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CONTEXT

Murrindindi Shire is situated northeast of metropolitan Melbourne, and forms part of Melbourne's peri-urban interface. It extends from the Kinglake Ranges and Great Dividing Range in the south to the Strathbogie Ranges to the north. The municipality comprises 3,873 square kilometres, of which 48% is public land.

The estimated residential population (ABS) for Murrindindi Shire was ~~15,197~~ ~~14,000~~ as of ~~2016~~ ~~2021~~ and is forecast to reach 17,020 persons in 2036 (VIF, 2019). In 2021, the Shire had an estimated 8,321 private dwellings (ABS, 2021) and this is forecast to increase to 9,582 dwellings in 2036 (VIF, 2019).

The main towns of Alexandra, Yea, Eildon and Marysville are all serviced. Other larger towns are Kinglake and Kinglake West - Pheasant Creek. Smaller towns and settlements include Buxton, Flowerdale, Glenburn, Molesworth, Narbethong, Strath Creek, Taggerty, Taylor Bay, Thornton, Toolangi and Yarck, with other smaller settlements existing throughout the municipality.

The existing road network provides access to metropolitan Melbourne, the Hume Freeway and Melbourne International Airport.

Murrindindi Shire has a large range of natural features and built attractions that contribute significantly towards the municipality's environment, economy, character and appeal.

Features of economic and social significance in the municipality are Lake Eildon, the Goulburn River and valley, the Strathbogie Ranges, the Melba, Maroondah and Goulburn Valley Highways, the Great Dividing Range and the Lake Mountain Alpine Resort.

Natural disasters, including the 2009 bushfires and floods in 2022, have affected many areas of the municipality. ~~The rebuilding of affected towns and the protection of settlements from bushfire~~ Resilience to the impacts of climate change and extreme weather events on the municipality's towns and agricultural/farming areas are critical issues for the community.

02.02

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- ~~• Council seeks to enhance the liveability, amenity and quality of life in the municipality.~~
- ~~• Council will facilitate sustainable population and economic growth.~~
- ~~• The municipal rate base will be actively grown through sound planning, support for continued economic development and protection of the natural and built environment.~~
- ~~• A strong economy will attract people to the municipality, creating further opportunities for lifestyle choice, business investment and prosperity.~~
- ~~• Increased economic growth and investment will enhance population growth, employment and social and cultural benefits for the municipality.~~
- Residential growth will be provided in established townships and settlements with existing communities and infrastructure, where natural environment is protected and a high level of community safety is achieved.

Through our combined efforts, our community is vibrant and resilient. We:

- Are inclusive, embrace diversity and encourage the participation of all.
- Welcome new residents and visitors to enjoy and contribute to our Shire.
- Respect and celebrate the cultural heritage of our First Nations People and those who have come before us.
- Actively support the current and future needs and aspirations of people of all ages and abilities.
- Enjoy, participate in and promote culture and the arts, sport and recreation.
- Are leaders in waste reduction and combating climