzeco.com.au	www.abzeco.com.au
Baw Baw SC	Baw Baw Shire Council	(03) 5624 2411	bawbaw@bawbawshire.vic.gov.au	www.bawbawshire.vic.gov.au
Bio Offsets	Biodiversity Offsets Victoria	0452 161 013	info@offsetsvictoria.com.au	www.offsetsvictoria.com.au
Contact NVOR	Native Vegetation Offset Register	136 186	nativevegetation.offsetregister@delwp.vic.gov.au	www.environment.vic.gov.au/native-vegetation
Ecocentric	Ecocentric Environmental Consulting	0410 564 139	ecocentric@me.com	Not available
Ethos	Ethos NRM Pty Ltd	(03) 5153 0037	offsets@ethosnrm.com.au	www.ethosnrm.com.au
Nillumbik SC	Nillumbik Shire Council	(03) 9433 3316	offsets@nillumbik.vic.gov.au	www.nillumbik.vic.gov.au
TFN	Trust for Nature	8631 5888	offsets@tfn.org.au	www.trustfornature.org.au
VegLink	Vegetation Link Pty Ltd	(03) 8578 4250 or 1300 834 546	offsets@vegetationlink.com.au	www.vegetationlink.com.au
Yarra Ranges SC	Yarra Ranges Shire Council	1300 368 333	biodiversityoffsets@yarraranges.vic.gov.au	www.yarraranges.vic.gov.au

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For more information contact the DEECA Customer Service Centre 136 186 or the Native Vegetation Credit Register at nativevegetation.offsetregister@delwp.vic.gov.au

Disclaimer

This publication may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this publication.

Obtaining this publication does not guarantee that the credits shown will be available in the Native Vegetation Credit Register either now or at a later time when a purchase of native vegetation credits is planned.

Notwithstanding anything else contained in this publication, you must ensure that you comply with all relevant laws, legislation, awards or orders and that you obtain and comply with all permits, approvals and the like that affect, are applicable or are necessary to undertake any action to remove, lop or destroy or otherwise deal with any native vegetation or that apply to matters within the scope of Clauses 52.16 or 52.17 of the Victoria Planning Provisions and Victorian planning schemes

Native Vegetation Removal Report

NVRR ID: 355_20240122_33N

This report provides information to support an application to remove, destroy or lop native vegetation in accordance with the [Guidelines for the removal, destruction or lopping of native vegetation](#) (the Guidelines). This report **is not an assessment by DEECA** of the proposed native vegetation removal. Offset requirements have been calculated using modelled condition scores.

Report details

Date created: 22/01/2024

Local Government Area: MURRINDINDI SHIRE

Registered Aboriginal Party: Taungurung

Coordinates: 145.74806, -37.51570

Address:

38 KINGS ROAD MARYSVILLE 3779

40 KINGS ROAD MARYSVILLE 3779

30 KINGS ROAD MARYSVILLE 3779

Summary of native vegetation to be removed

Assessment pathway	Basic Assessment Pathway		
Location category	Location 1 The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
Total extent including past and proposed removal (ha) <i>Includes endangered EVCs (ha): 0</i>	0.06	<i>Extent of past removal (ha)</i>	<i>0</i>
		<i>Extent of proposed removal - Patches (ha)</i>	<i>0.029</i>
		<i>Extent of proposed removal - Patch Trees (outside of a mapped patch) (ha)</i>	<i>0.031</i>
		<i>Extent of proposed removal - Scattered Trees (ha)</i>	<i>0.000</i>
No. Large Trees proposed to be removed	0	<i>No. Large Patch Trees</i>	<i>0</i>
		<i>No. Large Scattered Trees</i>	<i>0</i>
No. Small Scattered Trees	0		

Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

General Offset amount ¹	0.026 General Habitat Units
Minimum strategic biodiversity value score ²	0.744
Large Trees	0
Vicinity	Goulburn Broken CMA or MURRINDINDI SHIRE LGA

NB: values within tables in this document may not add to the totals shown above due to rounding

The availability of third-party offset credits can be checked using the Native Vegetation Credit Register (NVCR) Search Tool - <https://nvcr.delwp.vic.gov.au>

1. The General Offset amount required is the sum of all General Habitat Units in Appendix 1.

2. Minimum strategic biodiversity value score is 80 per cent of the weighted average score across habitat zones where a General Offset is required. **Page 2**



Application requirements

Applications to remove, destroy or lop native vegetation must include all the below information. If an appropriate response has not been provided the application is not complete.

Application Requirement 1 - Native vegetation removal information

If the native vegetation removal is mapped correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 1.

Application Requirement 2 - Topographical and land information

This statement describes the topographical and land features in the vicinity of the proposed works, including the location and extent of any ridges, hilltops, wetlands and waterways, slopes of more than 20% gradient, low-lying areas, saline discharge areas or areas of erosion.

The land slopes from the South East towards the North West with a total fall of approximately 3m across the site. There is an existing concrete pool on the site from past development and this will be utilised within the current development.

Application Requirement 3 - Photographs of the native vegetation to be removed

Application Requirement 3 is not addressed in this Native Vegetation Removal Report. All applications must include recent, timestamped photos of each Patch, Large Patch Tree and Scattered Tree which has been mapped in this report.

Application Requirement 4 - Past removal

If past removal has been considered correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 4.

Application Requirement 5 - Avoid and minimise statement

This statement describes what has been done to avoid and minimise impacts on native vegetation and associated biodiversity values.

Vegetation removal has been kept to a minimum and has been driven by the need to meet bushfire planning requirements to achieve suitable defensible space around the proposed dwelling. The site is within a high fire danger area.

Much of the vegetation on site is regrowth, following the bushfires several years ago, demonstrating the bushfire risk posed to the site.

2 larger trees have been retained at the frontage to the property to maintain the rural look of the site and in the lowest fire risk area of the site.

Application Requirement 6 - Property Vegetation Plan

This requirement only applies if an approved Property Vegetation Plan (PVP) applies to the property
Does a PVP apply to the proposal?

No



Application Requirement 7 - Defendable space statement

Where the removal of native vegetation is to create defendable space, this statement:

- Describes the bushfire threat; and
- Describes how other bushfire risk mitigation measures were considered to reduce the amount of native vegetation proposed for removal (this can also be part of the avoid and minimise statement).

This statement is not required if, the proposed defendable space is within the Bushfire Management Overlay (BMO), and in accordance with the 'Exemption to create defendable space for a dwelling under Clause 44.06 of local planning schemes' in Clause 52.12-5.

The bushfire threat in the area is significant. Concerns regarding bushfire management have been addressed through consultation with the CFA and the bushfire management plans and revised site plans prepared for this amendment to the application.

Application Requirement 8 - Native Vegetation Precinct Plan

This requirement is only applicable if you are removing native vegetation from within an area covered by a Native Vegetation Precinct Plan (NVPP), and the proposed removal is not identified as 'to be removed' within the NVPP.

Does an NVPP apply to the proposal?

No

Application Requirement 9 - Offset statement

This statement demonstrates that an offset is available and describes how the required offset will be secured. The Applicant's Guide provides information relating to this requirement.

A suitable third party offset will be purchased from available offsets. A suitable offset available for purchase is included with this report to demonstrate current availability.



Next steps

Applications to remove, destroy or lop native vegetation must address all the application requirements specified in the Guidelines. If you wish to remove the mapped native vegetation you are required to apply for approval from the responsible authority (e.g. local Council). This Native vegetation removal report must be submitted with your application and meets most of the application requirements. The following requirements need to be addressed, as applicable.

Application Requirement 3 - Photographs of the native vegetation to be removed

Recent, dated photographs of the native vegetation to be removed **must be provided** with the application. All photographs must be clear, show whether the vegetation is a Patch of native vegetation, Patch Tree or Scattered Tree, and identify any Large Trees. If the area of native vegetation to be removed is large, provide photos that are indicative of the native vegetation.

Ensure photographs are attached to the application. If appropriate photographs have not been provided the application is not complete.

Application Requirement 6 - Property Vegetation Plan

If a PVP is applicable, it must be provided with the application.

Appendix 1: Description of native vegetation to be removed

General Habitat Units for each zone (Patch, Scattered Tree or Patch Tree) are calculated by the following equation in accordance with the Guidelines.

General Habitat Units = extent without overlap x condition score x general landscape factor x 1.5, where the general landscape factor = 0.5 + (strategic biodiversity value score/2)

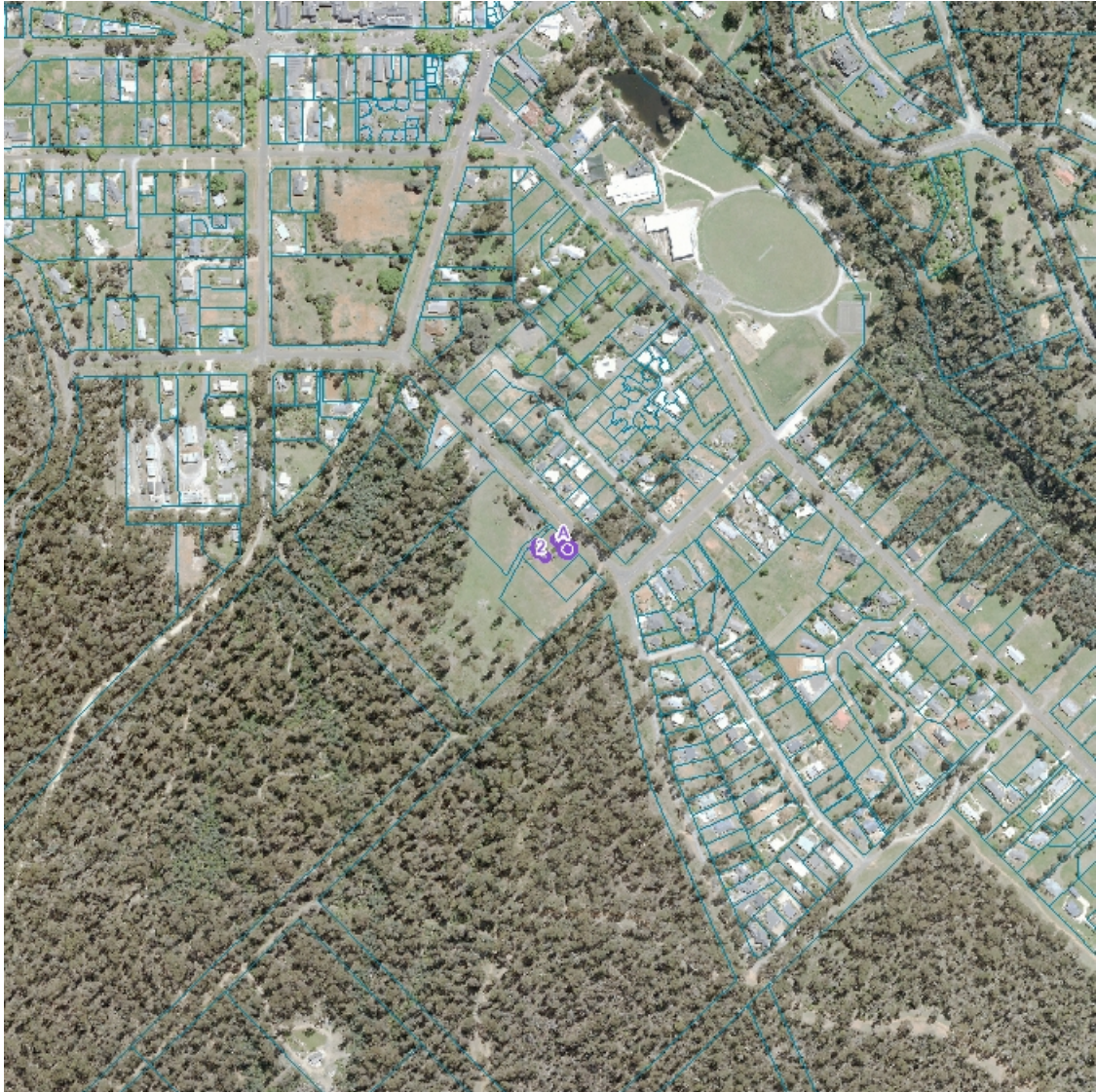
The General Offset amount required is the sum of all General Habitat Units per zone.

Native vegetation to be removed

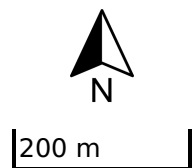
Information provided by or on behalf of the applicant			Information calculated by NVR Map							
Zone	Type	DBH (cm)	EVC code (modelled)	Bioregional conservation status	Large Tree(s)	Condition score (modelled)	Polygon extent (ha)	Extent without overlap (ha)	SBV score	General Habitat Units
1	Patch	-	HNF_0029	Least Concern	-	0.310	0.007	0.007	0.930	0.003
2	Patch	-	HNF_0029	Least Concern	-	0.282	0.022	0.022	0.930	0.009
A	Patch Tree (outside mapped Patch)	30	HNF_0029	Least Concern	-	0.310	0.031	0.031	0.930	0.014

Appendix 2: Images of mapped native vegetation

1. Property in context




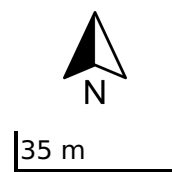
- Proposed Removal
- Property Boundaries



2. Aerial photograph showing mapped native vegetation



 Proposed Removal



3. Location Risk Map



Proposed Removal

Location 1

Location 2

Location 3



35 m

4. Strategic Biodiversity Value Score Map



Proposed Removal

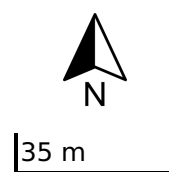
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0.41 - 0.60

0.21 - 0.40

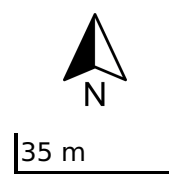
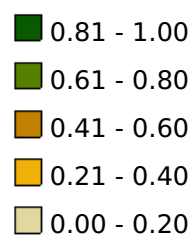
0.00 - 0.20



5. Condition Score Map



Proposed Removal



6. Endangered EVCs

Not Applicable

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BUSHFIRE HAZARD SITE ASSESSMENT

40 KINGS ROAD - MARYSVILLE



SCALE 1:1500

LEGEND

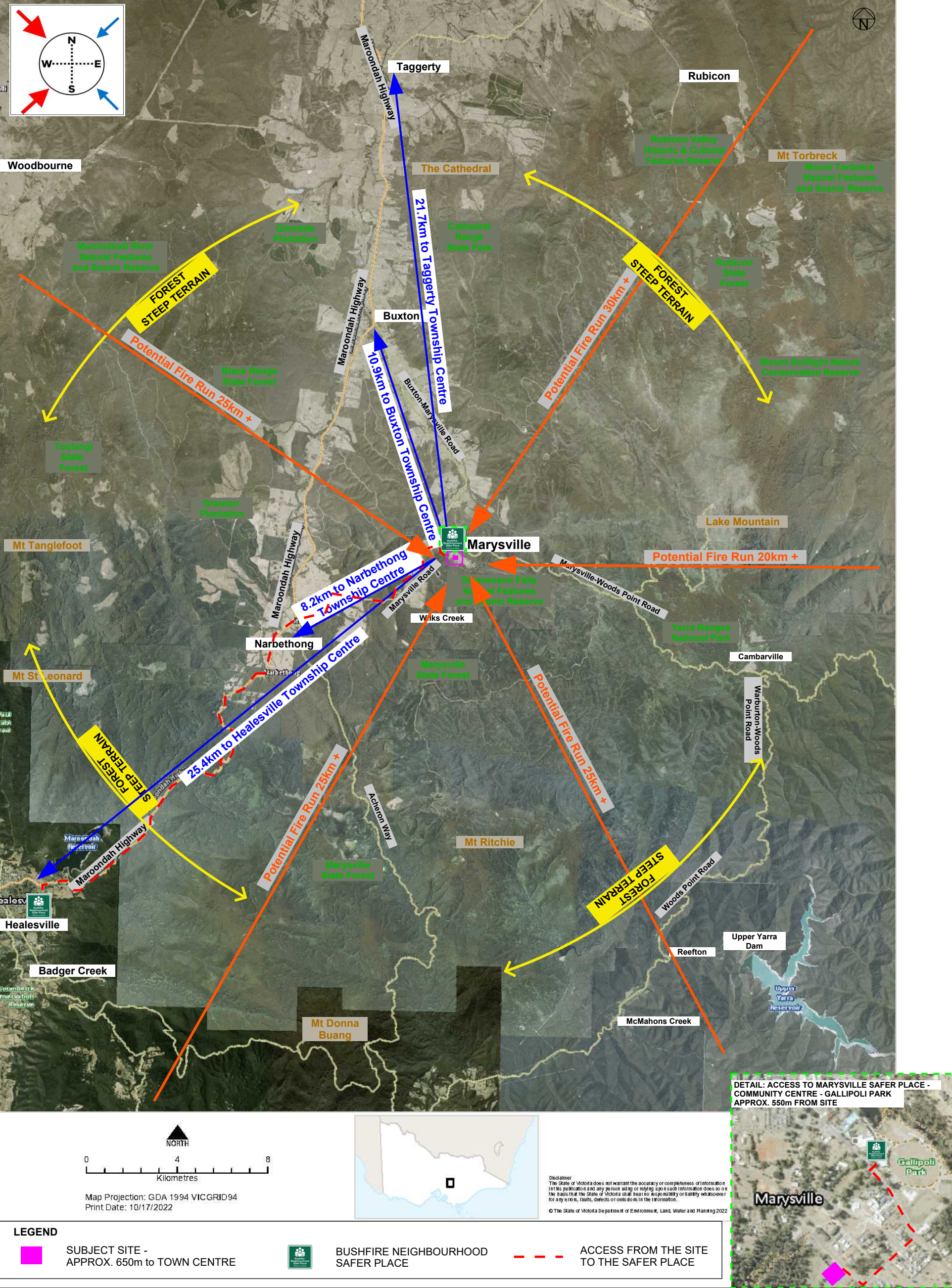
	SUBJECT SITE BOUNDARY		GARDEN SHED APPROX. 6m ³
	INTERNAL FENCE		FOREST - MARYSVILLE BEAUTY SPOT NATURAL FEATURES RESERVE
	CARPORT		EXCLUDED VEGETATION <0.25ha & MORE THAN 20m FROM FOREST
	DWELLING 1 - 4 BEDROOM DWELLING		GRASSLAND / MODIFIED VEGETATION
	DWELLING 2 - 2 BEDROOM DWELLING		NEAREST HYDRANT
	DWELLING 3 - 2 BEDROOM DWELLING		10,000L WATER TANK FOR FIREFIGHTING
	DWELLING 4 - 1 BEDROOM DWELLING		

Bushfire Hazard Landscape Assessment

40 Kings Road, Marysville



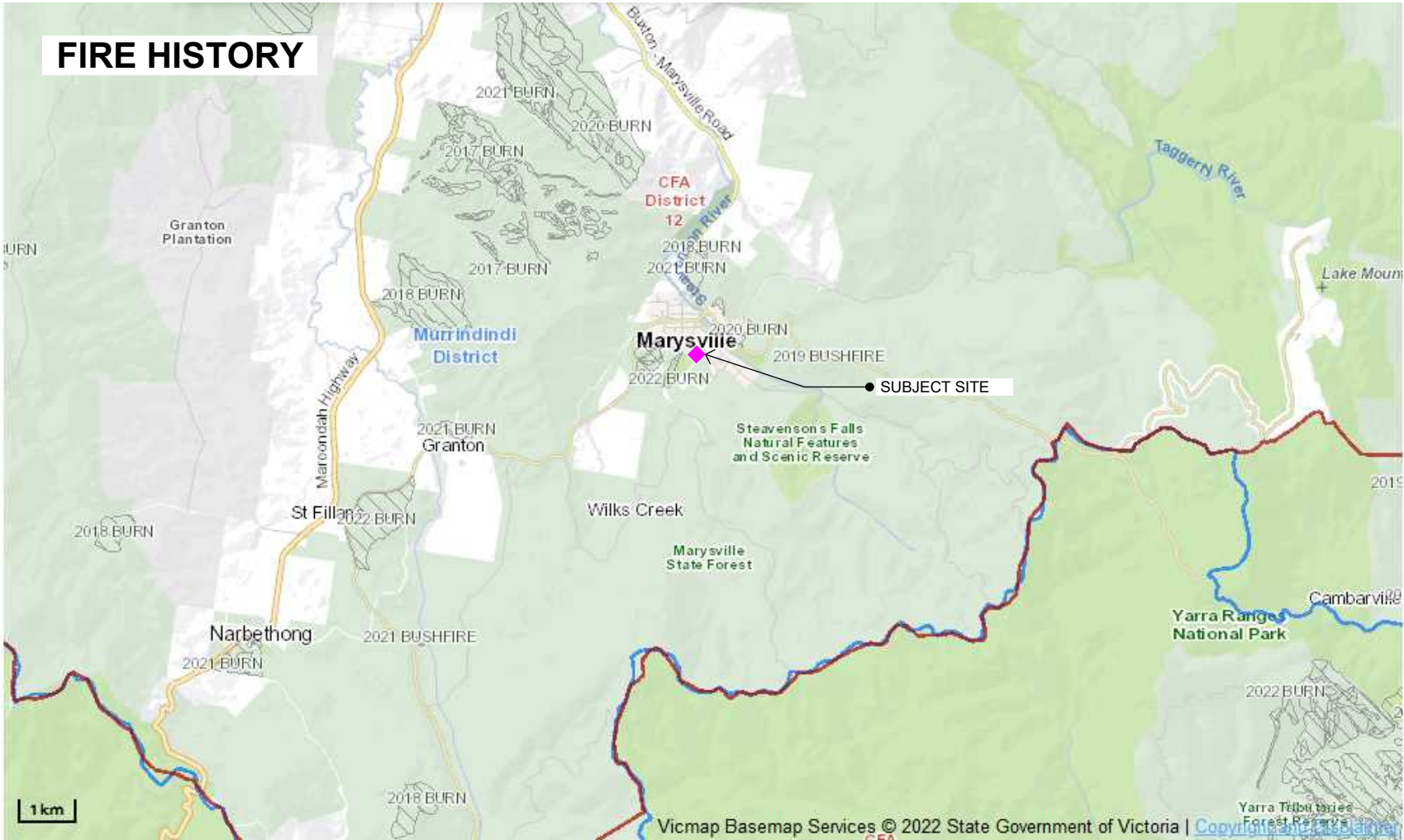
Environment,
Land, Water
and Planning



FOREST FIRE MANAGEMENT VICTORIA - PAST BUSHFIRES MAPS

INTERACTIVE MAP

Source: <https://www.ffm.vic.gov.au/bushfire-fuel-and-risk-management/joint-fuel-management-program>



- Legend**
- Strategic Fuel Breaks**
- 2021-22 Non Burning Treatment - Strategic Fuel Breaks
 - 2022-24 Non Burning Treatment - Strategic Fuel Breaks
 - 2021-24 Non Burning Treatment - Other Mechanical Treatments
- Planned Burns**
- 2021-2022
 - 2022-2023
 - 2023-2024
- Fire Management Zones**
- 1 - Asset Protection Zone
 - 2 - Bushfire Moderation Zone
 - 3 - Landscape Management Zone
 - 4 - Planned Burn Exclusion Zone
- Other Legend Items**
- Fire History
 - CFA District Boundaries
 - DELWP District Boundaries

Bushfire Management Statement

Pathway 2 Application (Clause 53.02-4)



TURNING POINT PROPERTY & PROJECTS

Construction of a dwelling –

Multi dwelling development - four (4) dwellings:

Dwelling 1 – 1 bedroom dwelling

Dwelling 2 – 2 bedroom dwelling

Dwelling 3 – 2 bedroom dwelling

Dwelling 4 – 1 bedroom dwelling

Subject Property:

Lot 1 PS834930

40 Kings Road, Marysville VIC 3779

Date: 29/08/2023

Prepared by:

Jason Schneider-Fuller PIA (Assoc.)

PO Box 44, Lavington NSW 2641

Phone: 0448 980 652

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INTRODUCTION

This Bushfire Management Statement has been prepared in response to the requirements of Clause 44.06 – Bushfire Management Overlay, and in accordance with the application requirements of Clause 53.02 – Bushfire Planning.

The statement contains three components:

1. A **bushfire hazard landscape assessment** including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site. Photographs or other techniques may be used to assist in describing the bushfire hazard.
2. A **bushfire hazard site assessment** including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard must be prepared in accordance with Section 2.2.3 to 2.2.5 of AS3959:2009 Construction of buildings in bushfire prone areas (Standards Australia) excluding paragraph (a) of section 2.2.3.2. Photographs or other techniques may be used to assist in describing the bushfire hazard.
3. A **bushfire management statement** describing how the proposed development responds to the requirements of Clause 44.06 and 53.02.

APPLICATION DETAILS

Municipality:	Murrindindi
Title Description:	Lot 1 PS834930
Overlays:	VPO1 – Vegetation Protection Overlay – Schedule 1 BMO – Bushfire Management Overlay
Zoning:	GRZ1 - General Residential Zone – Schedule 1

SITE DESCRIPTION

Site Shape:	Largely rectangular
Site Dimensions:	Frontage approx. 43.72m Depth approx. 48.00m
Site Area:	2154m ²
Existing use and siting of buildings and works on and near the land:	Existing disused pool and outbuilding on site. No residential dwelling currently on the site.
Existing vehicle Arrangements:	Crossover and partial gravel driveway on site toward northern end of frontage.
Location of nearest fire hydrant:	The nearest fire hydrant is located on the opposite side of Kings Road, approx. 79.45m from the rear of proposed dwelling 1, approx. 64.8m from the rear of proposed dwelling 2, approx. 87.3m from the rear of proposed dwelling 3 and approx. 115.7m from the rear of proposed dwelling 4.
Any other features of the site relevant to bushfire considerations:	Although not adjoining the subject site, to the south and southwest of the subject site is the Marysville Beauty Spot Natural Features Reserve.

BUSHFIRE LANDSCAPE ASSESSMENT

Refer to Planning Permit Applications Bushfire Management Overlay Technical Guide for details to assist in developing a Bushfire Hazard Landscape Assessment.

Which landscape scenario represents the site? (Refer to Technical Guide for descriptions)

The landscape scenario that represents this is Landscape Scenario 3.

What is the likely fire behaviour impacting the site?

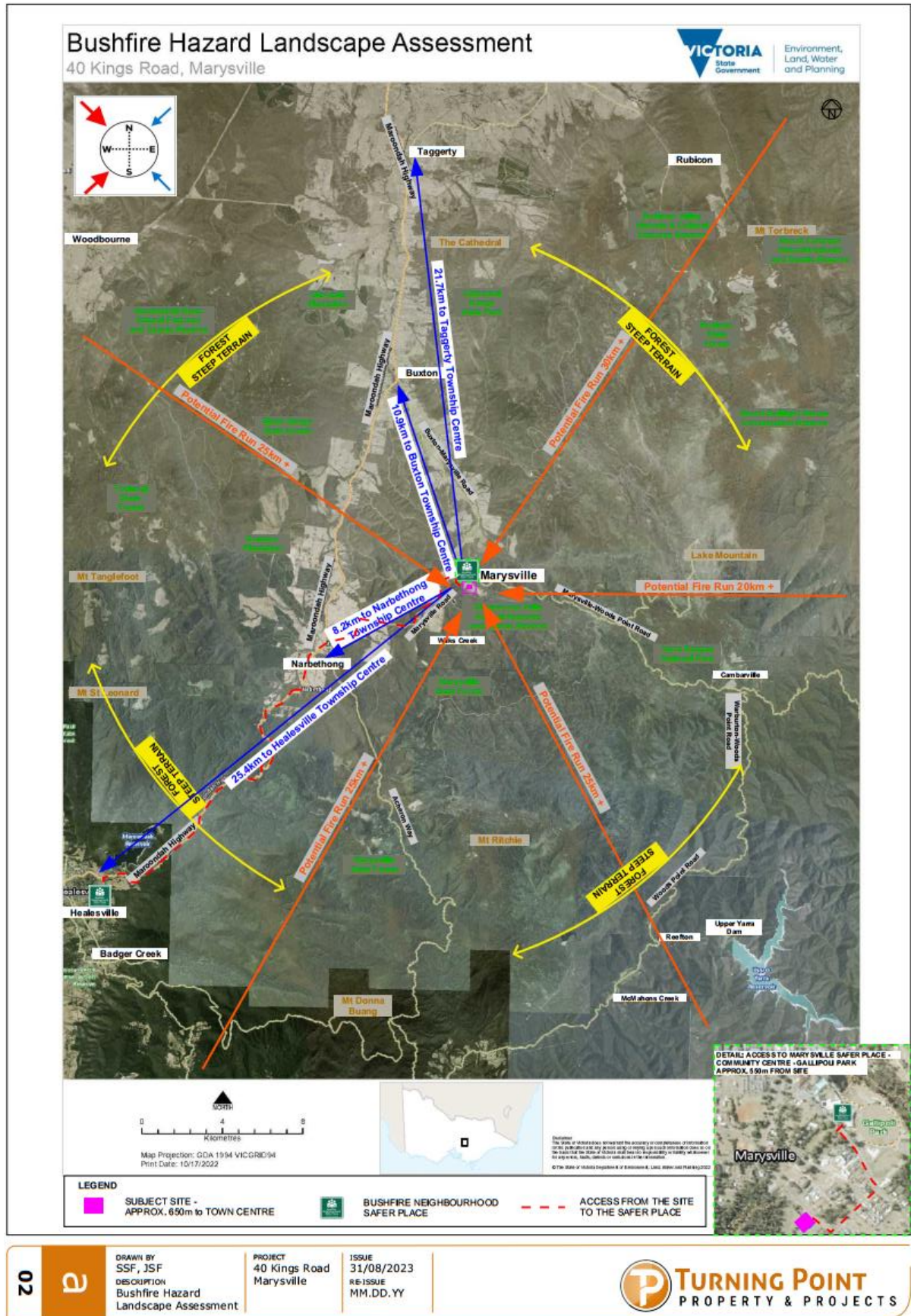
The subject site is located to the south-east of the town centre of Marysville. Marysville is a small town located in the Yarra Valley and is surrounded by heavily forested, steep terrain. Some cleared farmland along Marysville Road to Narbethong to the south-west, along Buston-Marysville Road to Buston in the north, and between Narbethong and Buxton along the Maroondah Highway offers opportunity for a break from fire. However, due to the extent of the forest, which spreads over 25km to the south, west and north, and well over 25km to the north-east and east there is potential for a large and intense bushfire to occur.

Within this context, Marysville could be impacted by bushfire from any direction, although most likely from the west/south-west or south due to prevailing winds during extreme fire weather.

Under these conditions, extreme ember attack would be likely across the township. Neighbourhood-scale destruction of property from bushfires in such a scenario would occur and bushfire throughout the township is possible when the landscape bushfire interacts with local vegetation in the township, including from ember attack.

Under these scenarios bushfire could impact on properties and life across the entire township area, as evidenced in the 2009 Black Saturday bushfires.

BUSHFIRE LANDSCAPE ASSESSMENT PLAN



BUSHFIRE HAZARD ASSESSMENT

Classify the vegetation within 150 metres of the proposed development in accordance with AS3959:2009 Construction of buildings in bushfire prone areas.

	Direction (Aspect)			
	Northern	Southern	Eastern	Western
Vegetation (within 150 metres of proposed building/ works)	Excludable / Low Threat <input checked="" type="checkbox"/>	Excludable / Low Threat <input type="checkbox"/>	Excludable / Low Threat <input type="checkbox"/>	Excludable / Low Threat <input type="checkbox"/>
	Modified <input type="checkbox"/>	Modified <input checked="" type="checkbox"/>	Modified <input checked="" type="checkbox"/>	Modified <input checked="" type="checkbox"/>
	Forest <input type="checkbox"/>	Forest <input checked="" type="checkbox"/>	Forest <input checked="" type="checkbox"/>	Forest <input checked="" type="checkbox"/>
	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>	Woodland <input type="checkbox"/>
	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>	Scrub (tall) <input type="checkbox"/>
	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>	Shrubland (short) <input type="checkbox"/>
	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>	Mallee <input type="checkbox"/>
	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>	Rainforest <input type="checkbox"/>
	Grassland <input type="checkbox"/>	Grassland <input type="checkbox"/>	Grassland <input type="checkbox"/>	Grassland <input type="checkbox"/>
Effective Slope (under the classifiable vegetation within 150 metres)	Upslope / Flat <input type="checkbox"/>	Upslope / Flat <input checked="" type="checkbox"/>	Upslope / Flat <input checked="" type="checkbox"/>	Upslope / Flat <input checked="" type="checkbox"/>
	DOWNSLOPE	DOWNSLOPE	DOWNSLOPE	DOWNSLOPE
	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>
	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>	>20° <input type="checkbox"/>
Distance (m) to Classifiable Vegetation	N/A	Forest: 76m Grassland/ Modified: 9m	Forest: 47m Grassland / Modified: 4.5m	Forest: 74m Grassland/ Modified: 6.7m

A scaled plan that shows the following is required:

- 150 metre assessment around the location of proposed buildings and around reasonable siting options for proposed buildings (if they are available)
- Property boundaries
- Orientation
- Contours
- Classifiable vegetation within the assessment area
- Excludable vegetation within the assessment area
- Distance between the classifiable vegetation and the proposed buildings
- Slope under the classifiable vegetation (slope is based on the slope under the classifiable vegetation and not the slope between the vegetation and the building)

BUSHFIRE MANAGEMENT STATEMENT

53.02-4.1 Landscape, Siting and design objectives

- Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.
- Development is sited to minimise the risk from bushfire.
- Development is sited to provide safe access for vehicles, including emergency vehicles.
- Building design minimises vulnerability to bushfire attack.

Approved Measure (AM) 2.1 - Landscape

Requirement

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

Response:

The landscape type applied to this site is Landscape Type 3.

The site is located on the south-western edge of the township of Marysville. Adjoining lots to the south and east are managed vacant land with modified grassland. The lot adjoining to the west includes a dwelling, managed/modified grassland and forest. Opposite the site and further north are residential dwellings with managed gardens, including some treed vacant lots. Further to the west, south and south-east of the site is forest.

Bushfire may approach from more than one direction, with extensive Forest surrounding the township of Marysville, with this extending a significant distance over steep terrain.

There is modified grassland adjoining the subject site to the north-west, south-west and south-east boundaries. The proposed dwellings have been sited to maximise the distance of the buildings from these boundaries while working with the existing constraints of the site and providing amenity for the future residents. As such, at the closest point, the proposed development is located approx. 6.7m from the modified grassland to the north-west, approx. 4.5m from the modified grassland to the south-east and approx. 9m to the south-west. While conditions are anticipated to improve in the future when dwellings are likely to be constructed on these adjoining lots, this assessment and the setbacks have been prepared on the basis that currently the adjoining vacant lots are not actively managed in the way they will be, when dwellings are constructed on these lots.

The forest closest to the subject site is within 150m of the proposed development; approx. 47m to the east and approx. 52m to the south-east, upslope. Forest is

also located approx. 74m to the west of the site and 76m to the south of the site, also upslope.

The existing road network links the site to the nearby Neighbourhood Safer Places located approximately 550m away at the Marysville Community Centre, Gallipoli Park; and approximately 34km away to Queens Park at Healesville.

Nearest fire brigades are located at Marysville approximately 1km away on Barton Avenue; the Narbethong Brigade approximately 10.8km away at 628 Maroondah Highway; and, the Buxton CFA approximately 12.7km away at 2121 Maroondah Highway.

The proposed dwellings are easily accessible by emergency service vehicles via the existing road network and the proposed gravel driveways. The proposed driveway to the east of the site is approx. 27.8m long and will provide access for dwelling 1.

The proposed driveway to the west and rear of the site is approx. 78m long and will provide access to dwellings 2, 3 and 4, with dwelling 4 located at the furthest point. The curve in this driveway has an inner radius of 10m.

Each dwelling will have a 10,000L water tank for use as a water supply for fire fighting purposes, located within 4m of the accessway.

Has Approved Measure (AM) 2.1 been met?

Yes ☒

No ☐

Approved Measure (AM) 2.2 - Siting

Requirement

A building is sited to ensure the site best achieves the following:

- **The maximum separation distance between the building and the bushfire hazard**

Response:

The proposed buildings have been sited on the lot to maximise the distance from the boundary, within the constraints of the site, which has an existing pool, and to provide separation between the dwellings, while providing good amenity for the future residents and occupants.

- **The building is in close proximity to a public road**

Response:

All proposed dwellings have direct access to Kings Road, an existing public road. The proposed driveway to the east of the site is approx. 27.8m long and will provide access for dwelling 1.

The proposed driveway to the west and rear of the site is approx. 78m long and will provide access to dwellings 2, 3 and 4, with dwelling 4 located at the furthest point.

- **Access can be provided to the building for emergency service vehicles**

Response:

Emergency service vehicles are able to use Kings Road, an existing public road to access the proposed driveways for the dwellings.

The proposed driveway to the east of the site is relatively straight, approx. 27.8m long and will provide access for dwelling 1.

The proposed driveway to the west and rear of the site is approx. 78m long and will provide access to the dwellings 2, 3 and 4, with dwelling 4 located at the furthest point. This driveway is 3.5m wide, with a curve to the rear portion of the driveway that has an inner radius of 10m.

Has Approved Measure (AM) 2.2 been met?

Yes ☒

No ☐

Approved Measure (AM) 2.3 - Building Design

Requirement

A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

Response:

The proposed building design elements which reduce the impact of bushfire on the buildings include:

- Simple design for the dwellings minimising ember hazards.
- Basic rooflines to the dwellings and carports.

Has Approved Measure (AM) 2.3 been met?

Yes ☒

No ☐

53.02-4.2 Defendable Space and Construction Objective

- Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on the building.

Approved Measure (AM) 3.1 - Bushfire Construction and Defendable Space

Requirement


A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office, retail premises, service station or warehouse provides the defendable space in accordance with Column A, B, C of Table 2 to Clause 53.02-5 and is managed in accordance with Table 6 to Clause 53.02-5 wholly within the title boundaries of the land.

Response:

The building will be provided with defendable space in accordance with Modified Vegetation.

The defendable space distance required is 50 metres, or the property boundary whichever is the lesser, for buildings constructed to all bushfire attack levels.

Table 6 of Clause 53.02-5 - Vegetation management requirement:

Vegetation must to be managed to the following standard	CONFIRM ACCEPTANCE
<ul style="list-style-type: none"> Grass must be short cropped and maintained during the declared fire danger period. All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period. Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building. Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building. Shrubs must not be located under the canopy of trees. Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres. Trees must not overhang or touch any elements of the building. The canopy of trees must be separated by at least 5 metres. There must be a clearance of at least 2 metres between the lowest tree branches and ground level. 	

Are there significant siting constraints that would allow Column D of Table 2 to Clause 53.02-5?

Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Not Applicable <input type="checkbox"/>
------------------------------	--	---

• **Additional information**

Response:

None

A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.

The building will be constructed to BAL 29

Is the defendable space wholly contained within the boundaries of your property?

Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> if no, see Alternative Measure 3.3
---	--

Has Approved Measure (AM) 3.1 been met?

Yes ☒ No ☐

Alternative Measures

Alternative Measure (AltM) 3.3 – Defendable Space on adjoining land

Requirement

Adjoining land may be included as defendable space where there is reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

Response:

N/A – as per Technical Guide: If vegetation is ‘partially modified’ AM 3.1 and AM 3.2 allow for defendable space to be provided to the property boundary. There is no need to use this alternative measure in these instances.

Has Alternative Measure (AltM) 3.3 been met?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
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Alternative Measure (AltM) 3.4 – Calculate defendable space using Method 2 of AS3959-2009

Requirement

Defendable space and the bushfire attack level is determined using Method 2 of AS3959:2009 Construction of buildings in bushfire prone areas (Standards Australia) subject to any guidance published by the relevant fire authority.

Response:

N/A

Has Alternative Measure (AltM) 3.4 been met?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
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Alternative Measure (AltM) 3.5 – Dwellings subject to direct flame contact

Requirement

A building used for a dwelling (including an extension or alteration to a dwelling) may provide defendable space to the property boundary where it can be demonstrated that:

- The lot has access to urban, township or other areas where:
 - Protection can be provided from the impact of extreme bushfire behaviour
 - Fuel is managed in a minimum fuel condition
 - There is sufficient distance or shielding to protect people from direct flame contact or harmful levels of radiant heat
- Less defendable space and higher construction standard is appropriate having regard to the bushfire hazard landscape assessment
- The dwelling is constructed to a bushfire attack level of BAL-FZ

This alternative measure only applies where the requirements of Approved Measure 3.1 cannot be met.

Response:

N/A

Has Alternative Measure (AltM) 3.5 been met?	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>
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Other Unspecified Alternative Measures

Response:

N/A

53.02-4.3 Water Supply and Access Objectives

- A static water supply is provided to assist in protecting property.
- Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measure (AM) 4.1 - Water Supply and Access

Water Supply Requirement

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office, retail premises service station or warehouse is provided with a static water supply for fire fighting and property protection purposes as specified in Table 4 to Clause 53.02-5.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.

Response: The subject site is 2154m² in area and each of the 4 dwellings with meet requirements as shown below:

Lot Size (m²)	Hydrant Available	Capacity (litres)	Fire Authority Fittings & Access Required	Select Response
1001 and above	Not Applicable	10,000	Yes	<input checked="" type="checkbox"/>
Note: a hydrant is available if it is located within 120 metres of the rear of the building				
Confirm Static Water Supply meets the following requirements	<input checked="" type="checkbox"/>	Is stored in an above ground water tank constructed of concrete or metal		
	<input checked="" type="checkbox"/>	All fixed above ground water pipes and fittings for fire fighting purposes must be made of corrosive resistant metal.		
	<input checked="" type="checkbox"/>	Include a separate outlet for occupant use		
	The following additional requirements apply when 10,000 litres of static water is required:			
	<input checked="" type="checkbox"/>	Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided		
	<input checked="" type="checkbox"/>	Be located within 60 metres of the outer edge of the approved building		
	<input checked="" type="checkbox"/>	The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed		
	<input checked="" type="checkbox"/>	Incorporate a ball or gate valve (British Standard Pipe (BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting)		
	<input checked="" type="checkbox"/>	Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)		

- **Additional information**

Response:

None.

Has Approved Measure (AM) 4.1 (Water Supply) been met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
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Access Requirement

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office, retail premises, service station or warehouse is provided with vehicle access designed and constructed as specified in Table 5 to Clause 53.02-5.

Response – Vehicle Access Dwelling 1:

Column A	Column B
Length of access is less than 30 metres	<input checked="" type="checkbox"/> Where fire authority access to the water supply is required under AM 4.1 fire authority vehicles must be able to get within 4 metres of the water supply outlet

Response – Vehicle Access Dwelling 2:

Column A	Column B
Length of access is less than 30 metres	<input checked="" type="checkbox"/> Where fire authority access to the water supply is required under AM 4.1 fire authority vehicles must be able to get within 4 metres of the water supply outlet

Response – Vehicle Access Dwelling 3 & 4:

Column A	Column B
Length of access is greater than 30 metres	<p>The following design and construction requirements apply:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> All weather construction <input checked="" type="checkbox"/> A load limit of at least 15 tonnes <input checked="" type="checkbox"/> Provide a minimum trafficable width of 3.5 metres <input checked="" type="checkbox"/> Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically <input checked="" type="checkbox"/> Curves must have a minimum inner radius of 10 metres <input checked="" type="checkbox"/> The average grade must be no more than 1 in 7 (14.4%)(8.1°) with a maximum grade of no more than 1 in 5 (20%)(11.3°) for no more than 50 metres <input checked="" type="checkbox"/> Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

- **Additional information**

Response:

The proposed driveway to the east of the site is approx. 27.8m long and will provide access for dwelling 1. This driveway is relatively straight and will be 3.5m wide, enabling fire authority vehicles to access the water supply outlet. This driveway will meet requirements for accessways less than 30m.

The proposed driveway to the west and rear of the site is approx. 78m long and will provide access to dwellings 2, 3 and 4, with dwelling 4 located at the furthest point.

The driveway to Dwelling 2 is approx. 26.5m long and will meet requirements for accessways less than 30m.

The driveway to dwellings 3 and 4 is longer than 30m and will meet the requirements for driveways greater than 30m.

Has Approved Measure (AM) 4.1 (Access) been met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
---	---	-----------------------------

CONCLUSION

This amended development proposal and associated assessment has been prepared on the basis of significant discussions with Sam Porter from Fire Rescue Victoria in order to satisfactorily address the concerns raised regarding the previous proposal.

Amendments have been made to the proposed dwelling type, and location, in particular the rear setback to achieve a significant improvement in defensible space within the subject sites' boundary.

If you have any questions or require further information regarding this application please do not hesitate to contact me via email Jason@turningpointproperty.com.au or mobile phone 0448 980 652.

Regards,


Jason Schneider-Fuller PIA (Assoc.)
Director

Attachment 1 – Site Photos



Image above – view north-east toward excluded vegetation <0.25ha more than 20m from Forest to the south-east of subject site 40 Kings Road, Marysville.



Image above – view east showing on left excluded vegetation <0.25ha more than 20m from Forest to the south-east of subject site and on right the corner of Forest approx. 47m to east/south-east of closest proposed dwelling, 40 Kings Rd, Marysville.



Image above – view to the west showing Forest approx. 74m from closest proposed dwelling location at 40 Kings Road, Marysville.



Image above – view south showing Forest approx. 76m from closest proposed dwelling location at 40 Kings Road, Marysville.



TURNING POINT

P R O P E R T Y & P R O J E C T S

Planning Application

Multi Dwelling Development for 4 Dwellings

Subject Property

Lot 1 PS834930

40 Kings Road, Marysville VIC 3779

Prepared by:

Jason Schneider-Fuller PIA (Assoc.)

1. INTRODUCTION

The purpose of this report is to support an application for approval for a Planning Permit for the use and development of land for a multi dwelling development.

The proposal provides for a modern contemporary single storey development for four dwellings to be undertaken.

Removal of eight trees from the subject site, in order to comply with Bushfire Protection requirements, is also proposed.

The subject site is located within the General Residential Zone – Schedule 1 and affected by a Bushfire Management Overlay and Vegetation Protection Overlay – Schedule 1.

Pre-application submission was made to Council in June 2021 with response provided by Cameron Fraser, Coordinator Planning – Murrindindi Shire Council on 28 June, 2021. Additional pre-application advice was also provided by Cameron Fraser on 8 July, 2021 and 29 September, 2021. Further discussions in particular around amending the application to a multi-dwelling application were had with Trish Kubeil in July 2023.

It is noted that the site was referred to as 32 Kings Road Marysville prior to the recent subdivision and new addressing of the site as 40 Kings Road Marysville.

2. SUBJECT SITE

The site is a largely rectangular shaped lot totalling 2154m² facing Kings Road, north of Mount Kitchener Avenue. The site has approx. 43.7m frontage to Kings Road and is approximately 48.0m deep. Other than an existing swimming pool and associated plant shed on the site, the subject site is vacant land and is generally devoid of any significant vegetation. Adjoining lots are vacant or do not currently have a residential dwelling on the site.



*Aerial image above - subject site and surrounding area: 44 Kings Road – Marysville
(source image: Mapbox)*

The surrounding lots are of various sizes and configurations, including small to medium sized residential lots, with some higher density multi dwelling development in relatively close proximity to the subject site.

Lots surrounding the subject site are also zoned General Residential Zone – Schedule 1. Further to the south and southwest of the subject site is Public Use Zoned land and includes the Marysville Beauty Spot Natural Features Reserve. Also zoned Public Use, generally north of the subject site is a small pocket of land which included former use for the Marysville Community Mens Shed, and to the northwest also zoned Public Use is the Department of Environment, Land, Water and Planning – Marysville.

Further to the northeast is Public Park and Recreation Zone land, being the Gallipoli Park Precinct.

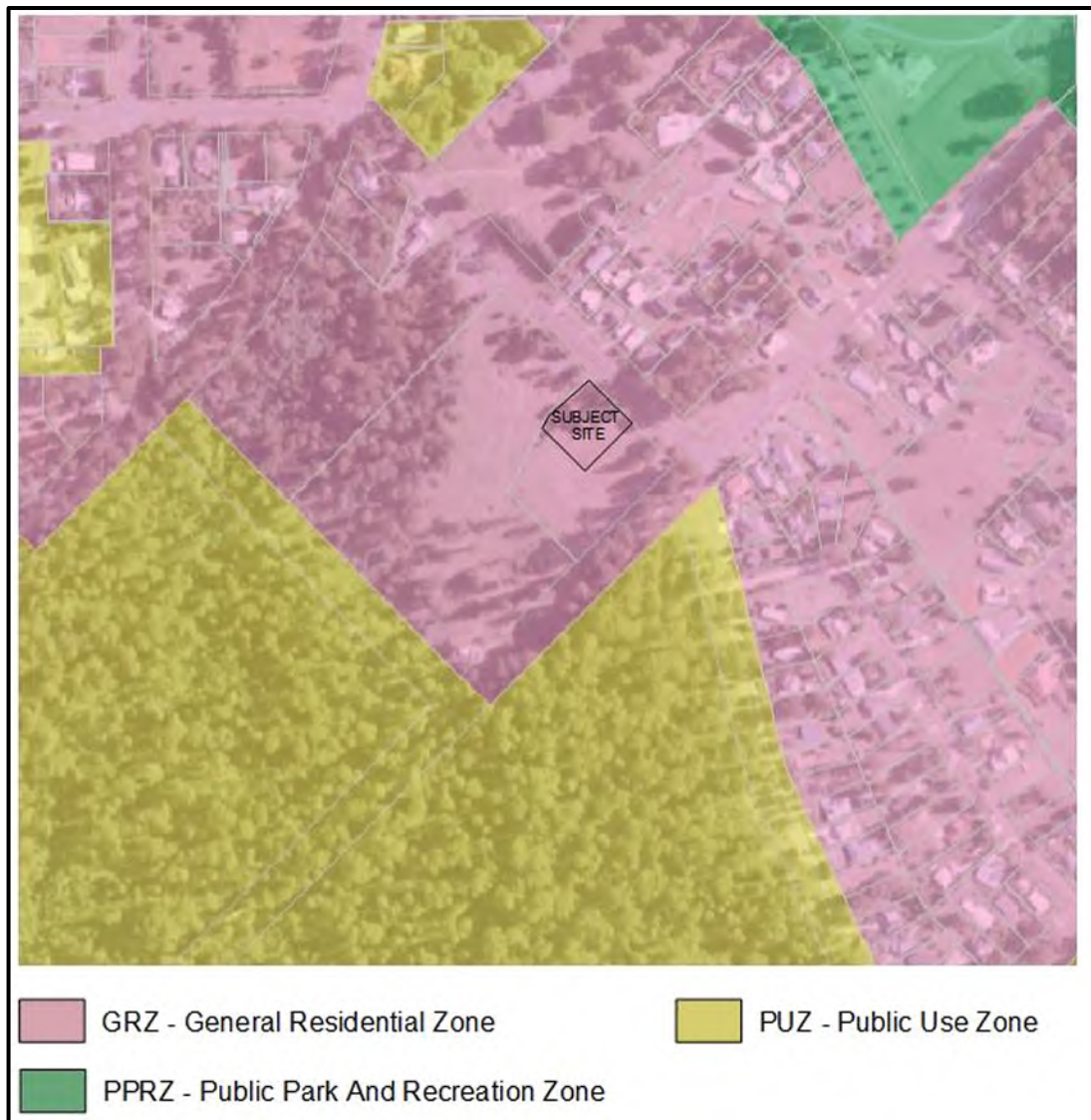
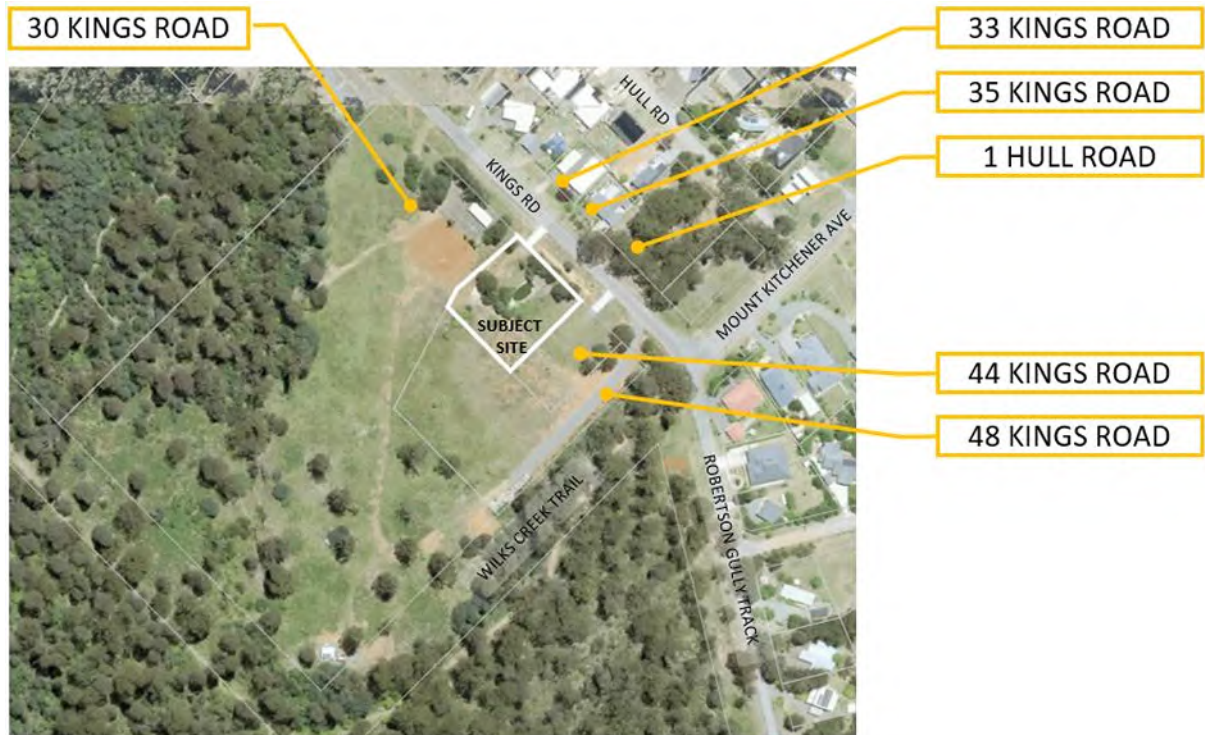


Image above – Planning zones for subject site and surrounding area: 40 Kings Road Marysville



Three lots adjoin the subject site, as indicated on the image above, with a further three lots on the opposite side of Kings Road; these lots are listed below:

Kings Road –

- 30 Kings Road – adjoining to the north-west – a large lot approx. 31,384m² with disused tennis court and converted shipping container on the site.
- 44 Kings Road – adjoining to the south-east – a vacant lot approx. 1370m², slightly smaller than the subject site.
- 48 Kings Road – adjoining to the south-west – a vacant lot approx. 5,107m².
- 33 Kings Road – diagonally opposite to the north – single residential dwelling with outbuilding on approx. 514m² lot.
- 35 Kings Road – diagonally opposite to the north-northeast – single residential dwelling on 432.5m² lot.
- 1 Hull Road - diagonally opposite to the northeast – a vacant lot approx. 2039.4m².

The local area is a mix of dwelling types, usually single storey and varying in age and materials, with a number of nearby homes having been re-established following the Black Saturday bushfires in 2009.

Title particulars are Lot 1 PS834930 and a 3m sewer easement is located along the north-western boundary. It is noted there are no other restrictions on title in relation to Covenants or Section 173 Agreements. A current title search is included with this application.



Aerial image above showing subject site – 40 Kings Road – Marysville (source: Mapbox)



40 Kings Road - Marysville – Viewed from Street Frontage



*View north-east from front of northern corner of subject site toward 35 Kings Road
and 1 Hull Road: 40 Kings Road – Marysville*



View north toward Kings Road from eastern corner of subject site 40 Kings Road – Marysville



View north toward disused improvements at 30 Kings Road from approx. midpoint of north-western boundary: 40 Kings Road – Marysville



View south toward 48 Kings Road from southern corner of 40 Kings Road – Marysville



View southeast along Kings Road from existing crossover at 40 Kings Road – Marysville



View southeast along southwestern boundary at 40 Kings Road – Marysville



View northwest along Kings Road from opposite subject site: 40 Kings Road – Marysville

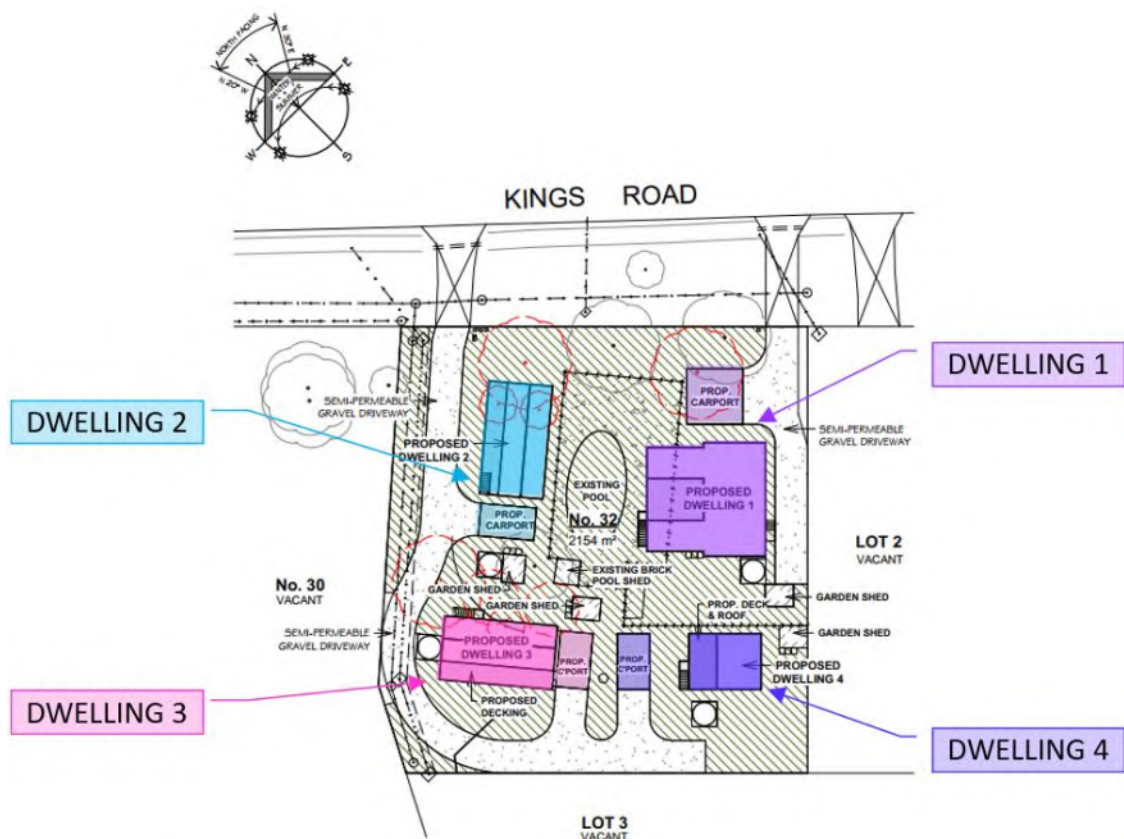


*View northeast along north-western boundary of subject site 40 Kings Road – Marysville
toward 33 Kings Road & 35 Kings Road*

The site is well serviced with ready access to reticulated water, sewer, underground power, and telecommunications. Additionally, there are no restrictions on title on the site presenting an impediment to development. Copies of the Dial Before You Dig and other servicing plans are included attached to this report as Appendix A.

3. DEVELOPMENT PROPOSAL

The proposed application for this site is to build four (4) single storey dwellings.



All dwellings are pre-made container homes to be installed on site, with fibre cement wall cladding painted in white/light grey, and roofs also these colours as indicated on the example below. Each dwelling will have a detached carport with Bondor Solar Span roofing in Colorbond finish with colours matching the dwellings.

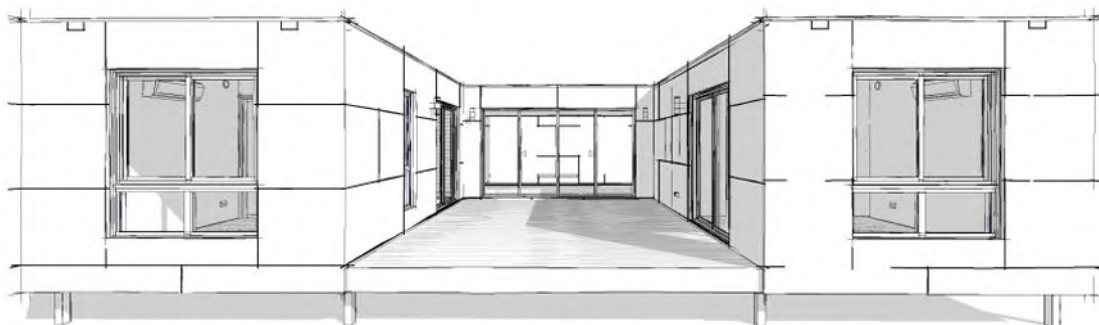
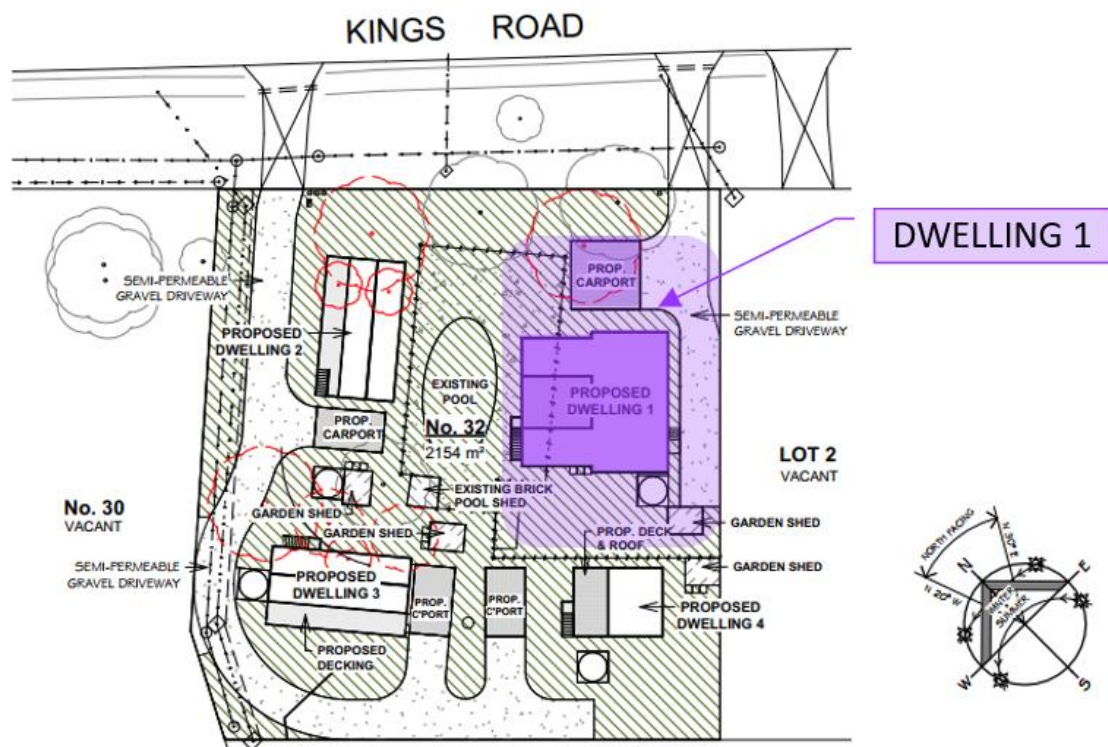


Bondor SolarSpan

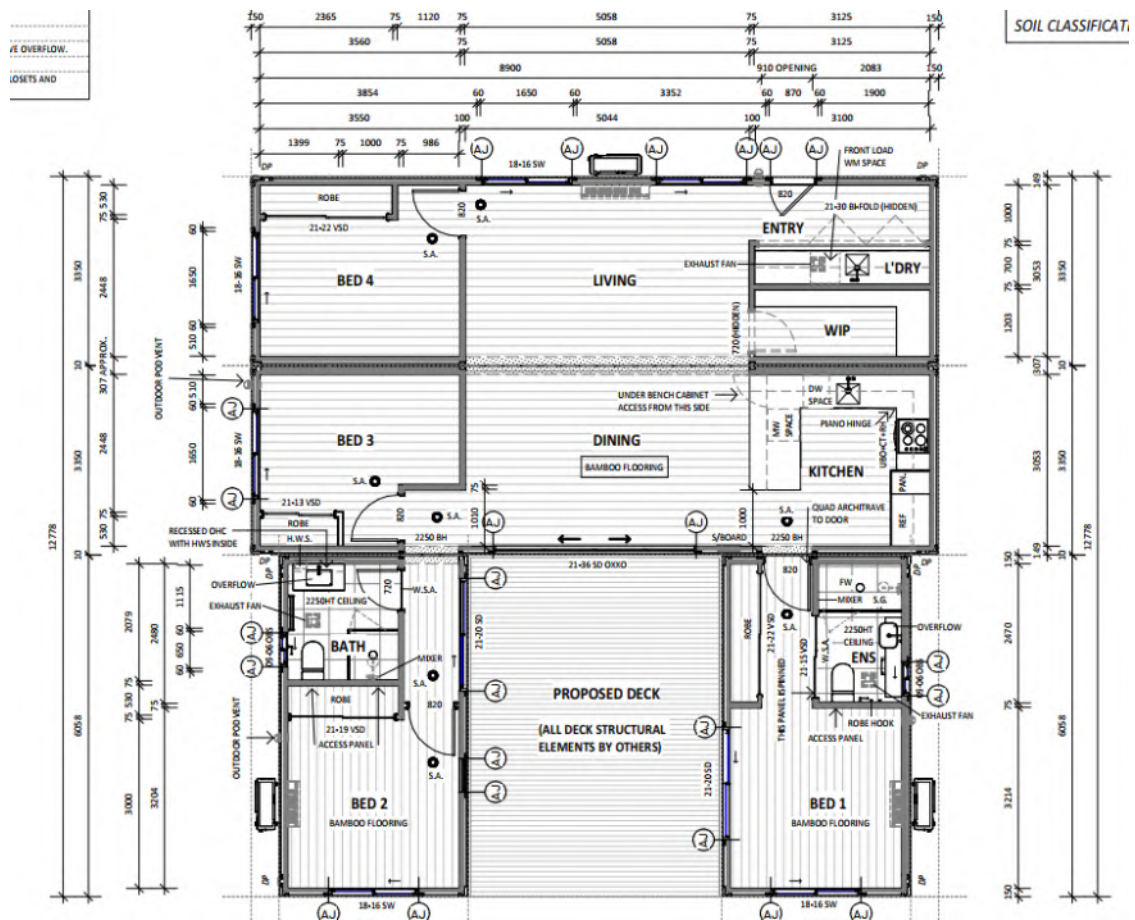
Dwelling 1 – is a four bedroom home with “The Miranda” floor plan. This includes master bedroom with ensuite and robe, three bedrooms with robes, bathroom with toilet, European laundry, kitchen with adjoining open dining and living areas.

The dwelling has a large deck facing north-west with 1.2m high pool fencing. The detached carport provides two (2) car accommodation.

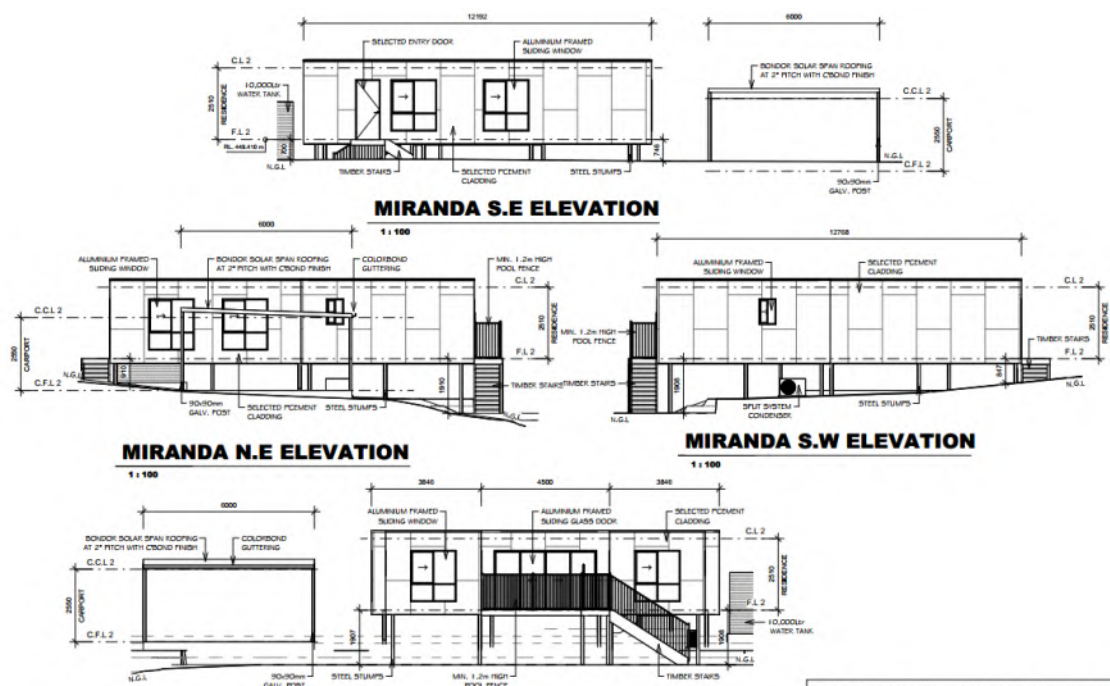
A new, separate crossover to Kings Road will be established for use by Dwelling 1. This will be located toward the north-eastern corner of the subject site, as shown on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application.



Proposed Dwelling 1 – The Miranda



Above - Proposed Dwelling 1 – The Miranda – Floor Plan

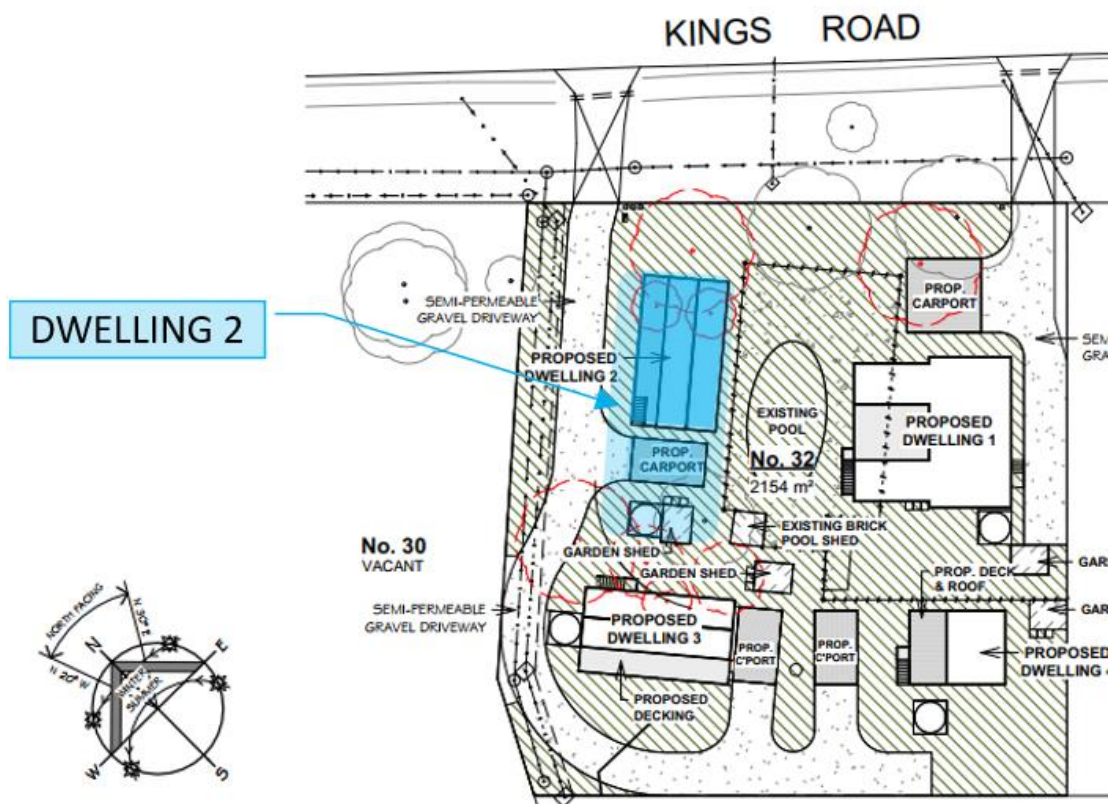


Above – Elevations for proposed Dwelling 1 – The Miranda

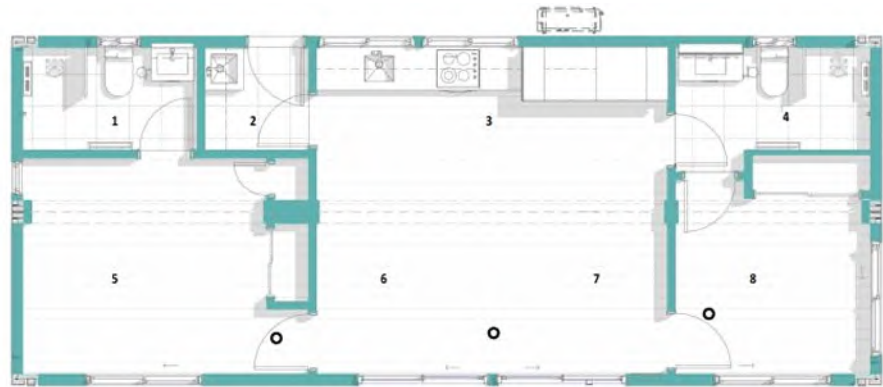
Dwelling 2 - is a two bedroom dwelling with the “The Selina” floor plan. This includes master bedroom with ensuite, second bedroom with robe and walk-through bathroom with toilet, separate laundry, single-wall kitchen adjoining open dining and living areas.

The dwelling has a long deck facing north-west with 1.0m high balustrade. The detached carport provides single (1) car accommodation.

The existing crossover to Kings Road will be used for access to dwelling 2, with a common driveway shared by dwellings 2, 3 and 4, as shown on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application.



Proposed Dwelling 2 – The Selina

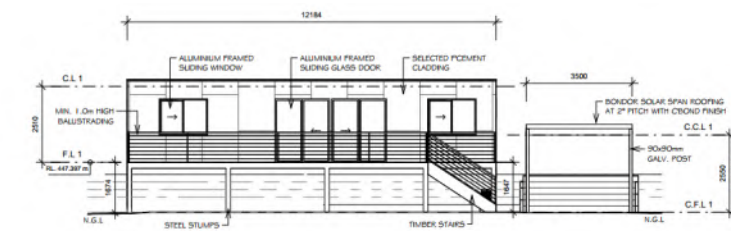


LEGEND

- | | |
|-------------|--------------|
| 1. ENSUITE | 5. BEDROOM 1 |
| 2. LAUNDRY | 6. DINING |
| 3. KITCHEN | 7. LIVING |
| 4. BATHROOM | 8. BEDROOM 2 |

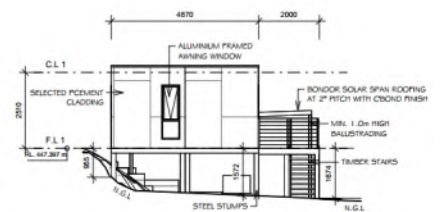


Above - Proposed Dwelling 2 – The Selina – Floor Plan



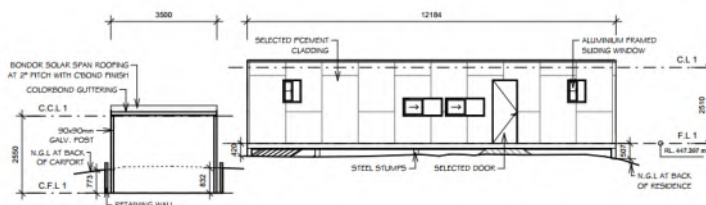
SELINA 1 N.W ELEVATION

1 : 100



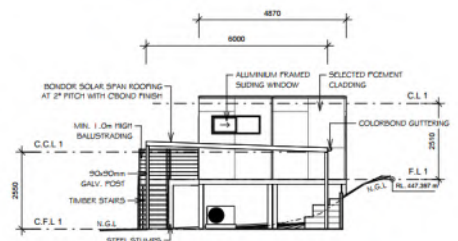
SELINA 1 N.E ELEVATION

1 : 100



SELINA 1 S.E ELEVATION

1 : 100



SELINA 1 S.W ELEVATION

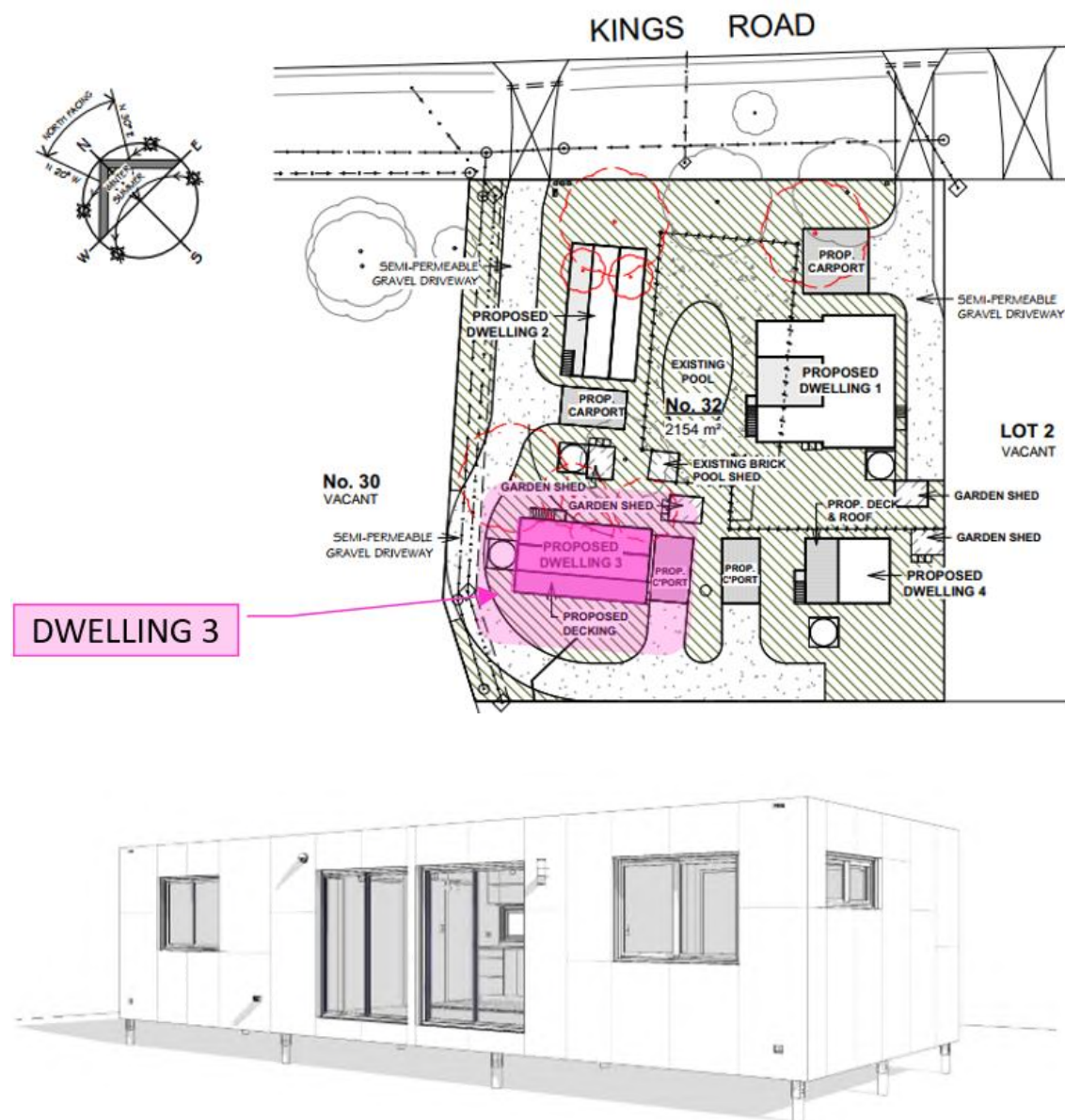
1 : 100

Above – Elevations for proposed Dwelling 2 – The Selina 1

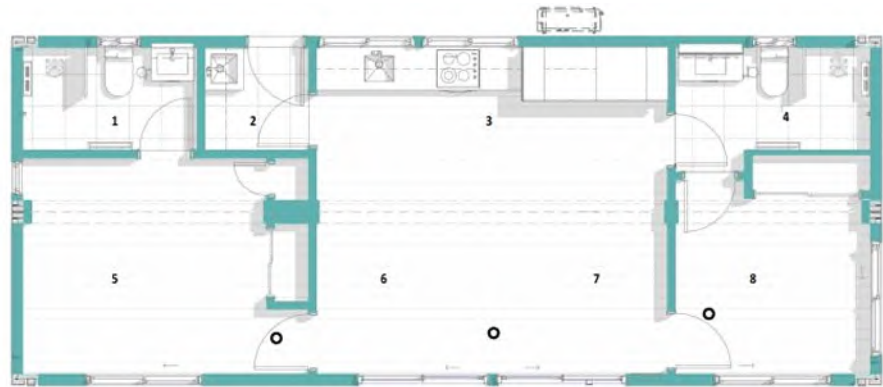
Dwelling 3 - is a two bedroom dwelling, also with the “The Selina” floor plan. This includes master bedroom with ensuite, second bedroom with robe and walk-through bathroom with toilet, separate laundry, single-wall kitchen adjoining open dining and living areas.

The dwelling has a long deck facing south-west with 1.0m high balustrade. The detached carport providing single (1) car accommodation.

The existing crossover to Kings Road will be used for access to dwelling 3, with a common driveway shared by dwellings 2, 3 and 4, as shown on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application.



Proposed Dwelling 3 – The Selina

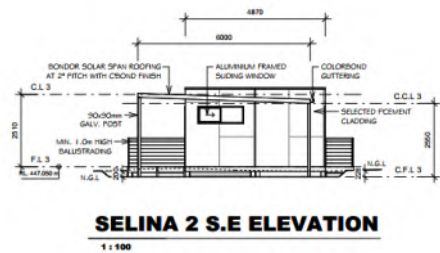
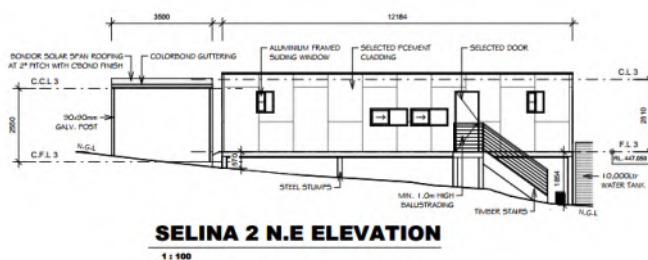
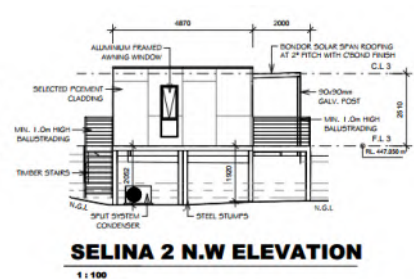
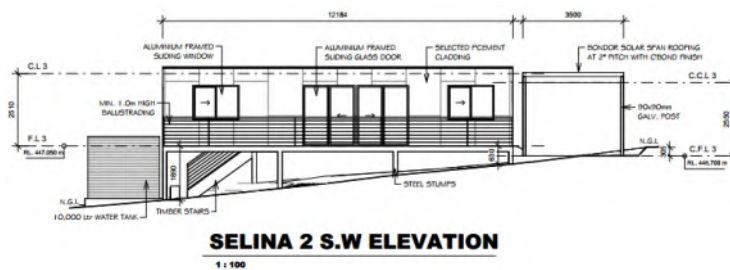


LEGEND

- | | |
|-------------|--------------|
| 1. ENSUITE | 5. BEDROOM 1 |
| 2. LAUNDRY | 6. DINING |
| 3. KITCHEN | 7. LIVING |
| 4. BATHROOM | 8. BEDROOM 2 |



Above - Proposed Dwelling 3 – The Selina – Floor Plan

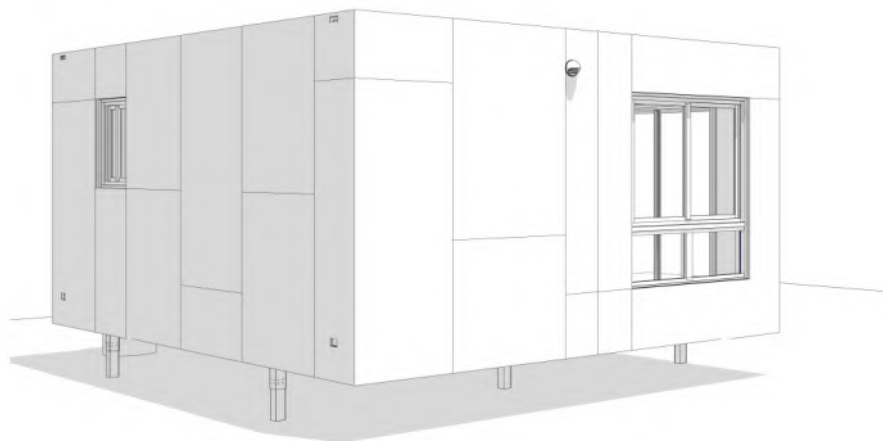
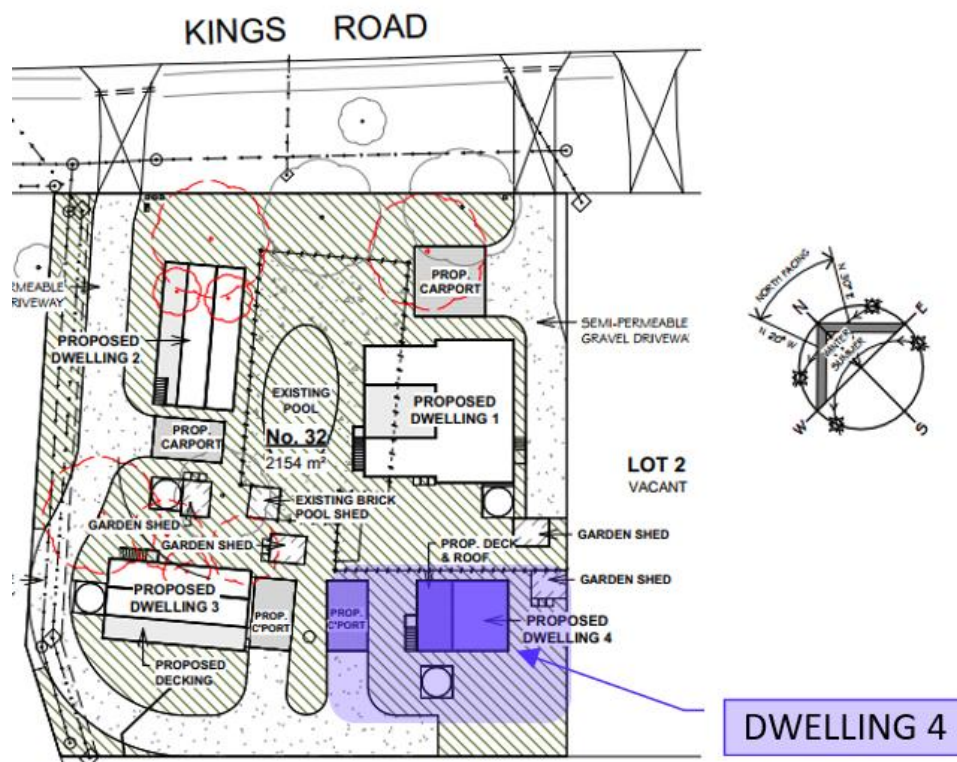


Above – Elevations for proposed Dwelling 3 – The Selina 2

Dwelling 4 - is a one bedroom dwelling with the with “The Avon” floor plan. This includes one bedroom with robe, bathroom with toilet, European style laundry provided within the single-wall kitchen cabinetry, adjoining open dining and living areas.

The dwelling has a large deck facing north-west, with Bondor Solar Span roofing over the deck and 1m high balustrade. The detached carport provides single (1) car accommodation.

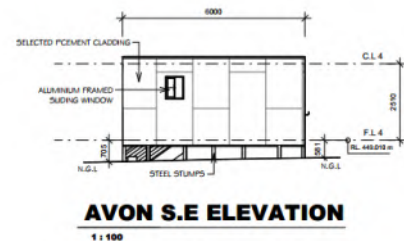
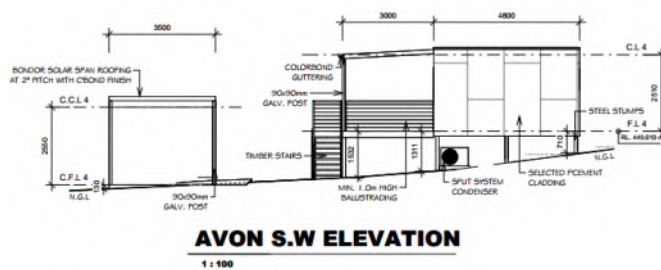
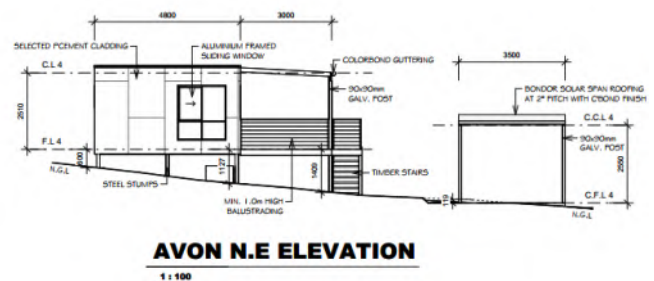
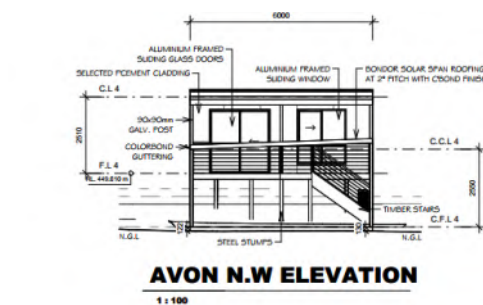
The existing crossover to Kings Road will be used for access to dwelling 4, with a common driveway shared by dwellings 2, 3 and 4, as shown on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application.



Proposed Dwelling 4 – The Avon

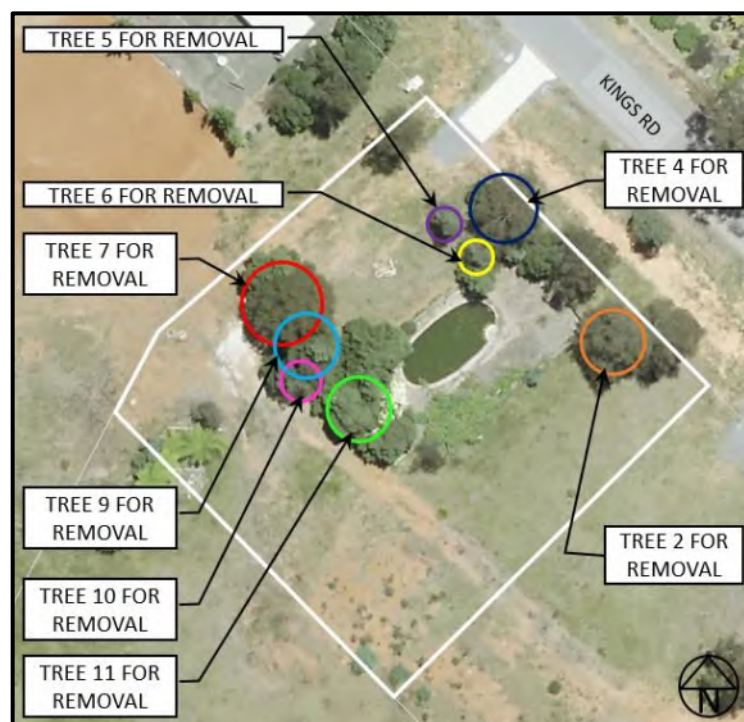
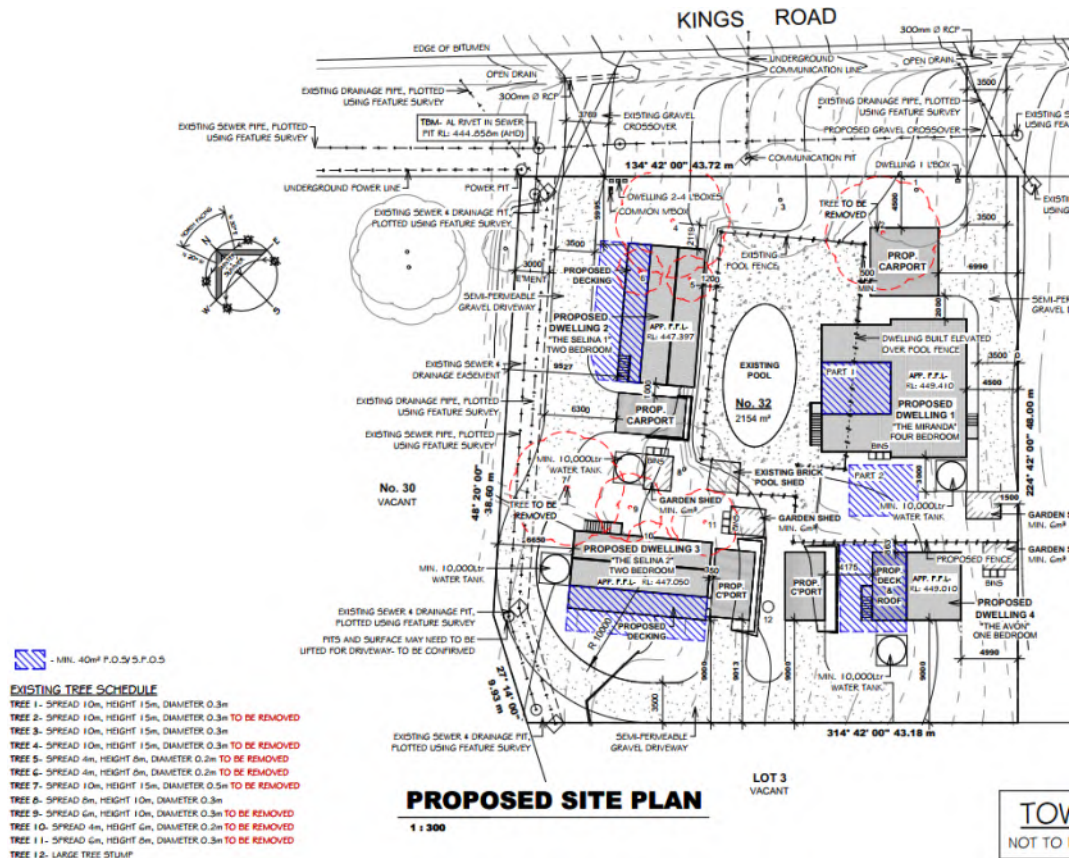


Above - Proposed Dwelling 4 – The Avon – Floor Plan



Above – Elevations for proposed Dwelling 4 – The Avon

The proposed development includes removal of eight eucalyptus trees as shown on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application, as indicated on the aerial image below and on the site photos on the following pages. These have been identified as Tree 2, Tree 4, Tree 5, Tree 6, Tree 7, Tree 9, Tree 10 and Tree 11 on the Existing Tree Schedule.





*Images above showing views of Tree 2 – Eucalyptus tree for removal;
image at top and bottom right showing view generally south from Kings Road;
image at bottom left showing view to the north.*



Image above showing view generally south-west of Tree 4 – Eucalyptus tree for removal.

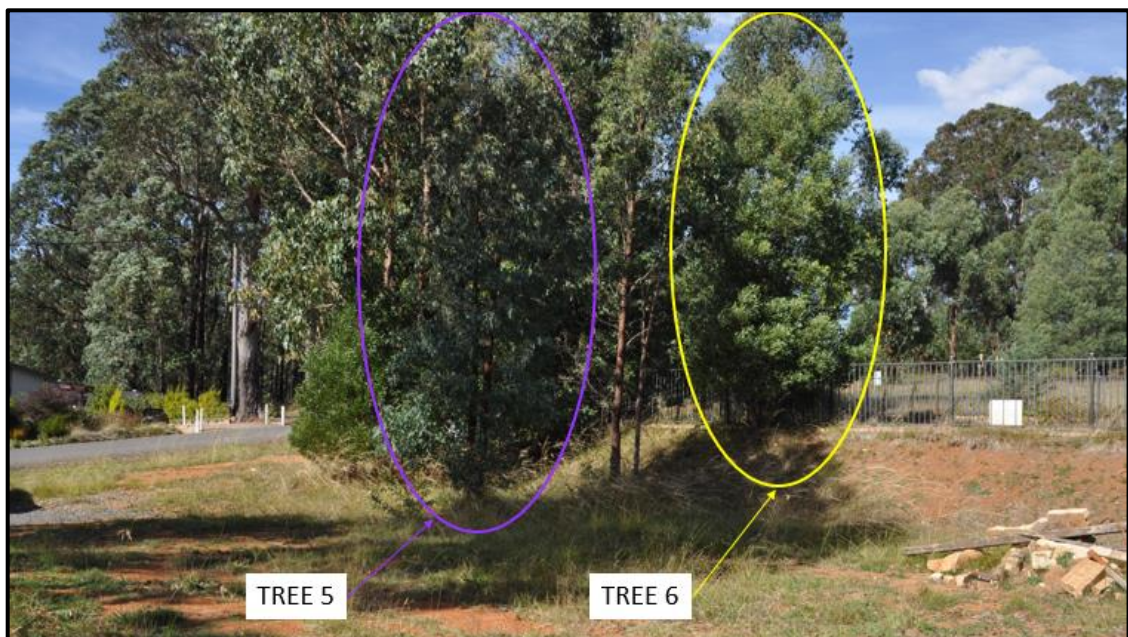
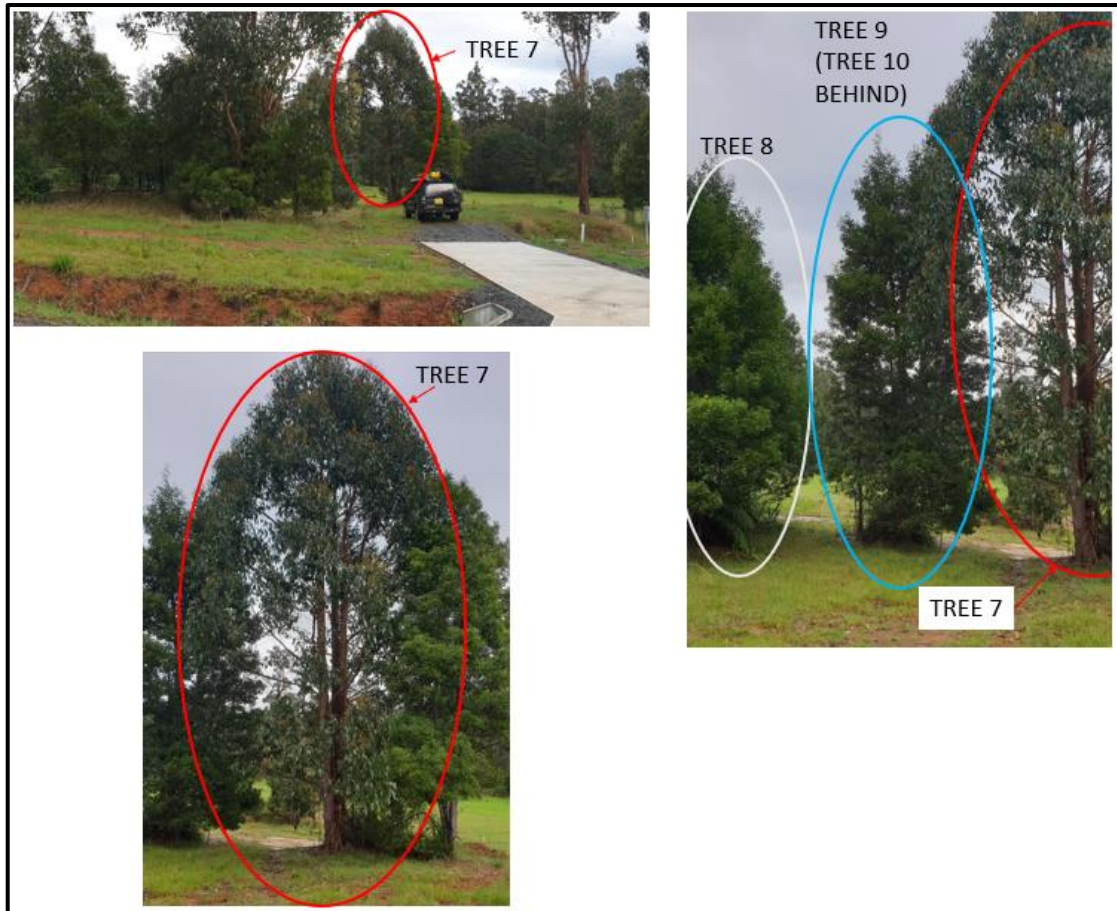
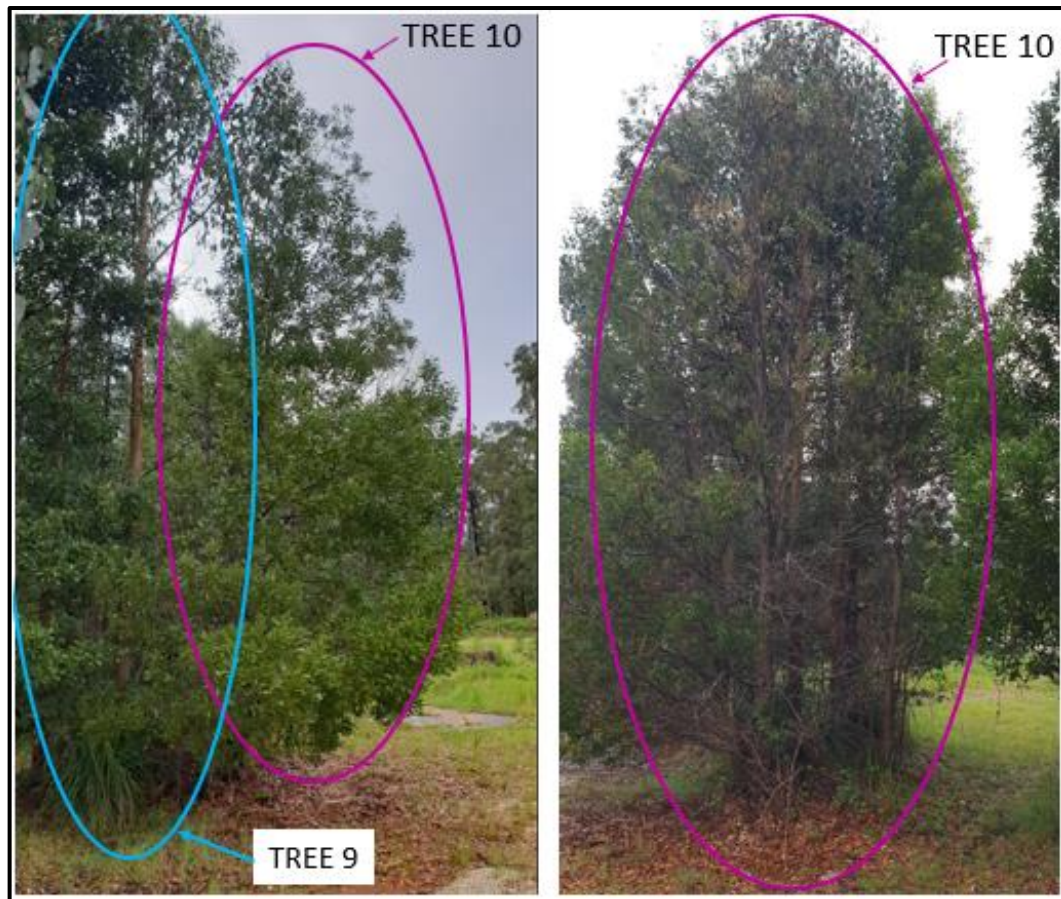


Image above showing view east-northeast of Tree 5 and Tree 6 – Eucalyptus trees for removal.

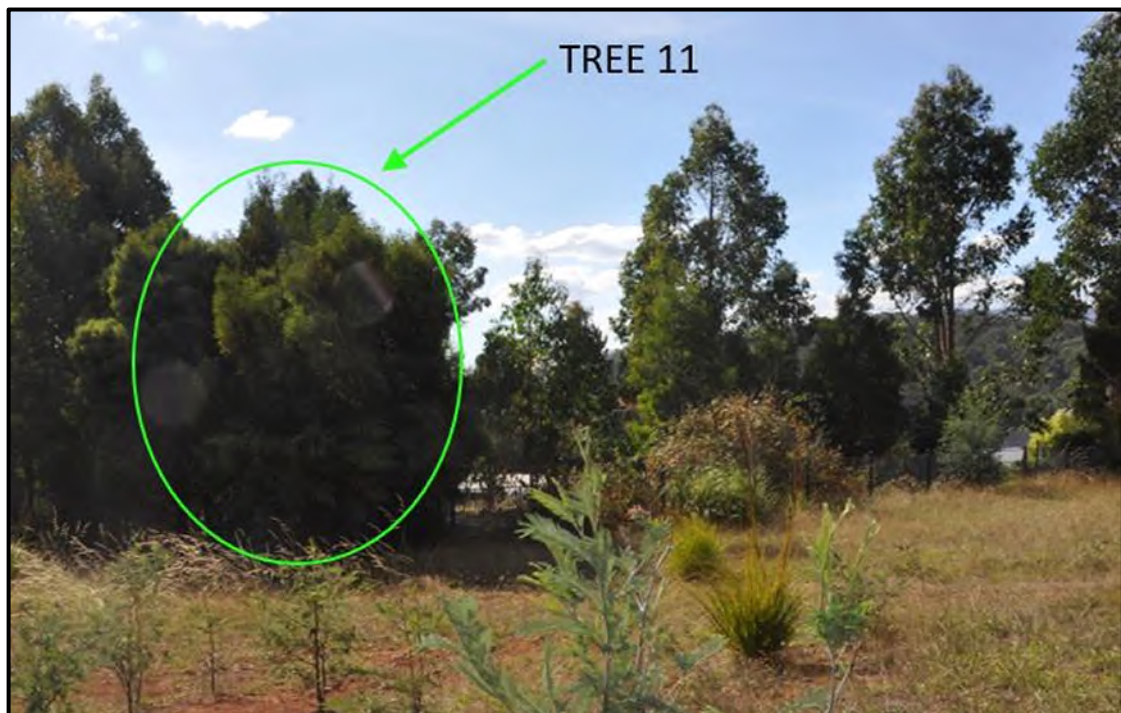


*Images above showing views of Tree 7 – Eucalyptus tree for removal;
image at top left showing view generally south from Kings Road;
image at bottom left showing view south-west.*

*Image at right showing view south-west of Tree 7 and Tree 9 – Eucalyptus trees for removal.
Tree 8 to be retained.*



*Images above showing views of Tree 9 and Tree 10 – Eucalyptus trees for removal;
image at left showing view generally south-west; image at right showing view north-east.*



*Image above showing view of Tree 11 – Eucalyptus tree for removal;
image showing view generally north-east.*

The existing pool, pool fence and pool shed will be retained on the site, with additional fencing to be established to the rear of Dwelling 1, extending from the south-eastern side boundary to the existing pool fence.

The proposed development is consistent with existing neighbourhood character in that the surrounding area contains a mix of residential dwellings including small lot dwellings, such as at 7 Mt Kitchener Avenue. This site in particular is suited to the proposed development as it is in close proximity to a number of amenities, as follows:

- Australia Post and town centre (approx. 650 metres)
- Bus Stop – Falls Rd/Pack Rd (approx. 600 metres)
- Marysville Swimming Pool (approx. 700 metres)
- Marysville Grocer (approx. 900 metres)
- Is located near bushland reserves and walking trails

4. RELEVANT PLANNING CONTROLS

4.1 General Residential Zone (GRZ1)

The subject site is zoned General Residential Zone – Schedule 1 (GRZ1), and within the Murrindindi Planning Scheme the stated purpose for GRZ1 zoned land is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Clause 32.08-4 **Construction or extension of a dwelling or residential building** provides that an application must comply with the Minimum Garden Area requirements as set out in the following table:

Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

The subject site is approx. 2,154m², with the requirement that the minimum percentage of 35% of the be set aside as garden area. The plans included in this application identify that the proposal satisfies the garden area requirements with a total of 54% or approx. 1165m² garden area being provided.

Pursuant to Clause 32.08-6 Construction of two or more dwellings on a lot, requirements of Clause 55 must be met.

4.2 Overlays

4.2.1 Vegetation Protection Overlay (42.02)

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

It is noted that the subject site falls with the Vegetation Protection Overlay area for which Schedule 1 is relevant.

Schedule 1 states the nature and significance of vegetation to be protected is:

The vegetation within the township of Marysville is of historical and aesthetic significance. Marysville is a significant tourist destination within the Shire. Views and native vegetation from roads leading into Marysville form an important part of the area's character and are important for tourists and residents. The devastating fire of 7 February 2009 resulted in the loss of significant indigenous, native and exotic vegetation. The surviving remnant trees are of value in recreating the landscape character of Marysville.

The vegetation protection objectives to be achieved are to maintain remnant native trees and bushland in and around the township of Marysville, protect the aesthetics and character of gateways into the town and integrate future development of the town in a way that will not detract from the town's unique urban landscape.

In accordance with Schedule 1 application requirements include that a planning permit is required to remove, destroy or lop native or exotic vegetation. This does not apply to:

- Any environmental weed listed under the document Advisory list of environmental weeds of the ranges bioregions of Victoria , Department of Sustainability and Environment, 2009 (as amended).

- Any exemption listed in Clauses 42.02-2 and 42.02-3.
- The removal, destruction or lopping of any native or exotic tree below one metre in height.
- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or the Department of Environment, Land, Water and Planning.
- Removal of State Prohibited Weeds, Regionally Prohibited Weeds, Regionally Controlled Weeds and Restricted Weeds as defined in the Catchment and Land Protection Act 1994.

Response: Having reviewed available historical imagery it is felt that on balance the majority of vegetation on the site is around, and likely less than 10 years old. This is supported through time and date stamped google earth and google street view images that show the condition of the site around 2010 and 2014.

In 2010 the site was largely devoid of significant vegetation following the 2009 bushfires and by 2014 significant regrowth had occurred. While this does not expressly date the regrowth on the site to 10yrs old or less it does indicate that it's very unlikely that any of the vegetation on the site, and in particular the trees proposed for removal can be classified as significant remnant vegetation.

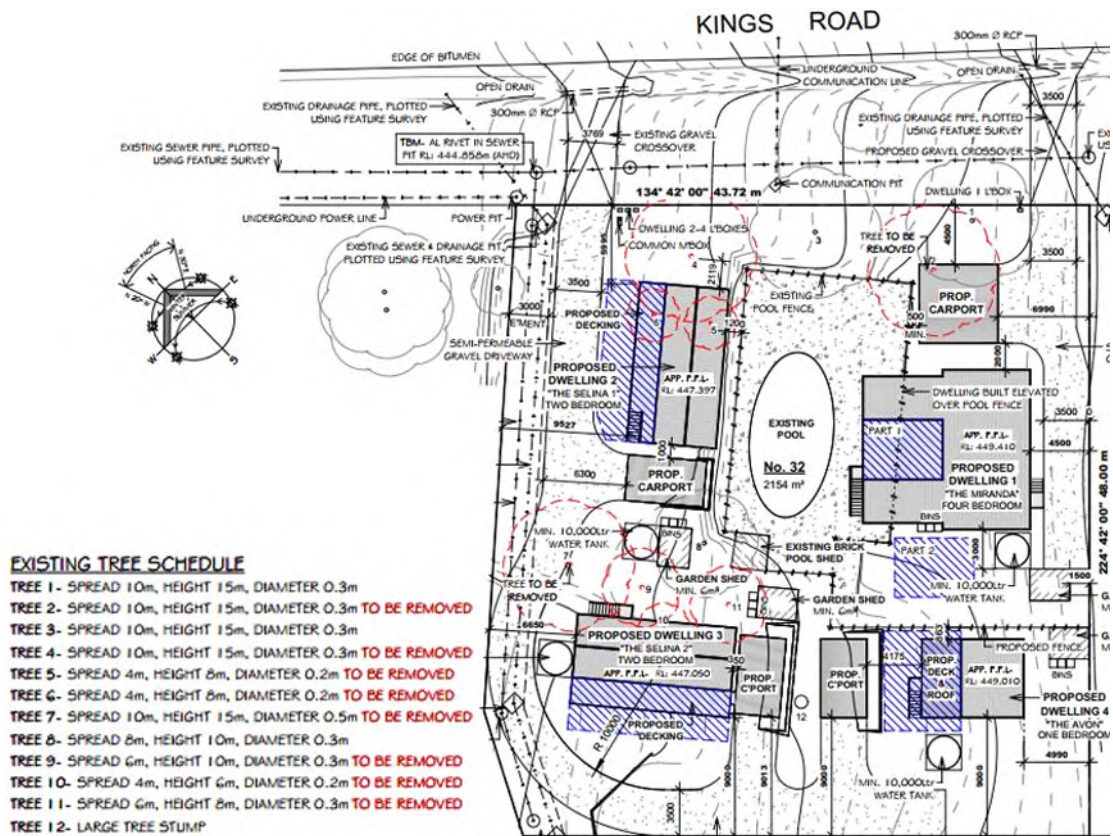
Notwithstanding the likely age of trees on the site being less than 10yrs, and as such exempt from the requirements for removal of native vegetation the proposed development has been designed to retain existing vegetation on the site, and avoid removal or lopping of trees where possible, subject to the constraints of meeting bushfire protection requirements.

Removal of eight eucalypt trees from the site is proposed, as noted on the Existing Tree Schedule on the Building Plans - Sheet 02 – Proposed Site Plan provided with this application and shown on the image below. These trees have been identified as Tree 2, Tree 4, Tree 5, Tree 6, Tree 7, Tree 9, Tree 10 and Tree 11.



*Above - Google Earth image showing subject site aerial from 2010;
Below - Google Earth image showing subject site aerial from 2014*





The eight trees proposed for removal are relatively young, having grown in the last 12 years, since the Black Saturday bushfires of 2009. As can be seen on the images below from Google Street view, the trees were not present in February, 2010.





Tree 2: Tree 2 is located diagonally adjacent to the existing pool just over 4.5m from the street frontage. Removal of this tree is required to enable the proposed car port for two (2) car accommodation for proposed Dwelling 1 to be located close to the proposed dwelling without impacting on the amenity of the other dwellings proposed on the subject site.

It is felt that the other large eucalypts located close by Tree 2, as shown on the images below, will ensure that desired views of native vegetation from the road are adequately maintained.



Images above of Tree 2 – Eucalyptus tree for removal; Image at left showing view to the north; image at right showing view generally south from Kings Road.



Image above showing additional view generally south from Kings Road of Tree 2 – Eucalyptus tree for removal

Tree 4: Tree 4 is located approx. 3.5m from the street frontage, approx. 4m north-west of the existing pool. Removal of this tree is required for defendable space in accordance with bushfire protection measures for proposed Dwelling 2.

It is felt that Tree 3, the other large eucalypt located close by Tree 4, as shown on the image below, will ensure that desired views of native vegetation from the road are adequately maintained.



Image above showing view generally south-west of Tree 4 – Eucalyptus tree for removal.

Tree 5 and Tree 6: Tree 5 and Tree 6 are located approximately 8.5m from the frontage. Tree 5 is approximately 16m from the north-western boundary and is adjacent to the existing pool fence. Tree 6 is approximately 11.5m from the north-western boundary and is next to Tree 5. Removal of these trees is required to enable siting of Dwelling 2 with the carport located to the rear of the dwelling for a more pleasing view from the street with an appealing setback from the street frontage.

It is felt that retention of other trees to the front of the property, in particular tree 3 (to the north-east of Trees 5 and 6), maintains the desired views of native vegetation from the road.

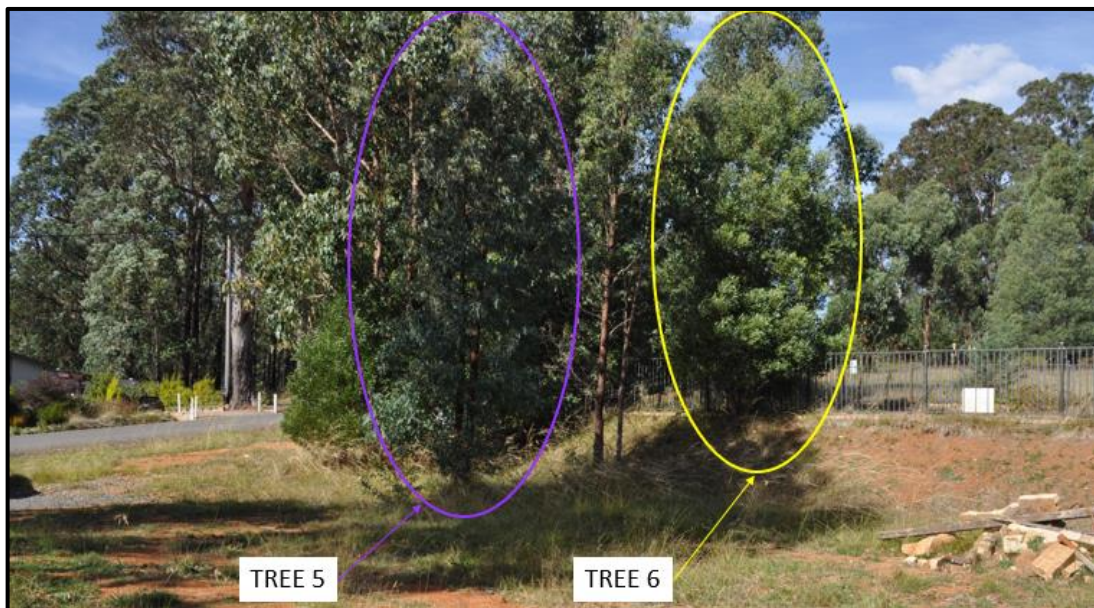
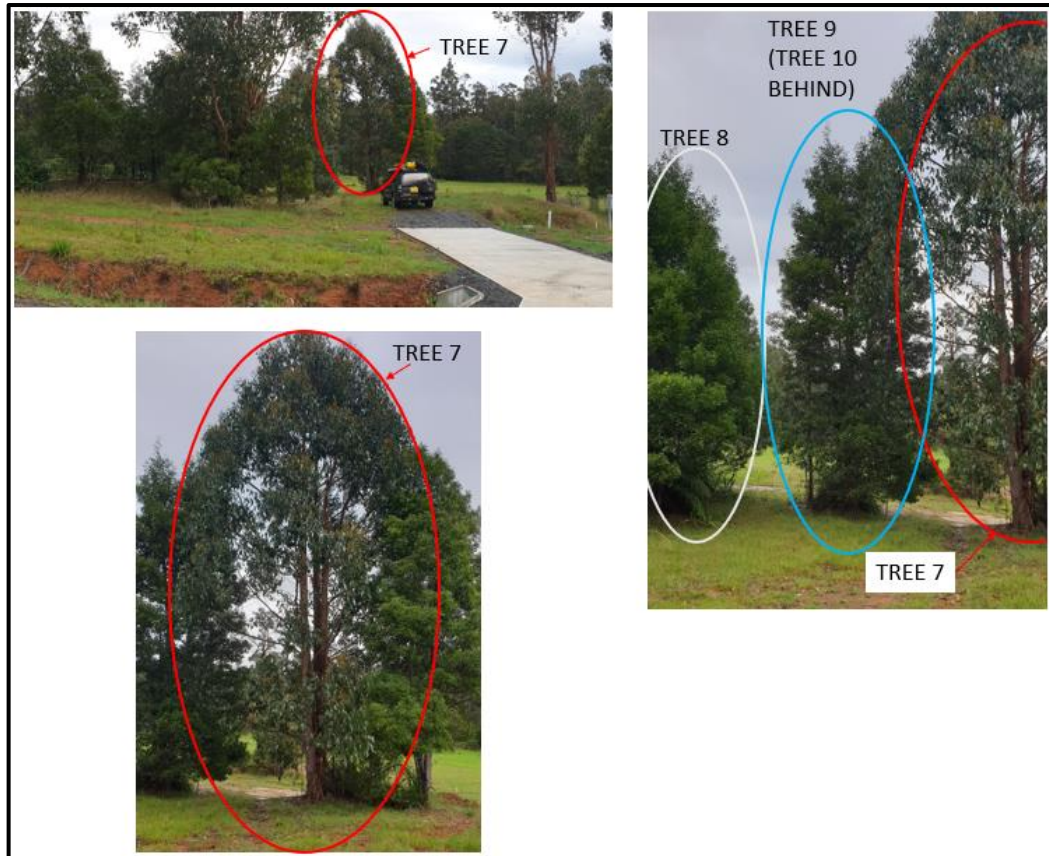


Image above showing view east-northeast of Tree 5 and Tree 6 – Eucalyptus trees for removal.

Tree 7: Tree 7 is located approximately 6m from the north-western boundary, approximately 27m from the frontage. Removal of this tree is required to enable the proposed driveway access to proposed dwellings 3 and 4 while avoiding the existing sewerage easement and minimising tree removal on the subject site.

It is felt that the aesthetics of the site will be maintained through retention of the other large eucalypt located close by Tree 7, specifically Tree 8, located to the south-western corner of the swimming pool, as shown on the images below.



Images above showing views of Tree 7 – Eucalyptus tree for removal; at top left showing view generally south from Kings Road; image at bottom left showing view south-west.

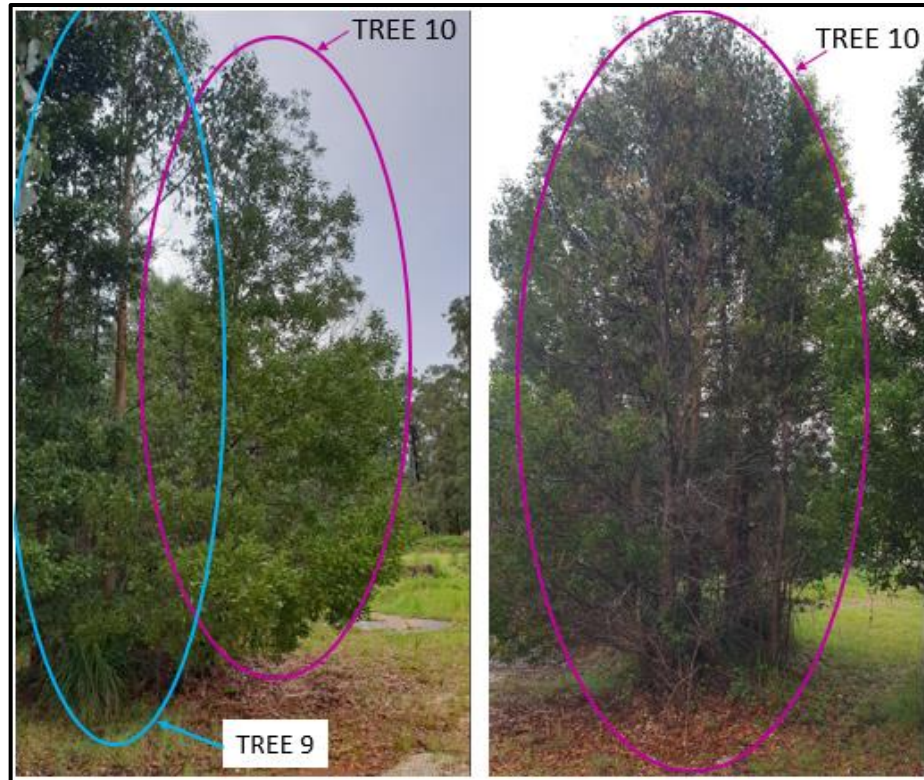
Image at right showing view south-west of Tree 7 and Tree 9 – Eucalyptus trees for removal. Tree 8 to be retained.

Tree 9: Tree 9 (shown above and on the image on the following page) is located approximately 12m from the north-western boundary, approximately 31m from the frontage. Removal of this tree is required for defensible space in accordance with bushfire protection measures for proposed Dwelling 3.

It is felt that the aesthetics of the site will be maintained through retention of Tree 8, the large eucalypt located close-by to the south-western corner of the swimming pool, as shown on the image above.

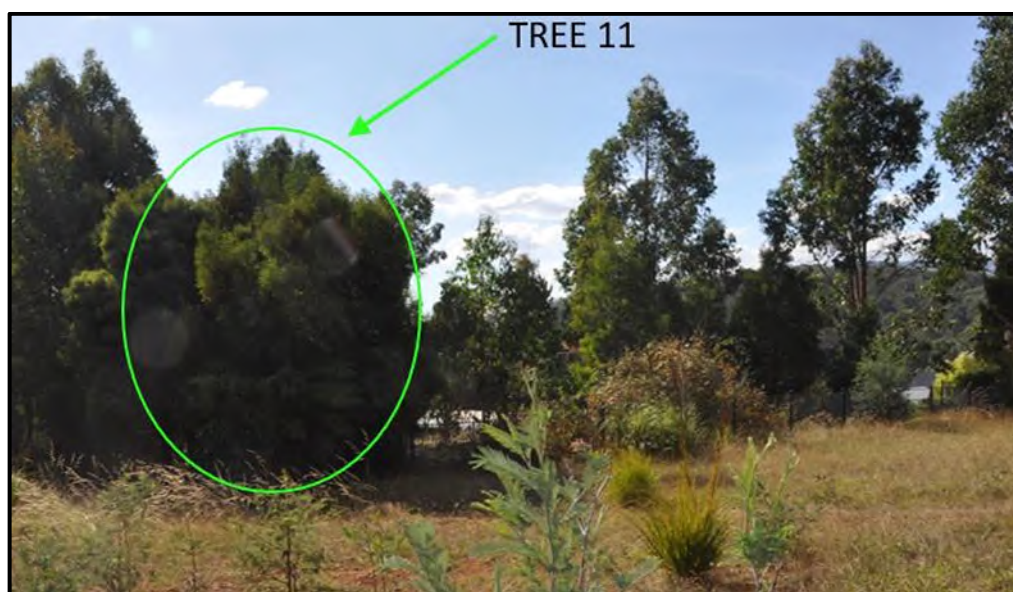
Tree 10: Tree 10 (shown on the images below) is located approximately 14m from the north-western boundary, approximately 34m from the frontage. Removal of this tree is required to enable siting of Dwelling 3 with the decking and secluded private open space located to the rear of the dwelling for improved privacy for the future residents, while providing appropriate driveway access for emergency service vehicles along the north-western and south-western boundaries.

It is felt that the aesthetics of the site will be maintained through retention of Tree 8, the large eucalypt located close-by to the south-western corner of the swimming pool.



*Image above left showing views generally south-west of Tree 9 & Tree 10 – Eucalyptus trees for removal;
Image at right showing view north-east of Tree 10 – Eucalyptus trees for removal.*

Tree 11: Tree 11 is located approximately 18.5m from the north-western boundary, approximately 32m from the frontage. Removal of this tree is required for defendable space in accordance with bushfire protection measures for proposed Dwelling 3.



*Image above showing view of Tree 11 – Eucalyptus tree for removal;
image showing view generally north-east.*

It is felt that the aesthetics of the site will be maintained through retention of Tree 8, the large eucalypt located close-by to the south-western corner of the swimming pool.

In short, despite evidence suggesting that the vast majority of vegetation on the site is in fact 10yrs old or less, making it exempt from the planning requirements for removal of native vegetation, the development has been planned and designed to work with the vegetation on the site where possible and maintain as much of it as possible, while achieving the desired development outcome.

A landscaping plan to further enhance the vegetation on the site, prepared by a landscape architect has been included with this application.

4.2.2 Bushfire Management Overlay (44.06)

The purpose of the Bushfire Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

It is noted that (unless an overlay specifies otherwise) clause 44.06-3 requires that an application for a planning permit within this overlay must include:

- A bushfire hazard site assessment
- A bushfire hazard landscape assessment
- A bushfire management statement

It is further noted that the subject site falls within the Bushfire Management Overlay area, which has no schedule.

Response: To meet the requirements of this overlay a Bushfire Management Statement has been prepared along with a Bushfire Hazard Landscape Assessment, Bushfire Hazard Site Assessment and Bushfire Management Plan. The relevant explanations of the assessment are contained within these reports.

As outlined in the bushfire reports the requirements of this clause will be met, including the dwellings being constructed to BAL 29 and 10,000L water storage for each dwelling proposed for the site.

4.2.2.1 Bushfire Planning (53.02)

It is noted that an application for a planning permit must also meet the requirements of Clause 53.02 Bushfire Planning.

As this application relates to development of multiple dwellings on the lot the relevant clause to apply is Clause 53.02-4.

The requirements of this clause, including the relevant approved or alternate measures have been satisfactorily assessed in the bushfire management statement included with this application, please refer to that document for further information on how the objectives of this clause are met.

4.3 PLANNING POLICY FRAMEWORK

The following Planning Policies were deemed to be relevant to this proposed development.

Clause 11 Settlement identifies that planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

- Health, wellbeing and safety.
- Diversity of choice.
- Adaptation in response to changing technology.
- Economic viability.
- A high standard of environmental sustainability, urban design and amenity.
- Climate change adaptation and mitigation.
- Prevention of land, water, air and noise pollution.
- Protecting, conserving and improving biodiversity, waterways and other natural resources.
- Accessibility.
- Land use and transport integration.
- Waste minimisation and resource recovery.

Planning is to prevent environmental, human health and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

Response: This proposal provides a well-designed multi-dwelling development that will provide additional residential dwellings in a popular area close to the township centre of Marysville.

The proposed development provides the future occupants with good amenity through modern design including appealing indoor and outdoor living spaces.

This will also support the local community through increased community members and housing diversity.

4.3.1 Supply of Urban Land (Clause 11.02-1S)

The objective of this clause is to ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional, and other community uses.

Strategies to achieve this are listed in the Planning Policy Framework (PPF) as:

- Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development.
- Ensure that sufficient land is available to meet forecast demand.
- Plan to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply will be considered on a municipal basis, rather than a town-by-town basis.
- Planning for urban growth should consider:
 - Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
 - Neighbourhood character and landscape considerations.
 - The limits of land capability and natural hazards and environmental quality.
 - Service limitations and the costs of providing infrastructure.
- Monitor development trends and land supply and demand for housing and industry.
- Maintain access to productive natural resources and an adequate supply of well-located land for energy generation, infrastructure and industry.
- Restrict rural residential development that would compromise future development at higher densities.

Response: In the context of this development these strategies are being implemented. Existing land that is strategically located is being developed and providing additional residential housing that will provide housing diversity to the community in an area that is already established.

Furthermore, this development is consistent with the surrounding Neighbourhood character, with other sites in the vicinity of a higher density.

4.3.2 Clause 15 BUILT ENVIRONMENT AND HERITAGE

Urban Design (Clause 15.01-1S)

The objective of this clause is to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies to achieve this are listed in the PPF as:

- Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.
- Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.
- Ensure the interface between the private and public realm protects and enhances personal safety.
- Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.
- Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.
- Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.
- Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.
- Promote good urban design along and abutting transport corridors.

Response: The proposed development is consistent with the objective and strategies as the design and siting has ensured that is of a high standard.

The two driveways proposed provide safe access to Kings Road, with good visibility for road users and pedestrians.

Care has been taken for amenity, attractiveness, and safety of the future residents with provision of decks to the dwellings with good separation of the private open space for each dwelling and maintenance of existing vegetation on site where possible to provide screening and privacy.

4.3.3 Building Design (Clause 15.01-2S)

The objective of this clause is to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Strategies to achieve this are listed in the PPF as:

- Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.
- Ensure development responds and contributes to the strategic and cultural context of its location.
- Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
- Improve the energy performance of buildings through siting and design measures that encourage:
 - Passive design responses that minimise the need for heating, cooling and lighting.
 - On-site renewable energy generation and storage technology.
 - Use of low embodied energy materials
- Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.
- Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.
- Encourage water efficiency and the use of rainwater, stormwater and recycled water.
- Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.

- Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
- Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
- Ensure development is designed to protect and enhance valued landmarks, views and vistas.
- Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.
- Encourage development to retain existing vegetation.
- Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Response: The design of the development is similar to other development within the township and utilises colours and materials that in keeping with the surrounding area and which will blend in with the natural landscape. The form, scale and appearance enhances the function and amenity of the future residents of the development.

Where possible vegetation on site is being retained to maintain the natural appeal of the forested vistas that are part of the appeal and identify of the Marysville Township and to contribute to natural cooling of the site.

Water tanks will be incorporated for each dwelling as part of the requirements of meeting the bushfire management overlay and the dwelling materials are low combustibility.

The modular dwellings were particularly selected for their low impact on the site, in particular the use of the Surefoot footing system that does not require significant excavation or site cuts, rather enables dwelling to be constructed on sloping sites working with the contour of the site.

4.3.4 Neighbourhood Character (Clause 15.01-5S)

The objective of this clause is to recognise, support and protect neighbourhood character, cultural identity and sense of place.

Strategies to achieve this are listed in the PPF as:

- Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.
- Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:
 - Pattern of local urban structure and subdivision.
 - Underlying natural landscape character and significant vegetation.
 - Neighbourhood character values and built form that reflect community identity.

Response: The proposal is considered to be respectful through utilising colours and materials, such as modern fibre cement panels painted in light grey that reflect neighbourhood identity. It is therefore considered that the proposed development is in keeping with the character of the neighbourhood and township which features a variety of new dwelling types in adjoining streets.

The presence of multi-dwelling developments such as the one proposed is becoming more characterised in this area. The proposed development will be consistent with other existing residential dwellings in the neighbourhood.

4.3.5 Aboriginal Cultural Heritage (Clause 15.03-2S)

The objective of this clause is to ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Strategies to achieve this are listed in the PPF as:

- Identify, assess and document places of Aboriginal cultural heritage significance, in consultation with relevant Registered Aboriginal Parties, as a basis for their inclusion in the planning scheme.
- Provide for the protection and conservation of pre-contact and post-contact Aboriginal cultural heritage places.
- Ensure that permit approvals align with the recommendations of any relevant Cultural Heritage Management Plan approved under the Aboriginal Heritage Act 2006.

Response: As shown on the image below and provided at Appendix C, the subject site falls within an area identified as being of Cultural Heritage Sensitivity.



The site has a past history of being developed and utilised with improvements including a swimming pool requiring significant excavation on the site having been constructed prior to this application.

The online assessment tool was utilised to determine whether a CHMP was required for this application (a copy of the pathway is included in this report for review) and it was determined a CHMP is not required.

The proposed development is less impactful to the site than past development and the site is not within proximity of any identified significant cultural heritage locations.

4.3.6 Clause 16.01 RESIDENTIAL DEVELOPMENT

Housing Supply (Clause 16.01-1S)

The objective of this clause is to facilitate well-located, integrated and diverse housing that meets community needs.

Strategies to achieve this are listed in the PPF as:

- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Increase the proportion of housing in designated locations in established urban areas (including underutilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.
- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.
- Encourage the development of well-designed housing that:
 - Provides a high level of internal and external amenity.
 - Incorporates universal design and adaptable internal dwelling design.
- Support opportunities for a range of income groups to choose housing in well-serviced locations.
- Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

Response: The proposed development satisfies the objective and also strategies by providing a well-designed residential housing development that is well located to services within Marysville.

The dwellings have a pleasing combination of indoor and outdoor amenity, with each having a deck area and suitable private open space and privacy from each other.

The proposal provides a development that facilitates diverse accommodation, including;

- 1 x four bedroom dwelling,
- 2 x two bedroom dwellings, and
- 1 x one bedroom dwelling.

4.3.7 Residential development in serviced and non-serviced towns (Clause 16.01-2L)

This policy applies to 'serviced towns' as identified in Clause 2.03. These towns are Alexandra, Yea, Eildon and Marysville.

The objective of this clause is to locate housing in serviced towns that offer a range of community and physical services.

Strategies to achieve this are listed in the PPF as:

- Facilitate residential expansion in established, serviced townships that have potential for further growth, in particular Yea and Alexandra.
- Encourage a diversity of housing including higher density housing, retirement villages and residential aged care facilities.
- Encourage housing in well serviced areas to maximise infrastructure provision.
- Facilitate housing in locations that ensure a high level of community safety, particularly from bushfire.

Response: The proposed development includes additional and diverse residential accommodation, including 1 x 4 bedroom dwelling, 2 x 2 bedroom dwellings, and 1 x 1 bedroom dwelling in an area already well serviced and in close proximity to public facilities. This includes the Marysville Community Centre, a Bushfire Neighbourhood Safer Place which is located approx. 550m away from the subject site.

4.4 Clause 52 PROVISIONS THAT REQUIRE, ENABLE OR EXEMPT A PERMIT

4.4.1 Car Parking (Clause 52.06)

The purpose of Clause 52.06 according to the PPF is:

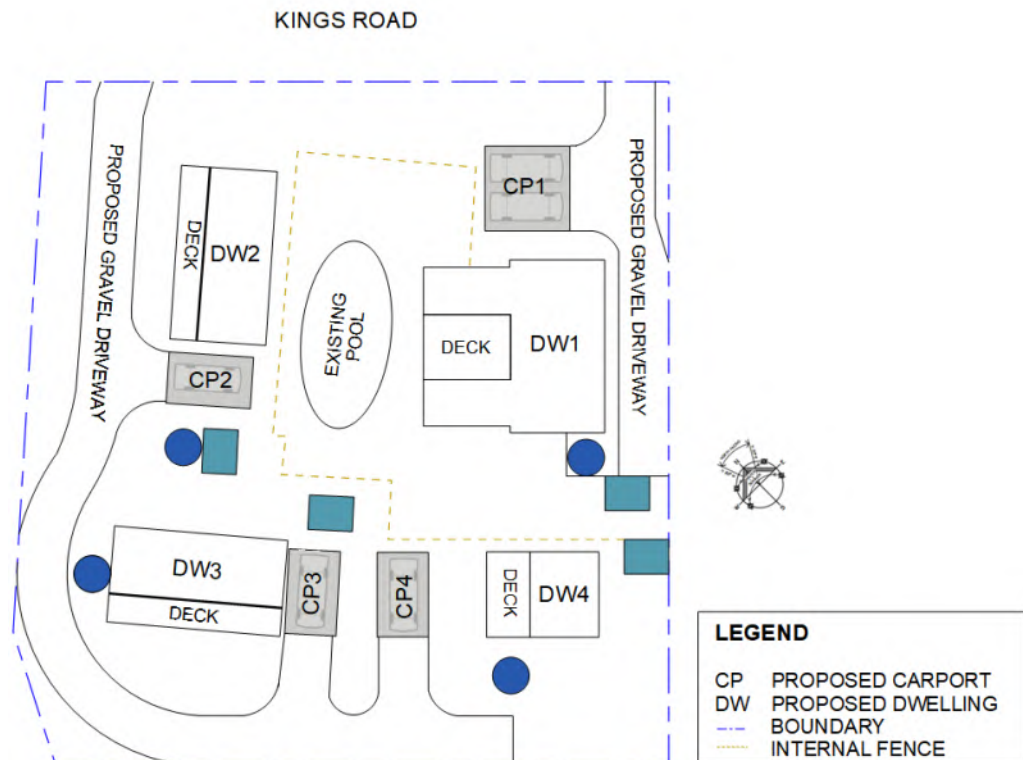
- To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Response: The proposed development is for 1 four bedroom dwelling, 2 two bedroom dwellings and 1 one bedroom dwelling. For this site Table 1: Car Parking Requirement in Clause 52.06-5 applies.

According to this table:

Each one or two bedroom dwelling requires a single car space. This is provided in the proposed development by way of a single carport for dwellings 2, 3 and 4, as indicated on the diagram below.

Each three or more bedroom dwelling requires a double car space. This is provided in the proposed development by way of a double carport for dwelling 1, as indicated on the diagram below.



Above – proposed parking for proposed dwelling at subject site – 40 Kings Road, Marysville.

It is also noted that for developments of 5 or more dwellings 1 visitor space is required per 5 or more dwellings. As this development is for 4 dwellings only, no visitor space has been provided.

4.4.2 Native Vegetation (Clause 52.17)

The purpose of Clause 52.17 according to the PPF is to ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):

- Avoid the removal, destruction or lopping of native vegetation
- Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
- Provide an offset to compensate of the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

Response: The native vegetation on the site is considered to be largely 10yrs old or less, as established elsewhere in this report with timestamped publicly available images showing site conditions following the 2009 bushfires, in 2010 and 2014.

Notwithstanding this as the clearing of the site was as a result of bushfire, it is noted this does not in itself provide an exemption to the requirements for removal of native vegetation and a planning permit is required.

Vegetation removal has been kept to a minimum, given the other constraints, with 8 trees proposed to be removed from the site to ensure adequate access to the proposed dwellings and/or meet bushfire planning requirements for the Bushfire Management Overlay.

An NVR report is included with this application.

4.5 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS (Clause 55)

The purpose of Clause 55 of the Murrindindi Planning Scheme is stated as;

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

Clause 55 provides standards and decision guidelines for the objectives to be achieved.

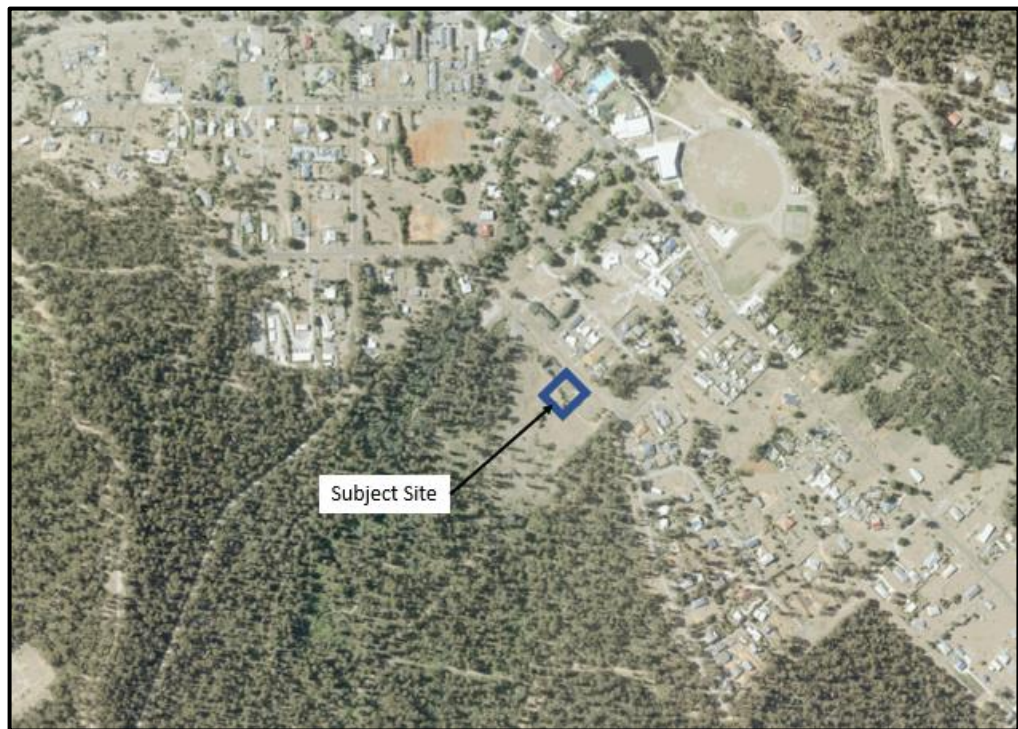
4.5.1 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE (Clause 55.01)

Clause 55.01 states that any application must be accompanied by:

- A neighbourhood and site description
- A design response

4.5.2 Neighbourhood and Site Description (Clause 55.01-1)

The subject site is located within the Township of Marysville which over the last twelve years, since the 2009 Black Saturday bushfires has been the subject of ongoing renewal. This has included development of a mix of single dwellings on residential lots as well as multi-dwelling and small lot living dwellings. The site is zoned General Residential – Schedule 1 and has an overall area of approximately 2154m².



Aerial image of subject site and surrounding area. Source: VicPlan

As shown in the image there are a number of higher density developments and sites pending development within the local area.

The dwelling mix in the local neighbourhood is a variety of styles generally single storey with brick veneer or modern fibre cement sheeting, with either tiled or colorbond roof, with roof structures including traditional hip roof design as well as some with Colorbond skillion roofs.

4.5.3 DESIGN RESPONSE (Clause 55.01-2)

Following consideration of the constraints and opportunities offered on this site, and the objectives and standards within Clause 55 of the Planning Scheme the proposed plans for development of this site, included with this report have been prepared and submitted for approval.

It is considered the proposed development being dwellings of modern contemporary design and single storey are on a similar scale to the surrounding existing development. It is considered respectful of the scale and form of surrounding development and constructed with design and materials which are not dissimilar to the existing development within the area.

It is consistent with the existing neighbourhood character and meets the objectives of Clause 55, in particular providing additional residential dwellings while meeting a suitable standard of amenity.

The balance of the Clause 55 requirements are addressed in the table on the following pages.

55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS

Objective	Standard	Response / Comment
55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE		
55.02-1 Neighbourhood Character To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area.	Standard B1 The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	Compliant The proposed development is of a modern contemporary design that is suitable for the context with a variety of lightweight clad dwellings using similar materials and forms in the local area. The proposal is sympathetic to the surrounding neighbourhood with neutral colours and materials similar to the existing development within the street, and therefore considered that it responds to the features and characteristics within the local neighbourhood.
55.02-2 Residential Policy To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and Planning Policy Framework. To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.	Standard B2 An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.	Compliant The proposed development is consistent with both the MPS and PPF specifically by; <ul style="list-style-type: none"> • Provides variety and choice for housing in the local area • Does not adversely impact neighbourhood character • Makes better use of nearby public and private facilities in an area with access to natural attractions such as walking tracks and public facilities such as the pool and Gallipoli Park.
55.02-3 Dwelling Diversity To encourage a range of dwelling sizes and types in developments of ten or more dwellings.	Standard B3 Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:	Not Applicable While the proposed development is for four dwellings only, these offer diversity in size and type:

Objective	Standard	Response / Comment
	<ul style="list-style-type: none"> Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	<ul style="list-style-type: none"> 1 x 4 bedroom dwelling 2 x 2 bedroom dwellings 1 x 1 bedroom dwelling
55.02-4 Infrastructure To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	Standard B4 Development should be connected to reticulated services, including reticulated sewerage, drainage and electricity if available. Connection to a reticulated gas service is optional. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.	Compliant Services, other than gas, are readily available to this lot, running along Kings Road, and there is capacity within the existing infrastructure to service this development. It is anticipated that any approval will have a condition to obtain supply agreements from the relevant authorities. All dwellings are accessible via Kings Road, a sealed road in good condition with capacity to adequately service the proposed development.
55.02-5 Integration with the Street To integrate the layout of development with the street.	Standard B5 Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Development should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable.	Compliant The proposed development provides the existing crossover to the north-west with an internal driveway that provides access for vehicles including pedestrians within the development from dwellings 2, 3 and 4 and from the site to the street. An additional crossover and driveway to the north-east will have a driveway providing such access for dwelling 1. No high fencing is proposed at the front of the dwellings. The proposal provides surveillance to Kings Road, particularly from proposed dwellings 1 and 2, as well as from the existing pool/recreation area.


Objective	Standard	Response / Comment
	Development next to existing public open space should be laid out to complement the open space.	The development is not next to existing public open space.
55.03 SITE LAYOUT AND BUILDING MASSING		
55.03-1 Street Setback To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.	Standard B6 Walls of buildings should be set back from streets: <ul style="list-style-type: none"> At least the distance specified in a schedule to the zone, or If no distance is specified in a schedule to the zone, the distance specified in Table B1. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.	Compliant The schedule to the General Residential Zone in the Murrindindi Planning Scheme does not specify a minimum front setback. Table B1 specifies for dwellings with no existing building on either of the abutting allotments facing the same street, and the site is not on a corner, that the minimum setback from the front street is 4 metres for streets not in a Transport Zone 2. Kings Road is not in a Transport Zone 2 and there are no dwellings on either of the abutting allotments facing the same street. It is noted that the dwelling on the adjoining lot to the north-west is located approx. 237m from the street, to the south of the subject site as that lot is a large "L" shape. It is therefore considered that 4m setback is the minimum required for street setback for the subject site. Two of the proposed dwellings address the street frontage, with the following setback from the frontage to Kings Road - <ul style="list-style-type: none"> Dwelling 1 – Carport 1: <u>4.5m</u> Dwelling 2 – <u>5.995m</u> The setback distances for both of these are more than the minimum 4m required.

Objective	Standard	Response / Comment
55.03-2 Building Height To ensure that the height of buildings respects the existing or preferred neighbourhood character.	Standard B7 The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres. Changes of building height between existing buildings and new buildings should be graduated.	Compliant The schedule to the zone in the Murrindindi Planning Scheme does not specify a maximum height. Clause 32.08-10 for the General Residential Zone states that if no maximum building height is specified in the schedule to the zone then the building height must not exceed 11 metres. The proposed development is all single storey, with the pre-fabricated dwellings being approximately 2.7m high and installed on steel stumps. The stumps for each of the four dwellings are all less than 2m in height. The height of each of the four dwellings is less than 4.9m. This is less than the maximum height of 11 metres specified for the zone.
55.03-3 Site Coverage To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.	Standard B8 The site area covered by buildings should not exceed: <ul style="list-style-type: none"> • The maximum site coverage specified in a schedule to the zone, or • If no maximum site coverage is specified in a schedule to the zone, 60 per cent. 	Compliant The schedule to the zone in the in the Murrindindi Planning Scheme does not specify a maximum site coverage. Therefore, in accordance with standard B8 the maximum site coverage is 60 per cent. The site coverage of the proposed development, as shown on Sheet 03 – Site Compliance Plans of the Building Plans submitted with this application is 20.59% which is well under the maximum of 60% specified in Standard B8.

Objective	Standard	Response / Comment
55.03-4 Permeability and stormwater management To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater.	Standard B9 The site area covered by the pervious surfaces should be at least: <ul style="list-style-type: none"> The minimum area specified in a schedule to the zone, or If no minimum is specified in a schedule to the zone, 20 percent of the site. The stormwater management should be designed to: <ul style="list-style-type: none"> Meet the current best practice performance objectives for stormwater quality as contained in the <i>Urban Stormwater – Best Practice Environmental Management Guidelines</i> (Victorian Stormwater Committee, 1999). Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. 	Compliant The schedule to the zone in the Murrindindi Planning Scheme does not specify a minimum site coverage for pervious surfaces. As shown on the plans approx. 66.84% of the site is pervious, which is well in excess of the minimum requirement of 20% of the site as specified in Standard B9.
55.03-5 Energy Efficiency To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy	Standard B10 Buildings should be: <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar 	Compliant Buildings as a part of the proposed development have been designed to have the most favourable solar orientation possible within the constraints of the site, which has an existing pool that is being retained. The accessway for dwelling 1 is along the south-eastern boundary of the site. Dwelling 1 has a 27m ² deck providing private open space facing north-west, with large glass sliding doors from this deck to the adjoining open plan dining and living area, ensuring suitable solar exposure. Bedrooms 1 and 2 also have windows facing north-west, with bedrooms 3 and 4 having north-east facing windows.

Objective	Standard	Response / Comment
	<p>energy system must exist at the date the application is lodged.</p> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p>The accessway for dwelling 2 is located along the north-western boundary of the site. Dwelling 2 has an 24m² deck facing north-west with adjoining private open space to the north-west, between the dwelling and accessway. Adjoining the deck area for this dwelling, accessible via large glass sliding doors is the open plan dining and living area, ensuring suitable solar exposure.</p> <p>The accessway for dwelling 3 is located toward the rear of the site, to the south-west of this dwelling. Dwelling 3 has a 24m² deck facing south-west, with adjoining private open space also to the south-west. The deck and private open space have a north-facing aspect providing some solar exposure. Adjoining the deck area for this dwelling, accessible via large glass sliding doors is the open plan dining and living area. Bedroom 1 and the kitchen have windows facing north-east.</p> <p>The accessway for dwelling 4 is located toward the rear of the site, to the south-west of this dwelling. Dwelling 4 has an 18m² deck to the north-west of the dwelling with adjoining private open space to the north-west. There is a large glass sliding door from this deck to the open living dining/kitchen which is adjacent to the deck area.</p> <p>There are currently no dwellings located on the lots adjoining the subject site to the south-east and south-west. The lot adjoining the subject site to the north-west is a large "L" shaped lot with a dwelling located to the far southern corner of the site, at boundaries that do not adjoin the subject site. Therefore, there is no impact to energy efficiency of dwellings on adjoining lots.</p>

Objective	Standard	Response / Comment
55.03-6 Open Space To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	Standard B11 If any public or communal open space is provided on site, it should: <ul style="list-style-type: none"> • Be substantially fronted by dwellings, where appropriate. • Provide outlook for as many dwellings as practicable. • Be designed to protect any natural features on the site. • Be accessible and useable. 	Not Applicable There are no public or communal open spaces proposed as part of the development, nor is there any public open space adjacent to the site.
55.03-7 Safety To ensure the layout of development provides for the safety and security of residents and property.	Standard B12 Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.	Compliant Entrances to the four dwellings proposed for the site are not obscured from accessways, providing for safety and security of residents: <ul style="list-style-type: none"> • The entrance to dwelling 1 is visible from Kings Road along the accessway to the south-east of the site. • For dwelling 2, the entrance is visible from Kings Road along the accessway to the north-west of the site. • The entrances to both dwelling 3 and 4 are visible from the shared internal accessway at the south-west of the site. • Each of the dwellings will have porch lighting contributing to the visibility and passive surveillance of the accessway. Pool fencing will protect the pool area from use as a public thoroughfare.

Objective	Standard	Response / Comment
<p>55.03-8 Landscaping</p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>	<p>Standard B13</p> <p>The landscape layout and design should:</p> <ul style="list-style-type: none"> • Protect any predominant landscape features of the neighbourhood. • Take into account the soil type and drainage patterns of the site. • Allow for intended vegetation growth and structural protection of buildings. • In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. • Provide a safe, attractive and functional environment for residents. <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p>Compliant</p> <p>As shown on the image below from Feb 2010, following the 2009 bushfires, no vegetation other than grasses was left on the subject site. Since this time, some trees have grown on the site, and where possible these are proposed to be retained.</p> <p>Vegetation on the site has been noted on the submitted plans, refer to Existing Tree Schedule on Sheet 01 – Existing Site Plan of the Building Plans. Eight trees are proposed for removal with these noted on Sheet 02 – Proposed Site Plan of the Building Plans.</p> <p>There is a landscaping plan prepared by a landscape architect accompanying this application.</p> 

Objective	Standard	Response / Comment
55.03-9 Access To ensure the number and design of vehicle crossovers respects the neighbourhood character.	Standard B14 The width of accessways or car spaces should not exceed: <ul style="list-style-type: none"> • 33% of the street frontage, or • if the width of the street frontage is less than 20 metres, 40% of the street frontage. No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 should be minimised. Developments must provide for access for service, emergency and delivery vehicles.	Compliant The proposed development includes four dwellings, two of which address Kings Road; dwelling 1 to the north-east of the site and dwelling 2 to the north-west. Two crossovers are proposed: <ul style="list-style-type: none"> • The existing crossover to the north-west will have a shared driveway for access to dwellings 2, 3 & 4. This crossover is approximately 3.8m wide. • An additional crossover to the north-east of the site will provide access to dwelling 1. This crossover is approximately 3.5m wide. The two crossovers will have a combined total width of approx. 7.8m. This is approx. <u>16.63%</u> of the street frontage, which is well less than 33% of the 43.72m street frontage of the subject site. These accessways provide satisfactory access for service, emergency and delivery vehicles with on street car parking still available.
55.03-10 Parking Location To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments.	Standard B15 Car parking facilities should: <ul style="list-style-type: none"> • Be reasonably close and convenient to dwellings and residential buildings. • Be secure. • Be well ventilated if enclosed. 	Compliant This development provides for a double carport for dwelling 1 with entry via a dedicated driveway and crossover to Kings Road at the north-east of the frontage. Single carports are provided for dwellings 2, 3 and 4, with entry via a shared accessway and crossover from Kings Road at the existing crossover location toward the north-west of the frontage.

Objective	Standard	Response / Comment
	<p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>The driveway and shared accessway are 3.5m wide, and dwellings 2, 3 & 4 are set back at least 1.5m from the shared accessway which exceeds the minimum required.</p> <p>Dwelling 1 is not located near the shared accessway or other dwellings.</p>
55.04 AMENITY IMPACTS		
<p>55.04-1 Side and Rear Setbacks</p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>Standard B17</p> <p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <ul style="list-style-type: none"> At least the distance specified in a schedule to the zone, or If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	<p>Compliant</p> <p>There is no side or rear setback specified in the schedule to the zone. Accordingly, the standard of 1.0m plus 0.3m for each metre of height over 3.6m will be adopted.</p> <p>All dwellings are compliant with requirements for setback as shown below:</p> <ul style="list-style-type: none"> Rear setback - <ul style="list-style-type: none"> Dwelling 3 on the south-western boundary is approx. 4.65m high and is setback from the boundary by <u>9.0m</u>; required setback for this height is 1.6m Dwelling 4 on the south-western boundary is approx. 4.3m high and is setback from the boundary by <u>9m</u>; required setback for this height is 1.3m Side setback on the south-eastern boundary - <ul style="list-style-type: none"> Dwelling 1 is approx. 3.51m high and is setback from the boundary by <u>4.5m</u>; required setback for this height is 1m

Objective	Standard	Response / Comment
		<ul style="list-style-type: none"> ○ Dwelling 4 is approx. 3.47m high and is setback from the boundary by <u>4.99m</u>; required setback for this height is 1m • Side setback on the north-western boundary – <ul style="list-style-type: none"> ○ Dwelling 2 is approx. 4.43m high and is setback from the boundary by <u>9.53m</u>; required setback for this height is 1.6m ○ Dwelling 3 is approx. 4.81m high and is setback from the boundary by <u>6.65m</u>; required setback for this height is 1.6m <p>All setbacks exceed the standard required.</p>
55.04-2 Walls on Boundaries To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings	Standard B18 A new wall constructed on or within 200mm of a side or rear boundary of a lot, or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary: <ul style="list-style-type: none"> • For a length more than the distance specified in a schedule to the zone; or • If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> ○ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or ○ Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. 	Not Applicable There are no new walls to be constructed on or within 200mm of a side or rear boundary; and no carports proposed to be constructed on or within 1 metre of a side or rear boundary.

Objective	Standard	Response / Comment
	<p>A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	
<p>55.04-3 Daylight to Existing Windows</p> <p>To allow adequate daylight into existing habitable room windows.</p>	<p>Standard B19</p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>	<p>Not Applicable</p> <p>There are no existing buildings on adjoining lots opposite the proposed dwellings or proposed carports.</p>

Objective	Standard	Response / Comment
	Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	
55.04-4 North Facing Windows To allow adequate solar access to existing north-facing habitable room windows.	Standard B20 If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	Not Applicable There are no existing buildings opposite the proposed dwellings or within 3 metres of a boundary abutting the subject site.
55.04-5 Overshadowing Open Space To ensure buildings do not unreasonably overshadow existing secluded private open space.	Standard B21 Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	Not Applicable There are no existing buildings on adjoining lots opposite or near the proposed dwellings and no existing secluded private open space adjoining the subject site.

Objective	Standard	Response / Comment
55.04-6 Overlooking To limit views into existing secluded private open space and habitable room windows.	Standard B22 A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either: <ul style="list-style-type: none"> • Offset a minimum of 1.5 metres from the edge of one window to the edge of the other, or • Have sill heights of at least 1.7 metres above floor level, or • Have fixed, obscure glazing in any part of the window below 1.7 metres above floor level, or • Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view should be:	Not Applicable There are no existing buildings on adjoining lots opposite or near the proposed dwellings and no existing secluded private open space adjoining the subject site.

Objective	Standard	Response / Comment
	<ul style="list-style-type: none"> • Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. • Permanent, fixed and durable. • Designed and coloured to blend in with the development. <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	
55.04-7 Internal Views To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	Standard B23 Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	Compliant Other than dwelling 1 and dwelling 4, all proposed dwellings and their secluded private open space are separated by more than 9m. Dwelling 1 and dwelling 4 are separated by approx. 8m, however there are no concerns regarding overlooking as dwelling 1 has a single window to the ensuite only facing dwelling 4, and the proposed 1.8m high timber paling fence and proposed landscaping between these two dwellings will provide additional privacy between these dwellings. Balustrade to 1.0m high on the decks of the dwellings also provides additional privacy for residents. These measures effectively limit the views into the windows of dwellings and the secluded private open space within the development.

Objective	Standard	Response / Comment
55.04-8 Noise Impacts To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise.	Standard B24 Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	Compliant There is no significant noise producing mechanical plant equipment anticipated to be installed as part of this development. Heating and cooling will be electric with reverse cycle air conditioner units. The condenser for the air conditioning units will be located away from the adjoining property boundaries where possible to minimise noise impact. Distance of condensers from boundary: <ul style="list-style-type: none"> • Dwelling 1 – approx. 12m to the south-eastern boundary • Dwelling 2 - approx. 12.7m to the north-western boundary • Dwelling 3 - approx. 6.95m to the north-western boundary • Dwelling 4 – approx. 9m to the south-western boundary There are no existing buildings on adjoining lots opposite or near the proposed dwellings, and no busy roads, railway lines or industry that will have noise impacts for the proposed development.
55.05 ON-SITE AMENITY AND FACILITIES		
55.05-1 Accessibility To encourage the consideration of the needs of people with limited mobility in the design of developments.	Standard B25 The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	Compliant All proposed dwellings are single storey dwellings, however other than dwelling 3, steps to the entry are provided. Access to dwelling 3 could be made accessible to people with limited mobility if required.

Objective	Standard	Response / Comment
55.02-2 Dwelling Entry To provide each dwelling or residential building with its own sense of identity.	Standard B26 Entries to dwellings and residential buildings should: <ul style="list-style-type: none"> • Be visible and easily identifiable from streets and other public areas. • Provide shelter, a sense of personal address and a transitional space around the entry. 	Compliant Each of the proposed dwellings have their own entry and sense of personal address. The entry to dwelling 1 is located adjacent to the proposed dedicated driveway and has a short flight of timber stairs to a small landing located on the south-eastern side of the dwelling. The entry to dwelling 2 is located to the north-western side of the dwelling to the south-east of the shared accessway. The entry is accessed via a flight of timber stairs to the deck that runs along the length of the dwelling. The entry to dwelling 3 is located on the south-western side of the dwelling, to the north-east of the shared accessway. The entry is accessed via the deck that runs along the length of the dwelling. The entry to dwelling 4 is located on the north-western side of the dwelling, to the north-east of the shared accessway. The entry is sheltered by the roofed decking area of the dwelling that runs along the length of the dwelling.
55.05-3 Daylight to New Windows To allow adequate daylight into new habitable room windows.	Standard B27 A window in a habitable room should be located to face: <ul style="list-style-type: none"> • An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or • A verandah provided it is open for at least one third of its perimeter, or 	Compliant All windows in habitable rooms face outdoor spaces clear to the sky or, for dwelling 4 a roofed deck that is open for at least one third of its perimeter.

Objective	Standard	Response / Comment
	<ul style="list-style-type: none"> A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	
55.05-4 Private Open Space To provide adequate private open space for the reasonable recreation and service needs of residents.	Standard B28 A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone. If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of: <ul style="list-style-type: none"> An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. The balcony requirements in Clause 55.05-4 do not apply to an apartment development.	Acceptable The schedule to the General Residential Zone in the Murrindindi Planning Scheme does not specify an area and dimensions for private open space. Accordingly, the standard of an area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room will be adopted. Areas showing more than 40m ² of private open space/secluded private open space for each of the four proposed dwellings is shown on Sheet 02 – Proposed Site Plan of the Building Plans submitted with this application. While not provided with private fencing, the private open space/secluded private open space for each dwelling is separate from that of the other dwellings by significant distance, and balustrading to the deck areas. For dwelling 1 the private open space is divided into two areas, of which the deck area, shown as Part 1 is 27m ² . This provides sufficient secluded private open space adjacent to the combined living/dining areas. Dwellings 2 and 3 both have their own deck areas adjoining their living/dining areas, each deck is approximately 24.37m ² . Additional space adjoining these decks to the north-west and

Objective	Standard	Response / Comment
		<p>south-west respectively, is available for use as secluded private open space for these dwellings.</p> <p>Dwelling 4, has a deck approximately 18m² with additional space adjoining this to the north-west available for use as secluded private open space. The deck area adjoins the combined dining/living areas for the dwelling. This area is private with no concerns regarding overlooking as dwelling 1 has a single window to the ensuite only facing dwelling 4, and the proposed 1.8m high timber paling fence and proposed landscaping between these two dwellings will provide additional privacy.</p> <p>All proposed units meet and exceed the requirement for 25m² of secluded private open space and total private open space of 40m².</p>
<p>55.05-5 Solar Access to Open Space</p> <p>To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p>Standard B29</p> <p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p> <p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p>	<p>Compliant/Acceptable</p> <p>For dwelling 1 secluded private open space is located to the south-west of the dwelling, being the deck area which is enclosed by the dwelling on 3 sides and adjoins the combined dining/living areas of the dwelling. This area looks out to the pool and recreation area.</p> <p>While not strictly meeting the objective of providing the secluded private open space to the north of the dwelling, use of this area as secluded private open space provides excellent amenity to the future residents and is considered appropriate to the intent of providing outdoor living with adequate solar access available in the adjoining pool/recreation area.</p> <p>Secluded private open space for proposed dwellings 2 and 4 is located to the north-west of the dwellings.</p>

Objective	Standard	Response / Comment
		<p>Secluded private open space for proposed dwelling 3 is located to the south-west with a north facing aspect.</p> <p>The proposed development provides acceptable solar access to open space for all dwellings.</p>
55.05-6 Storage To provide adequate storage facilities for each dwelling.	Standard B30 Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	Acceptable Proposed garden sheds meeting the required 6m ³ minimum for secure storage space is included for each of the proposed dwellings, as shown on the Building Plan – Sheet 02.
55.06 DETAILED DESIGN		
55.06-1 Design Detail To encourage design detail that respects the existing or preferred neighbourhood character	Standard B31 The design of buildings, including: <ul style="list-style-type: none"> • Facade articulation and detailing, • Window and door proportions • Roof form, and • Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	Compliant As stated elsewhere in this report, the local neighbourhood character is an established area with renewal having occurred following the 2009 Black Saturday Bushfires. The immediate area incorporates a variety of architectural styles. The building design in this development is in keeping with other developments and will respect and complement the local neighbourhood character. The colours of the dwellings and carports will be matched, being a light grey that will fit well with the natural landscape and surrounding development.
55.06-2 Front Fences To encourage front fence design that respects the existing or preferred neighbourhood character.	Standard B32 The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.	Not applicable No front fencing is proposed.

Objective	Standard	Response / Comment
	<p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> The maximum height specified in a schedule to the zone, or If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. 	
<p>55.06-3 Common Property</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p>	<p>Standard B33</p> <p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>Compliant</p> <p>While subdivision is not proposed as part of this application the shared or communal areas and assets are clearly delineated on the attached plans.</p> <p>Fencing to the rear of proposed dwelling 1 clearly separates this from the other dwellings.</p> <p>The shared accessway for dwellings 2, 3 and 4 is defined by the driveway surfacing and proposed built form.</p>
<p>55.06-4 Site Services</p> <p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p>	<p>Standard B34</p> <p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p>	<p>Compliant</p> <p>A letterbox will be provided for dwelling 1 beside the proposed driveway toward the north-east. Letterboxes for dwellings 2, 3 and 4 will be located next to the shared accessway at the north-west.</p> <p>A common point for the location of metering for water, and for electricity will also be located next to the shared accessway at the north-west.</p> <p>Each dwelling will be able to store their garbage bins out of sight as shown on Building Plan – Sheet 02.</p>

Objective	Standard	Response / Comment
	Mailboxes should be provided and located for convenient access as required by Australia Post.	
55.07 APPARTMENT DEVELOPMENTS		
55.07-1 to 55.07-19	Standard B35-B53	Not Applicable This proposed development is not an apartment development.

5 GENERAL PROVISIONS (Clause 65)

5.1 Approval of an Application or Plan

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in Section 60 of the Act.
- Any significant effects the environment, including the contamination of land, may have on the use or development.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.
- The impact the use or development will have on the current and future development and operation of the transport system.

In preparing this application these requirements have been reviewed and it is considered that the application fits the purpose of the zone, is representative of orderly planning for the area (especially considering other similar other developments) and will not have an adverse impact on the amenity of the local area.

There is no public land close enough to the subject site to be impacted by any development and a development of this size will not impact water quality.

It is anticipated an engineer designed stormwater drainage system that will meet the requirements of the development will be required by council as a part of any consent issued.

The majority of native vegetation on site is considered to be 10yrs old or less, notwithstanding this the project provides for retention of vegetation where possible, and it is considered that the overall appeal of the site will be improved through a structured approach to landscaping the site as a part of the development, as per the included landscaping plan.

Based on the design response, existing developments in the local neighbourhood and the zoning controls it is considered the site is suitable for development in the manner proposed.

Policy identifies that opportunities should be provided for a diverse range of dwelling types, similar to this development. This style of development makes efficient use of existing infrastructure, provides for increased density and opportunity for increased visitation to the Township and provides a development that is respectful of the existing development in the local area.

This development is not proposed to be staged and the development will provide additional housing opportunities within the community.

The site has reticulated services and there is adequate capacity for the proposed development within those services.

6. Conclusion

It is submitted that upon review of the Murrindindi Planning Scheme that the submitted proposal is consistent with the objectives and standards of the planning scheme and also consistent with other recent development in the local neighbourhood.

If approved this proposed development will have a positive impact on housing choice in the local area, result in additional residents to Marysville and contribute to the neighbourhood of the area.

This application has satisfactorily addressed the requirements of Clause 55, noting some acceptable deviations from the standards, such as the location of secluded private open space for dwelling one that we feel is adequately mitigated through availability of the adjoining pool and recreation area on the site. As such it is requested that council approve this application.

If you have any questions or require further information regarding this application please do not hesitate to contact me via email Jason@turningpointproperty.com.au or mobile phone 0448 980 652.

Regards,


Jason Schneider-Fuller PIA (Assoc.)
Director

Appendix A

DBYD Plans



Job No 35005006

Phone: 1100
www.byda.com.au

Caller Details

Contact: Sharon Schneider-Fuller
Company: Turning Point Property & Projects
Address: PO Box 44
Lavington NSW 2641

Caller Id: 3106887
Phone: 0429 459 420
Email: sharon@turningpointprojects.com.au

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: 40 Kings Rd
Working on Behalf of: Private
Enquiry Date: 07/09/2023
Start Date: 07/09/2023
End Date: 12/09/2023

Address:
40 Kings Rd
Marysville VIC 3779

Job Purpose:
Design

Location of Workplace:
Private

Onsite Activities:
Planning & Design

Location in Road:

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:
Not supplied

Your Responsibilities and Duty of Care

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at www.byda.com.au
- For more information on safe excavation practices, visit www.byda.com.au

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

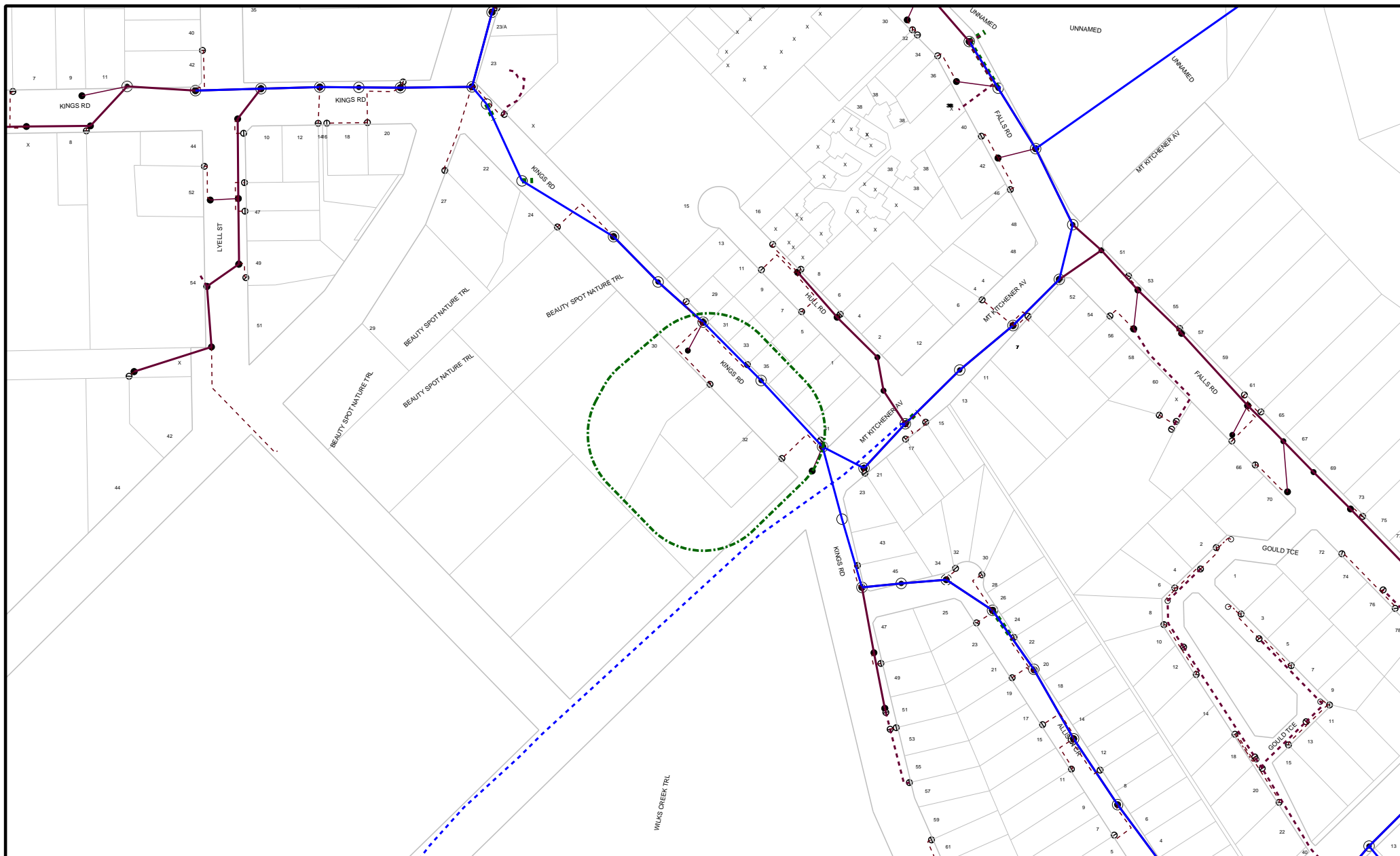
** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.

Asset owners highlighted with a hash # require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
229371209	AusNet Electricity Services Pty Ltd	1800 088 208	NOTIFIED
229371211	Goulburn Valley Water	1800 454 500	NOTIFIED
229371212	Murrindindi Shire Council	(03) 5772 0333	NOTIFIED
229371210	Telstra VICTAS	1800 653 935	NOTIFIED

END OF UTILITIES LIST

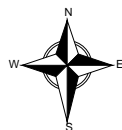
Lodge Your Free Enquiry Online - 24 Hours a Day, Seven Days a Week



0m 50m 100m 150m 200m 250m



Plot Date: 08/09/2023



Warning!

Please be advised this is a high level representation only and may not indicate all AusNet Services assets in the area or the exact location of identified assets.
This plan must not be used for the purpose of ascertaining asset locations for excavation. Please read all conditions and information on the attached information sheets.

Note: The information contained on this plan is only valid for 28 days from the date of issue.

Directory Reference

Melway No Map Ref

Vic Roads 332 C 11

ESMAP 915B H9






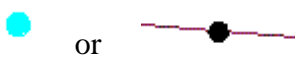



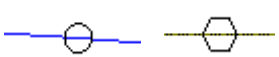





Rubicon 2,500/9.6

AMG Extents

SW 388769 E 5846680 N

NE 389755 E 5847293 N

LEGEND – Overview Plot of Electricity Assets

SYMBOL	NAME
	Low Voltage Underground Cable
	High Voltage Underground Cable
	Underground Cable
	Underground Pit
	Low Voltage Pole to Underground Pit
	Low Voltage Pole
	Underground Street Lighting Cable
	Underground Street Lighting Cable
	High Voltage & Low Voltage Pole
	22kV High Voltage Pole, 66kV Pole
	High Voltage Overhead Line
	Overhead Line
	High Voltage Overhead Line
	Earthing Overhead Line
	Substation Pole, Kiosk Substation, Indoor Substation, Ground Type Substation



This Legend relates to the Plot provided in response to your DBYD request.
The Plot is to be used as a guide only and not for Excavation purposes.

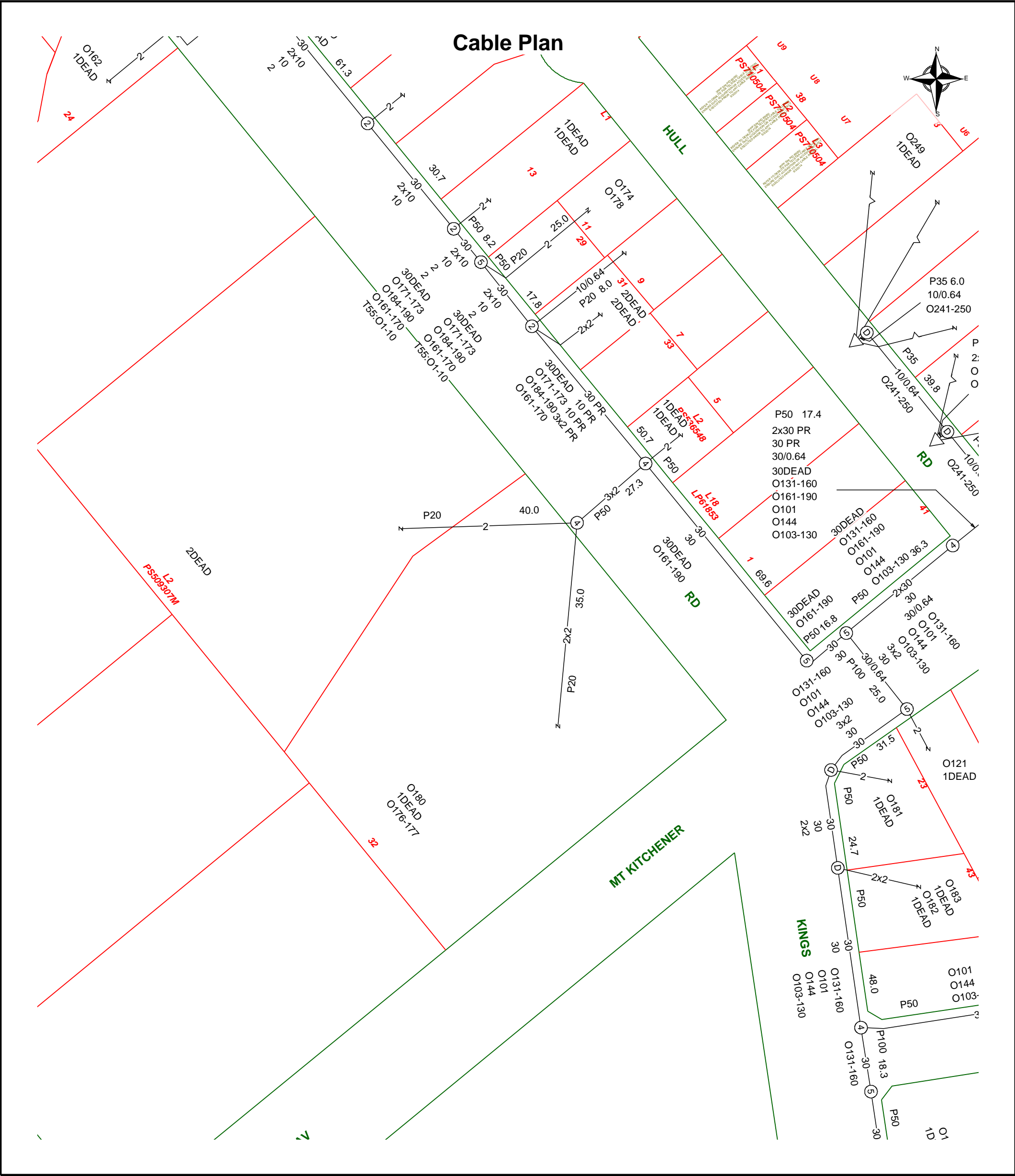
Scale 1:1,000




Legend

 BYDA Enquiry

Disclaimer: The Plan is provided in response to a Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of Murrindindi Shire Council infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.



	Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 229371210
	TELSTRA LIMITED A.C.N. 086 174 781	Please read Duty of Care prior to any excavating
	Generated On 07/09/2023 15:21:51	

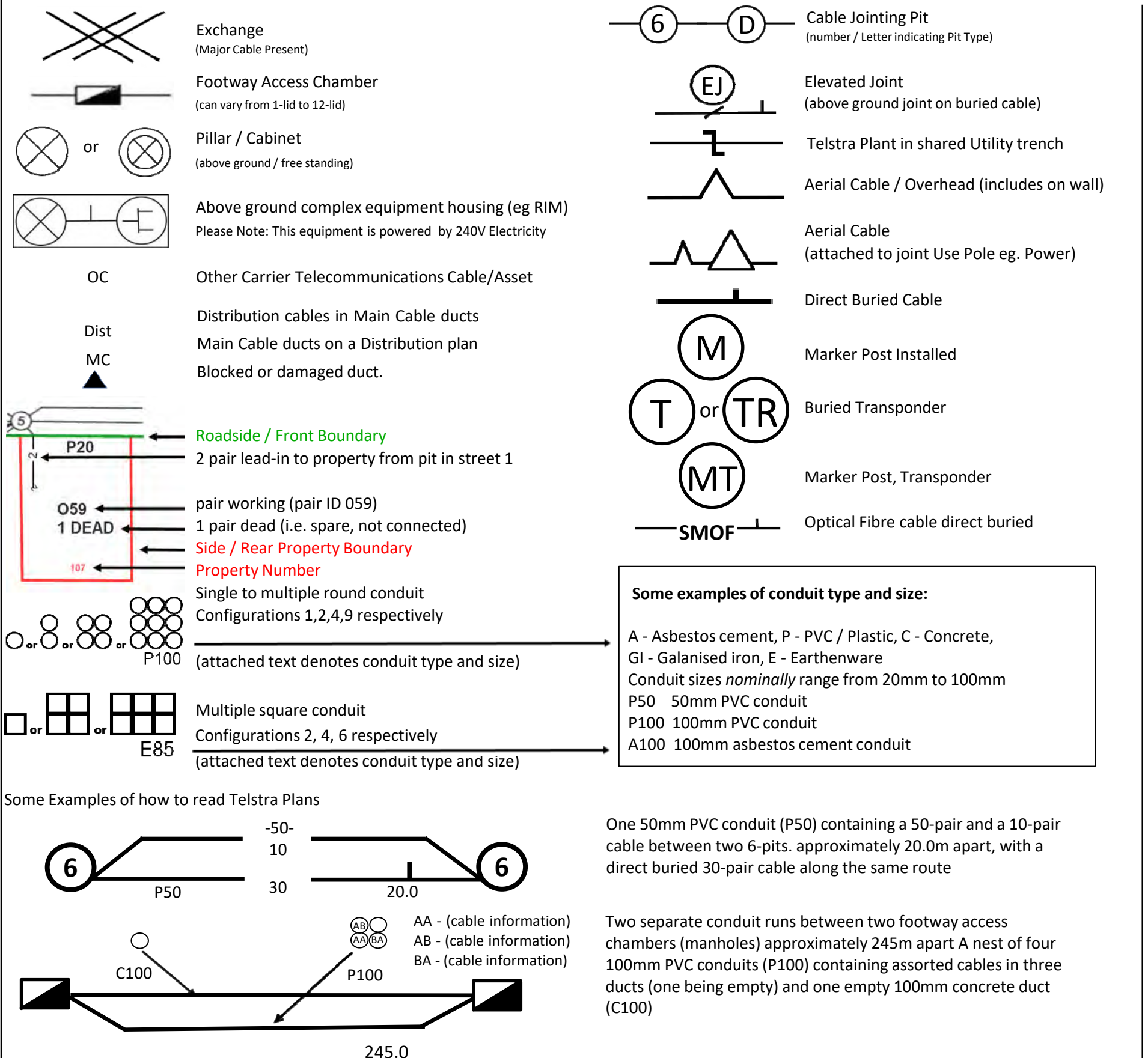
WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

LEGEND



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935



WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Appendix B

Property Reports

Details

LOT/PLAN NUMBER OR CROWN DESCRIPTION

Lot. 1 PS834930

LOCAL GOVERNMENT (COUNCIL)

Murrindindi

LEGAL DESCRIPTION

1\PS834930

COUNCIL PROPERTY NUMBER

11233

LAND SIZE

2,156m² Approx

ORIENTATION

West

FRONTAGE

43.73m Approx

ZONES

GRZ - General Residential Zone - Schedule 1

OVERLAYS

BMO - Bushfire Management Overlay

VPO - Vegetation Protection Overlay - Schedule 1

Corelogic Property Data

LAND

 -  -  -

ROOF MATERIAL

Unavailable

YEAR BUILT

Unavailable

WALL MATERIAL

Unavailable

FLOOR AREA

Unavailable

State Electorates

LEGISLATIVE COUNCIL

Northern Victoria Region

LEGISLATIVE ASSEMBLY

Eildon District

Schools

CLOSEST PRIVATE SCHOOLS

St Brigid's School (25899 m)

Worawa Aboriginal College (28202 m)

Caulfield Grammar School - Yarra Junction Campus (32249 m)

CLOSEST PRIMARY SCHOOLS

Marysville Primary School (394 m)

CLOSEST SECONDARY SCHOOLS

Rubicon Outdoor Centre (25304 m)

Burglary Statistics

POSTCODE AVERAGE

1 in 173 Homes

STATE AVERAGE

1 in 76 Homes

COUNCIL AVERAGE

1 in 175 Homes

Council Information - Murrindindi

PHONE

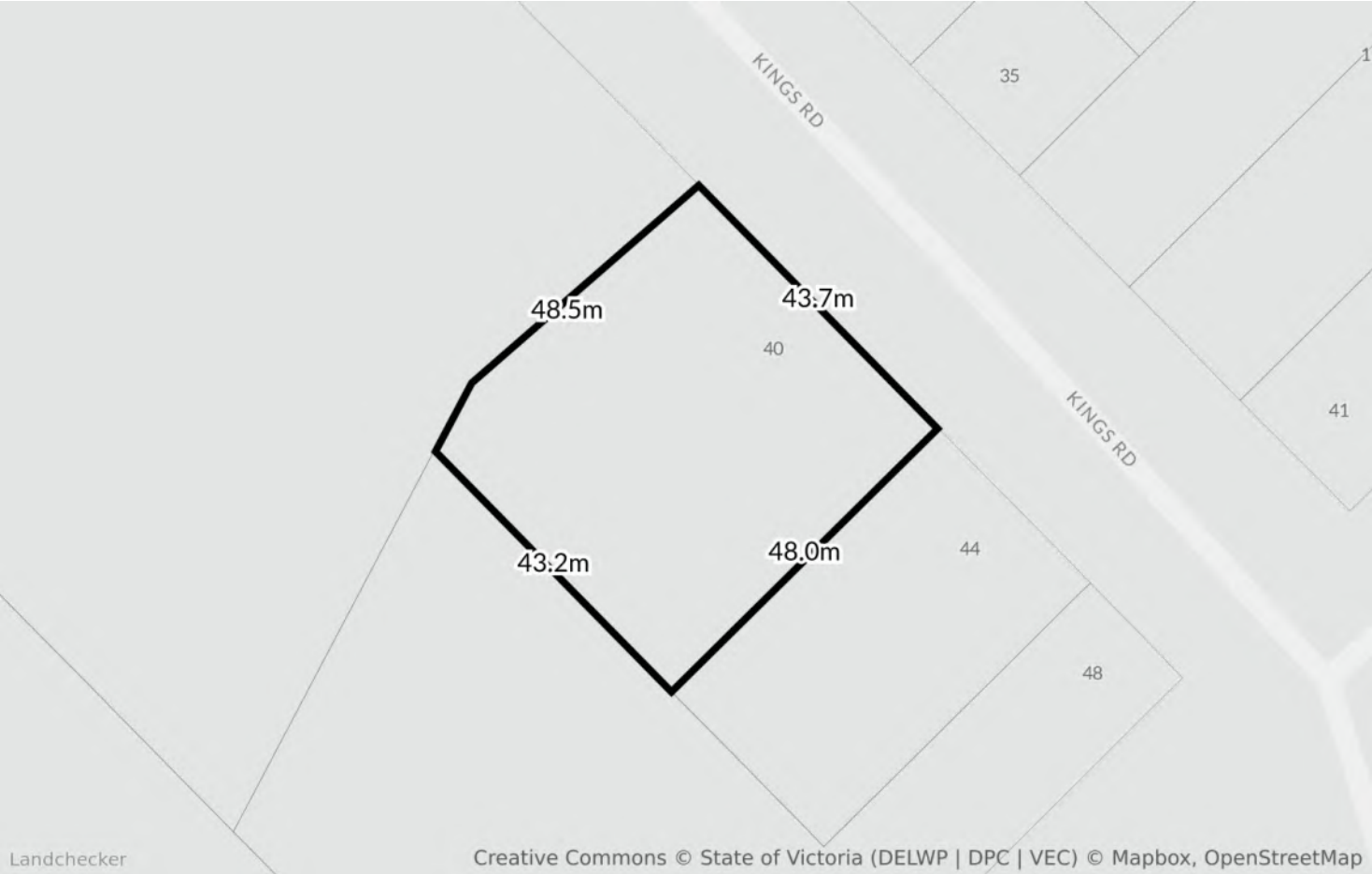
03 5772 0333 (Murrindindi)

EMAIL

planning@murrindindi.vic.gov.au

WEBSITE

<http://www.murrindindi.vic.gov.au/>



RECENT PLANNING SCHEME AMENDMENTS (LAST 90 DAYS)

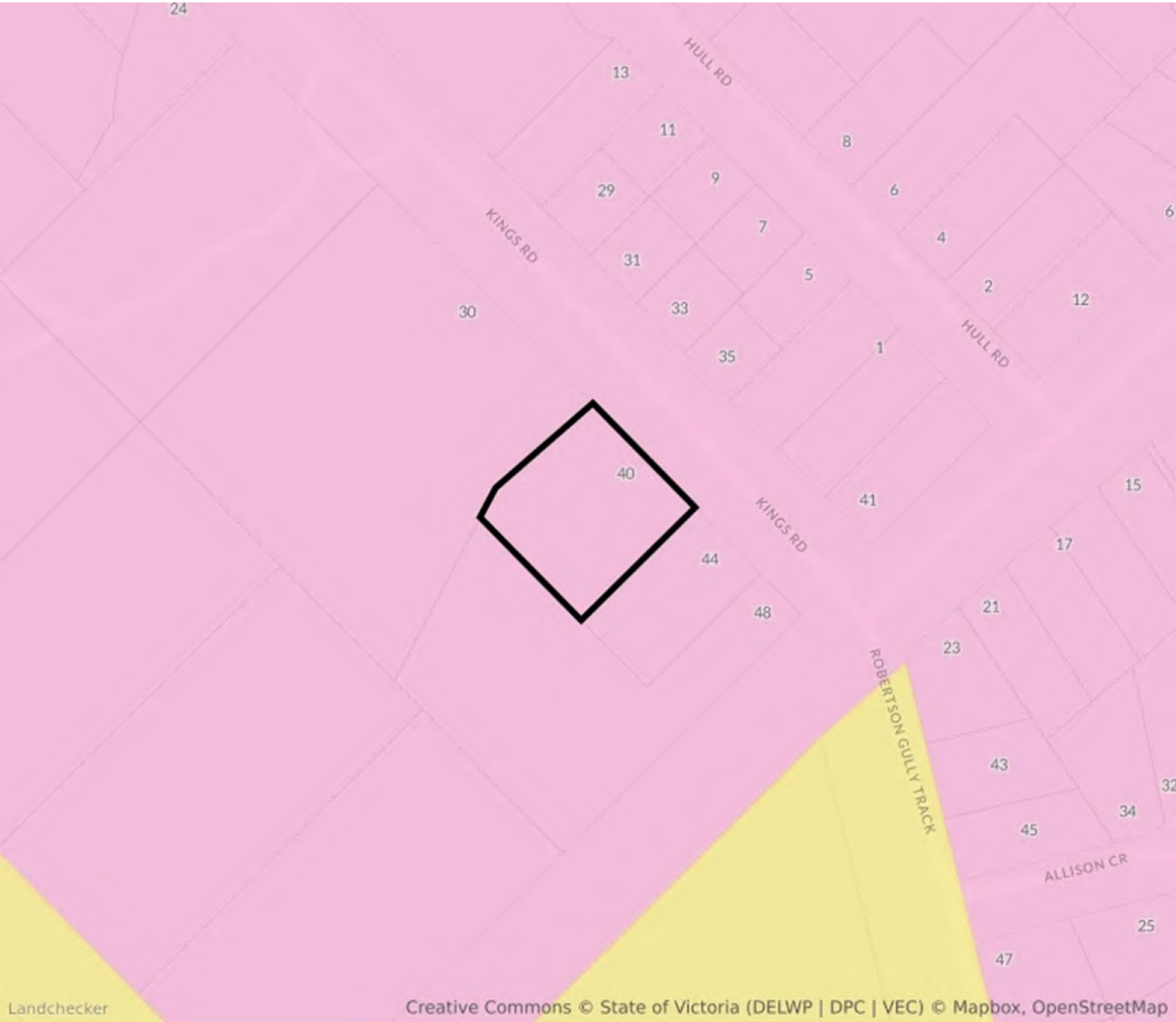
40 Kings Road, Marysville Vic 3779

Status	Code	Date	Description
APPROVED	VC234	03/07/2023	The amendment clarifies noise requirements for wind energy facilities and the responsible authority for enforcement matters.

PROPOSED PLANNING SCHEME AMENDMENTS

40 Kings Road, Marysville Vic 3779

No proposed planning scheme amendments for this property



GRZ1 – General Residential Zone – Schedule 1

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

VPP 32.08 General Residential Zone

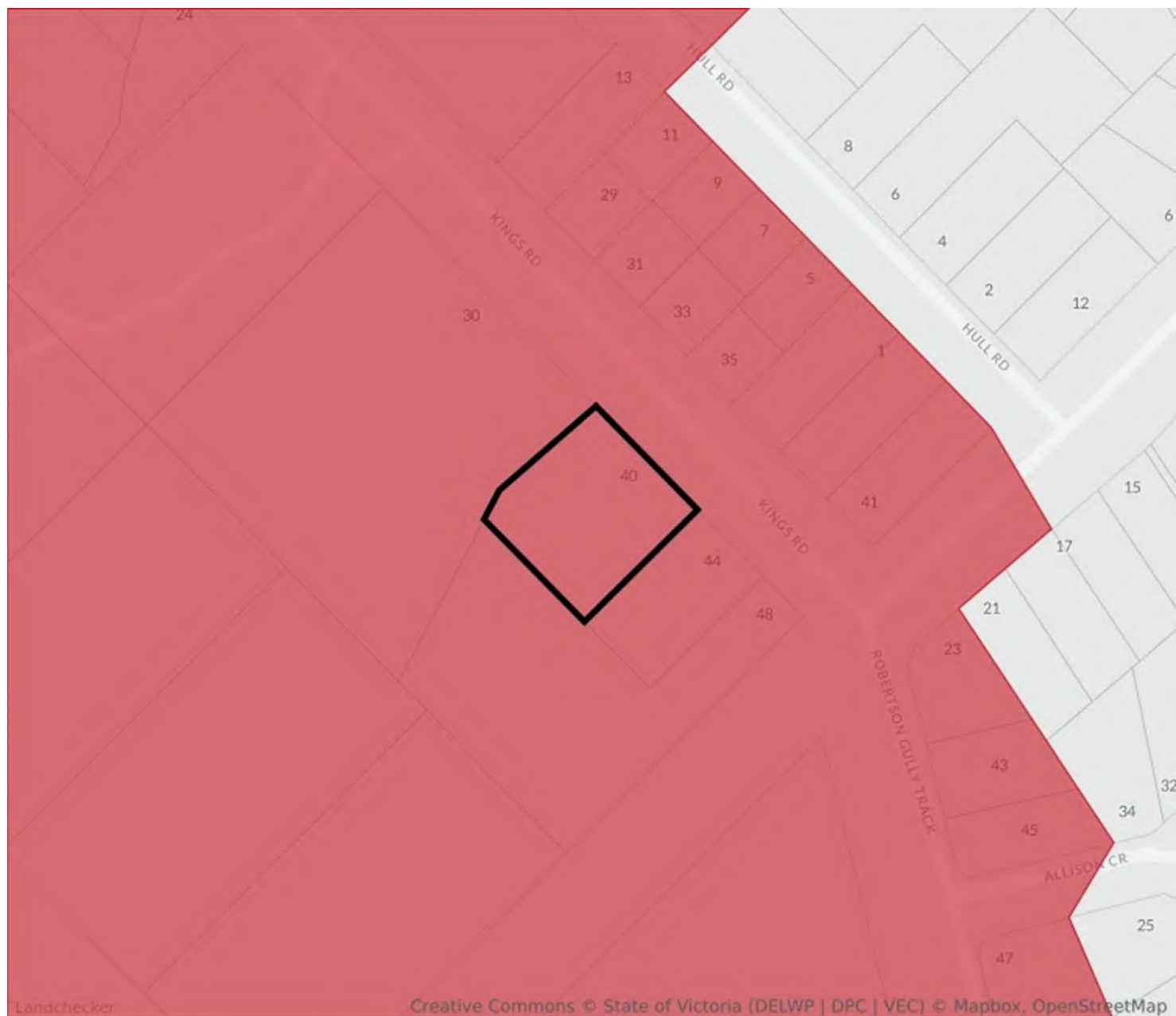
None specified.

LPP 32.08 Schedule 1 To Clause 32.08 General Residential Zone

For confirmation and detailed advice about this planning zone, please contact MURRINDINDI council on 03 5772 0333.

Other nearby planning zones

PUZ – Public Use Zone

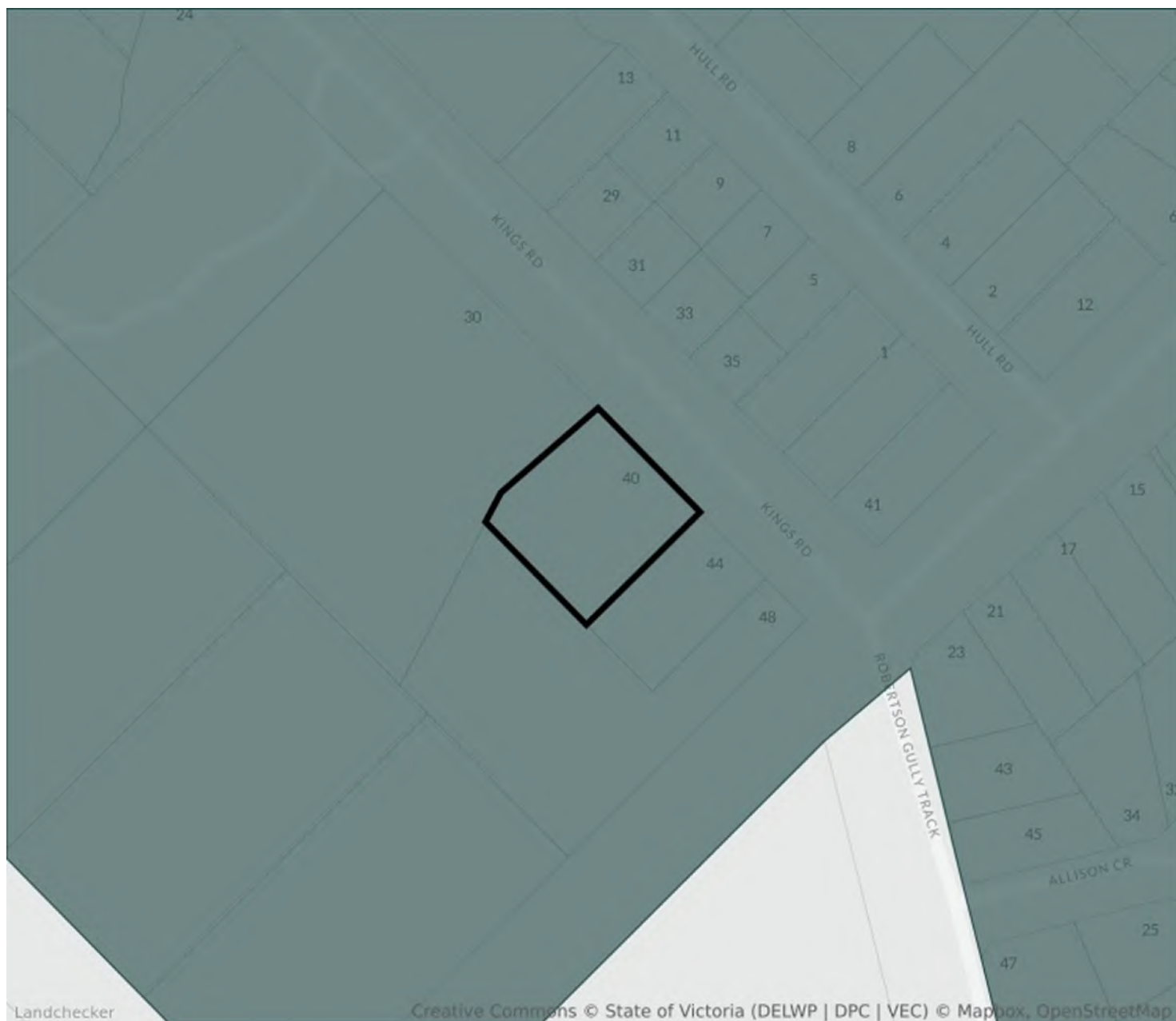


BMO - Bushfire Management Overlay

To implement the Municipal Planning Strategy and the Planning Policy Framework.
 To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
 To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
 To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

VPP 44.06 Bushfire Management Overlay

For confirmation and detailed advice about this planning overlay, please contact MURRINDINDI council on 03 5772 0333.



VPO1 – Vegetation Protection Overlay – Schedule 1

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To protect areas of significant vegetation.

To ensure that development minimises loss of vegetation.

To preserve existing trees and other vegetation.

To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.

To maintain and enhance habitat and habitat corridors for indigenous fauna.

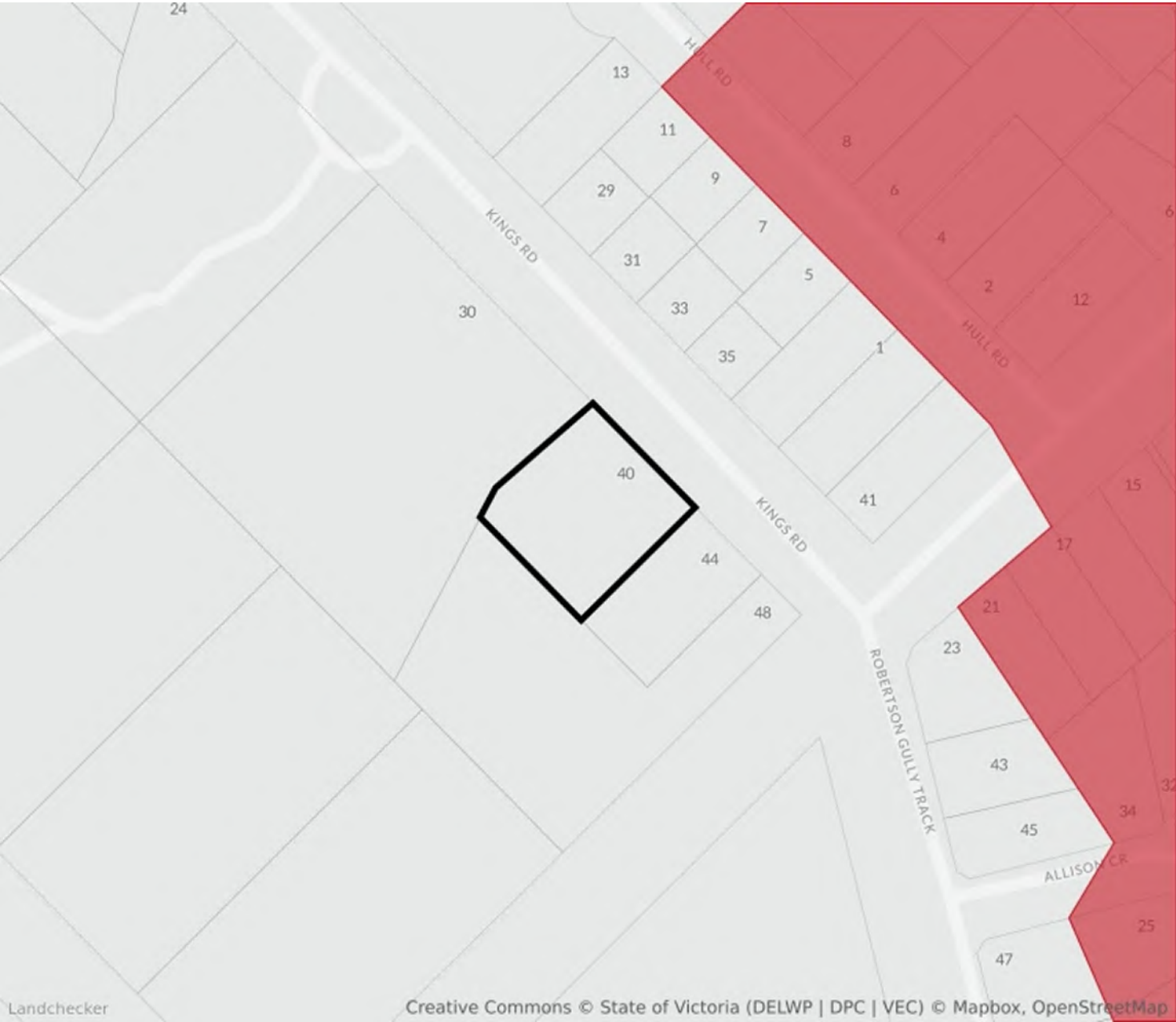
To encourage the regeneration of native vegetation.

VPP 42.02 Vegetation Protection Overlay

The vegetation within the township of Marysville is of historical and aesthetic significance. Marysville is a significant tourist destination within the Shire. Views and native vegetation from roads leading into Marysville form an important part of the area's character and are important for tourists and residents. The devastating fire of 7 February 2009 resulted in the loss of significant indigenous, native and exotic vegetation. The surviving remnant trees are of value in recreating the landscape character of Marysville.

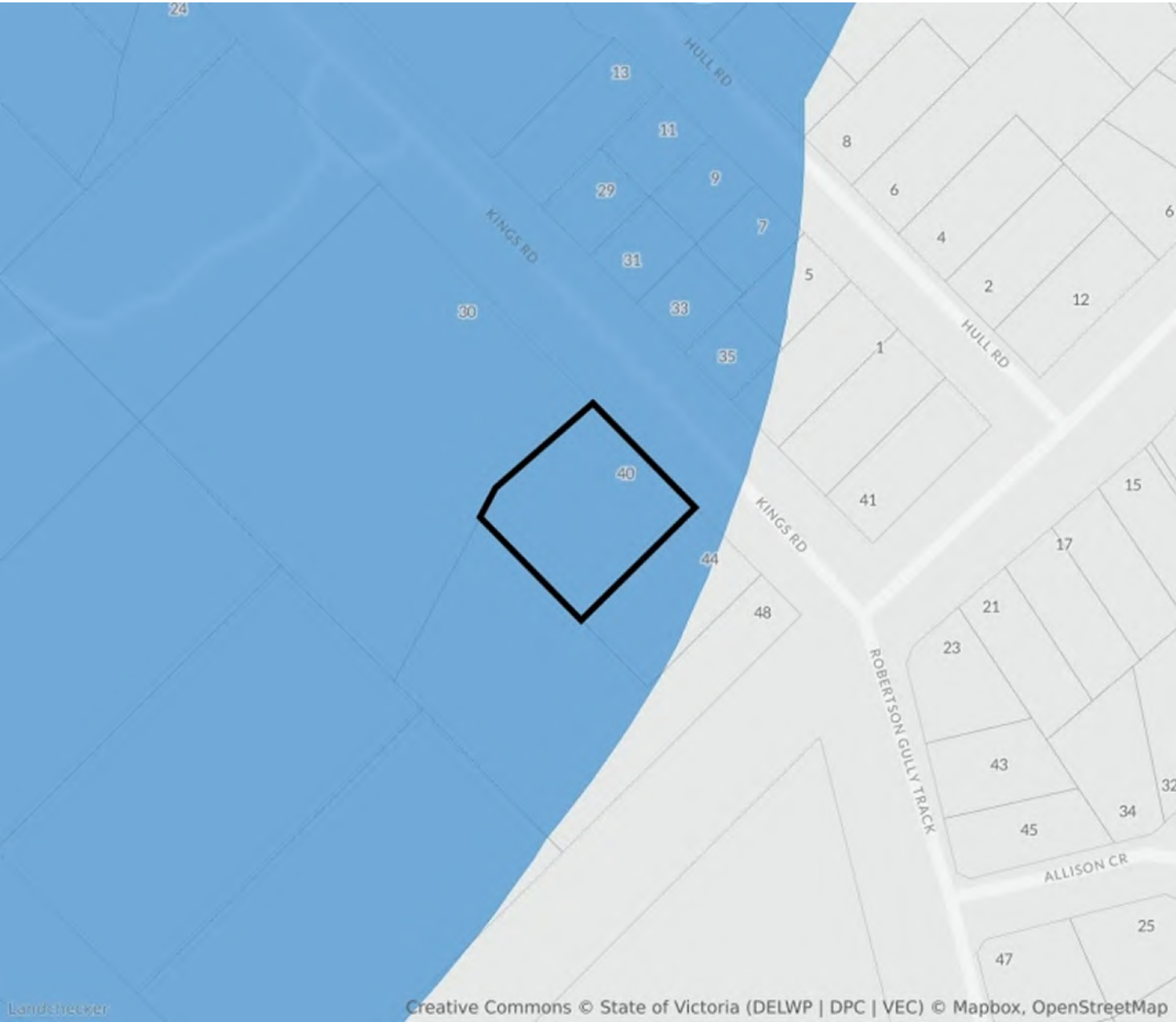
LPP 42.02 Schedule 1 To Clause 42.02 Vegetation Protection Overlay

For confirmation and detailed advice about this planning overlay, please contact MURRINDINDI council on 03 5772 0333.



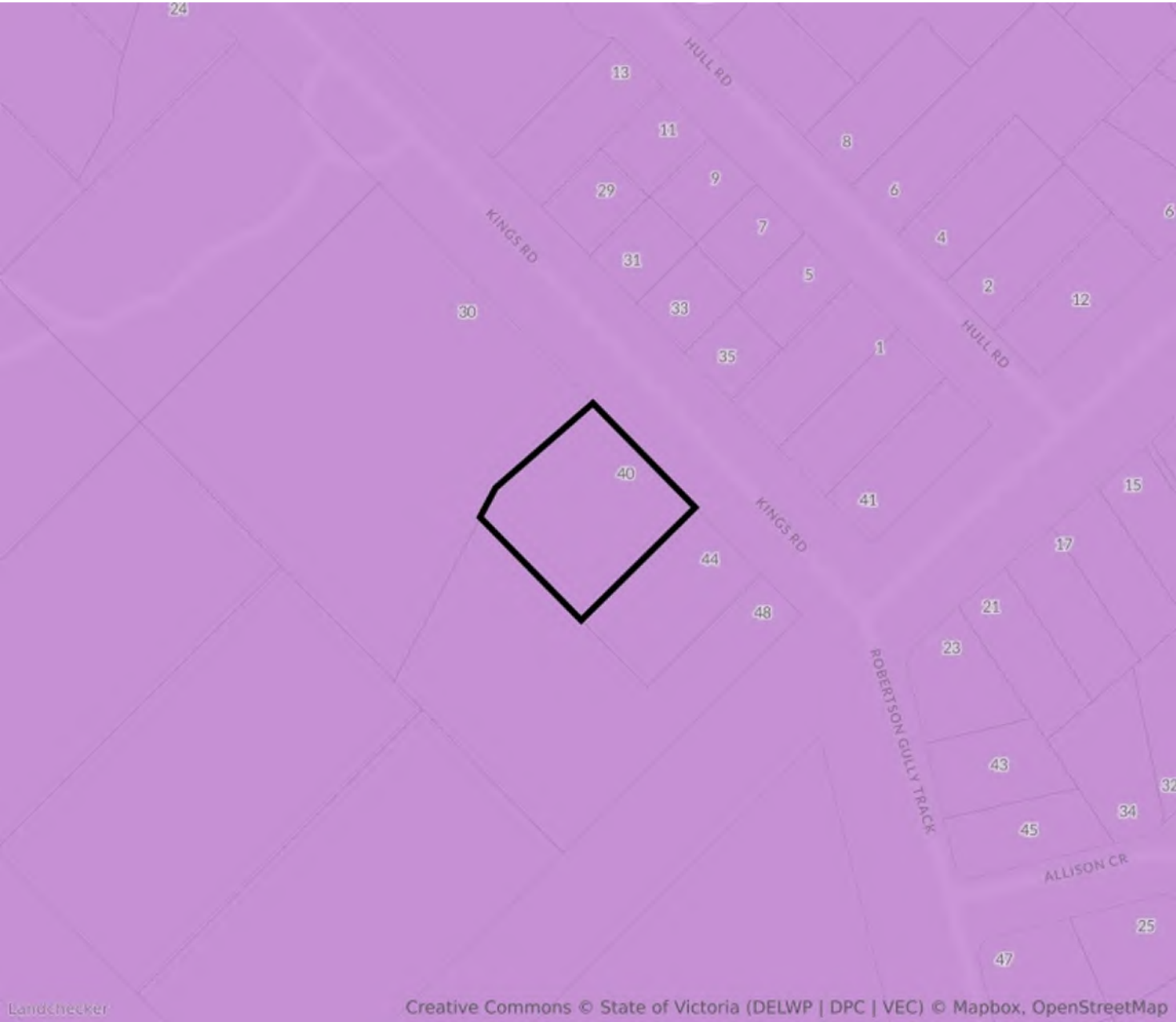
BMO - Bushfire Management Overlay

For confirmation and detailed advice about this planning overlay, please contact MURRINDINDI council on 03 5772 0333.



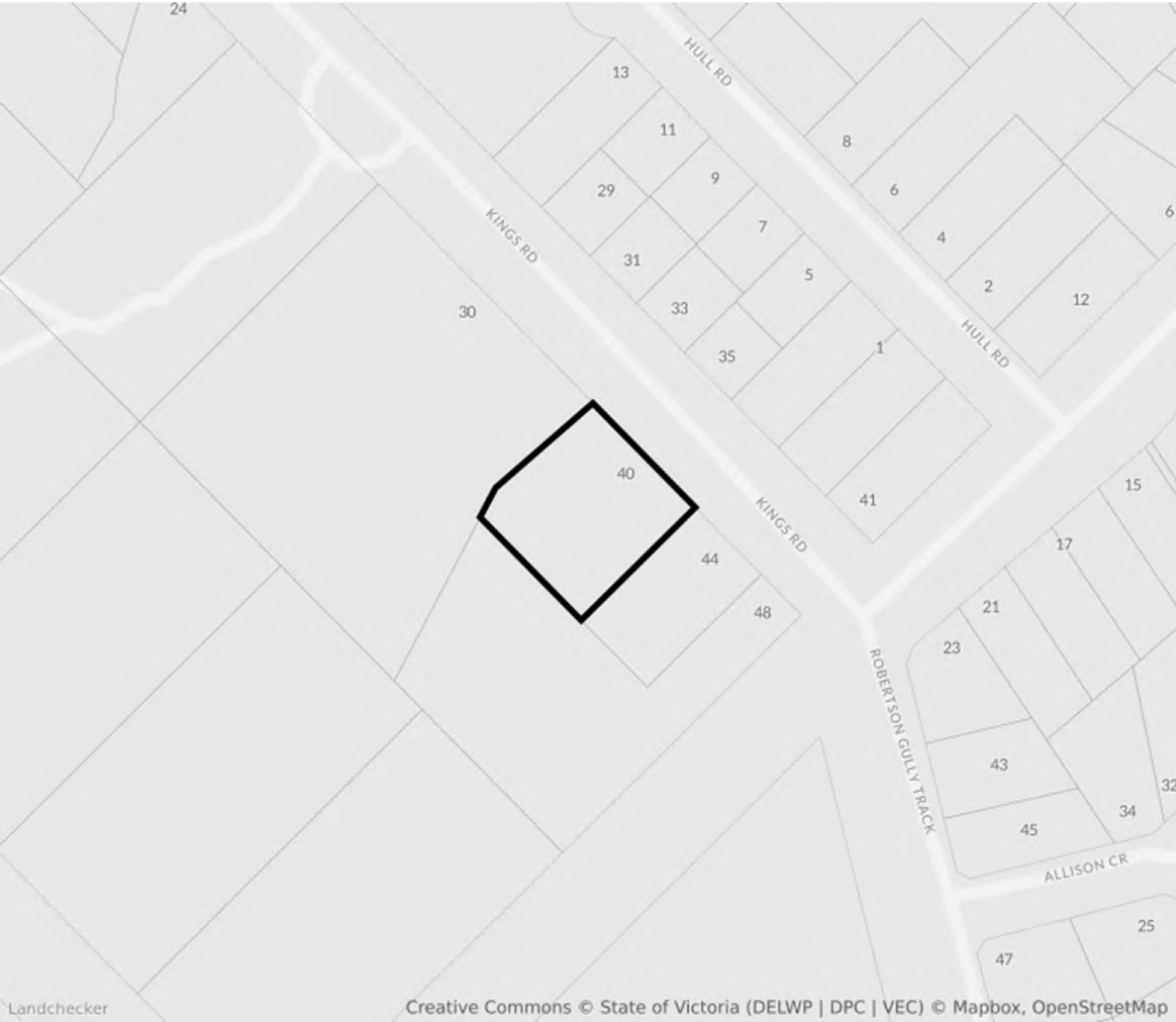
Aboriginal Cultural Heritage Sensitivity

This property is within, or in the vicinity of, one or more areas of cultural heritage sensitivity.
For confirmation and detailed advice about the cultural sensitivity of this property, please contact MURRINDINDI council on 03 5772 0333.



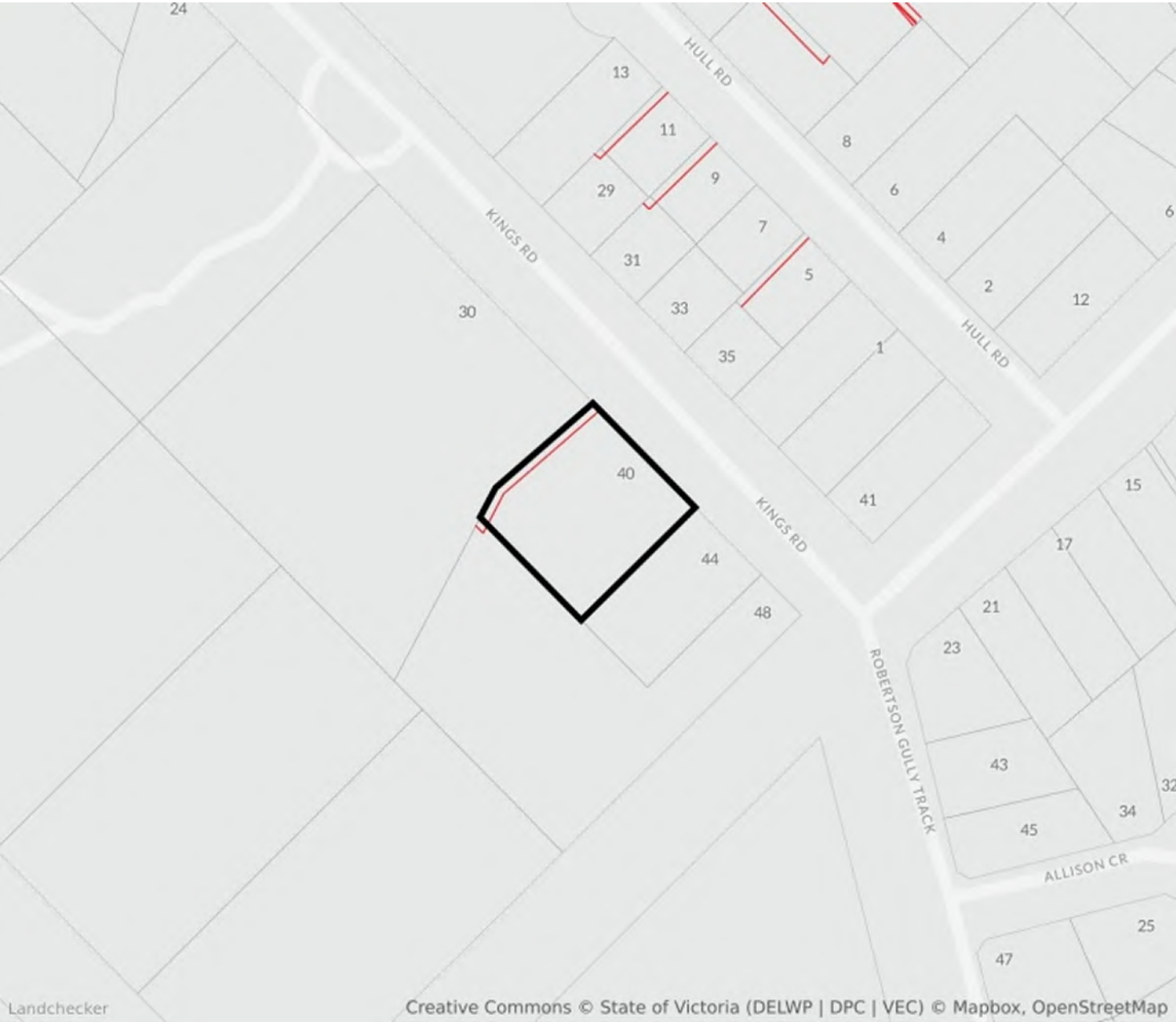
Bushfire Prone Area

This property is within a zone classified as a bushfire prone area.
For confirmation and detailed advice about the bushfire prone area of this property, please contact MURRINDINDI council on 03 5772 0333.



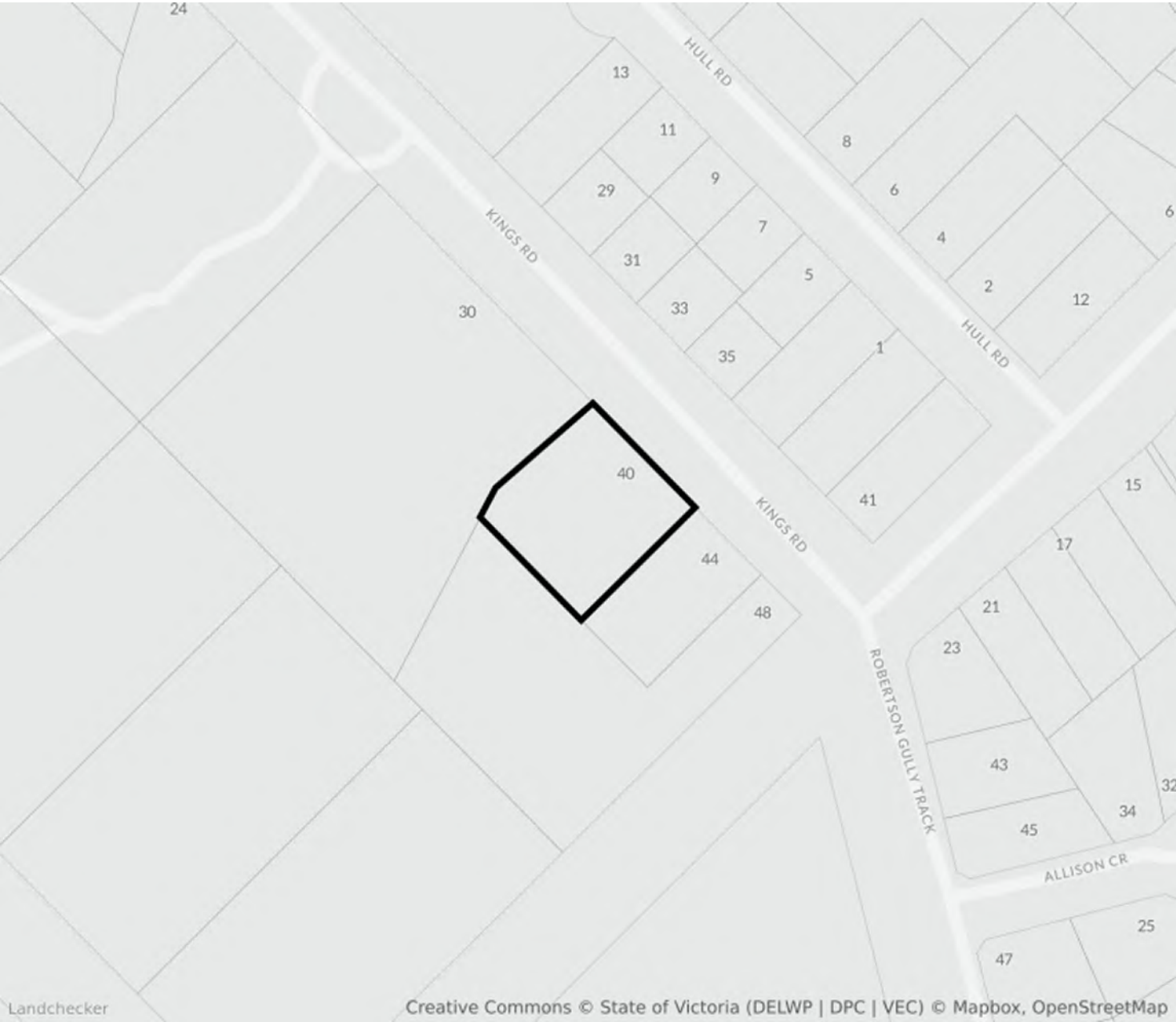
10 - 20m Contours

For confirmation and detailed advice about the elevation of the property, please contact MURRINDINDI council on 03 5772 0333.

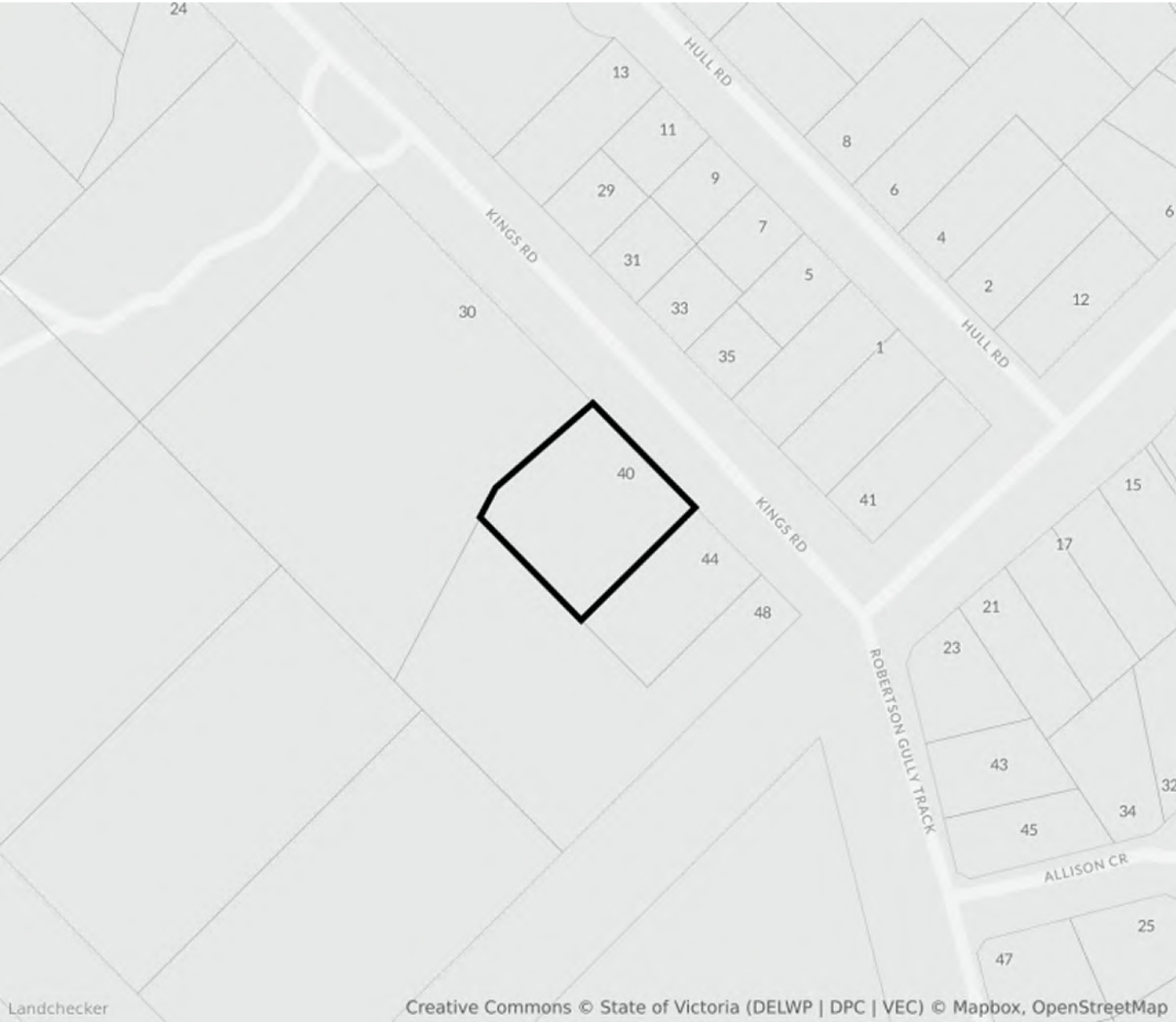


Easements

The easement displayed is indicative only and may represent a subset of the total easements.
For confirmation and detailed advice about the easement on or nearby this property, please contact MURRINDINDI council on 03 5772 0333.



No planning permit data available for this property.



No planning permit data available for nearby properties.

COMPARABLE SALES (RESIDENTIAL)

40 Kings Road, Marysville Vic 3779

No comparable sales found nearby

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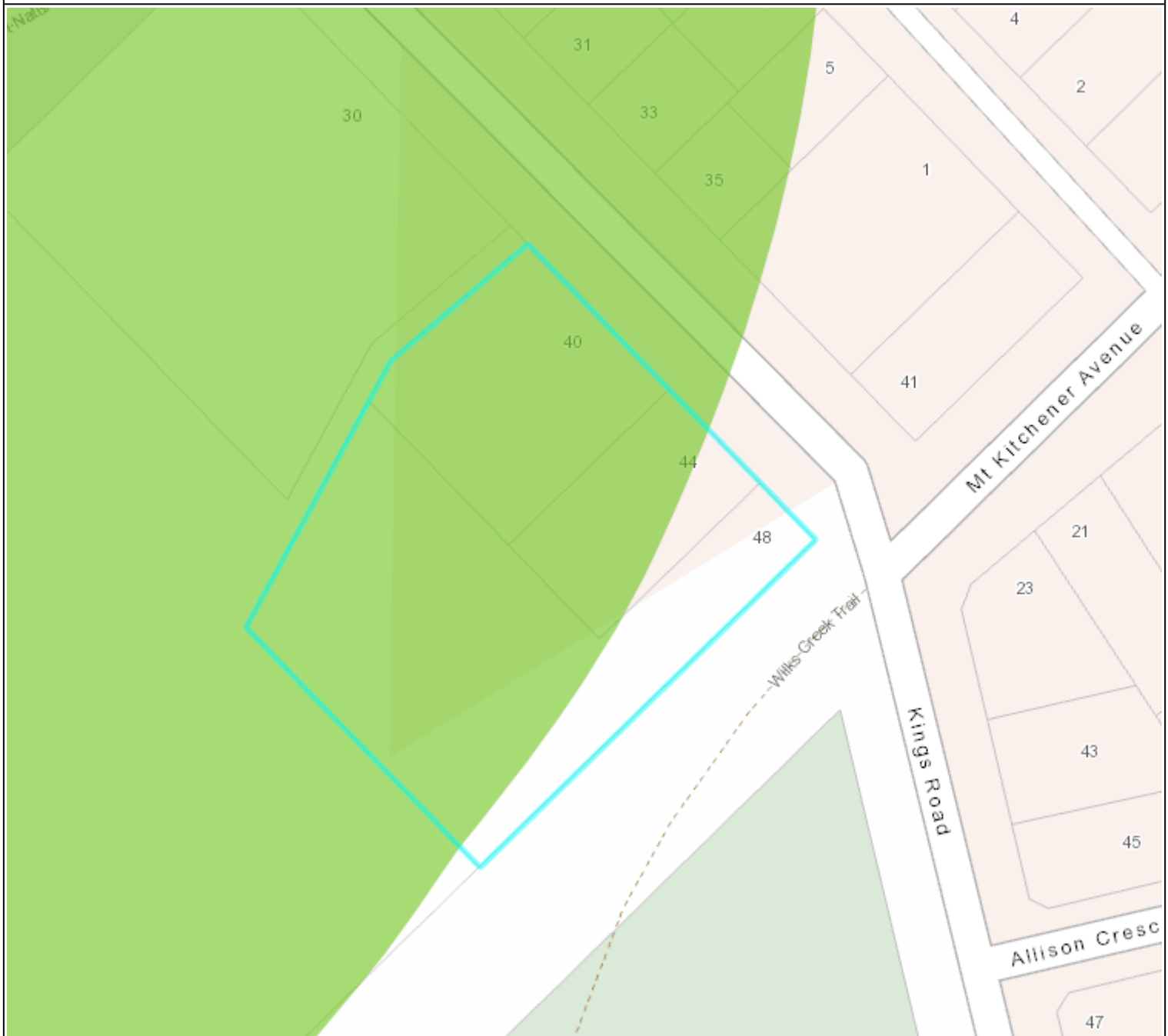
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Appendix C

Cultural Heritage Map

Aboriginal Victoria
40 Kings Road, Marysville



Areas of Cultural Heritage Sensitivity



1:1,250
Metres 20 40

Produced by
Aboriginal Victoria
for
Turning Point Property & Projects



Date: 8 September 2023



This document contains culturally sensitive information concerning the heritage of Victoria's Aboriginal communities, and cannot be included in any reports resulting from research associated with this document. This information is accurate at the date of production. However, the State of Victoria and its employees do not guarantee that the information in this document is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on this information.

Process List

Project Name: 40 Kings Road, Marysville

Project Location: 40 Kings Road, Marysville

Date: 08-Sep-2023

	QUESTION	ANSWER
Question 1	Is the proposed activity , or all the proposed activities, exempt?	No
Question 2	Are you undertaking a High Impact Activity as listed in the Aboriginal Heritage Regulations?	Yes
Question 3	Does your activity include significant ground disturbance?	Yes
Question 3(a)	Is your activity a subdivision of 3 or more lots for housing (where at least 3 of the lots are less than 8 hectares in size), or industrial subdivision in an area zoned for industry, or do you require a permit under the relevant planning scheme municipal council permit) to use the land for one of the following purposes?	Yes
Question 4	Does your activity area include areas of a registered cultural heritage place (regardless of significant ground disturbance) or cultural heritage sensitivity that have not previously been subject to significant ground disturbance?	No
Answer:	<p><u>ON THE BASIS OF THE ANSWERS YOU HAVE ENTERED</u></p> <p>YOU ARE NOT REQUIRED BY THE REGULATIONS TO PREPARE A CULTURAL HERITAGE MANAGEMENT PLAN FOR THIS PROJECT</p>	
	<p>This process list is for information purposes only; the result must not be relied upon by a statutory authority in deciding whether a cultural heritage management plan is required for a proposed activity.</p>	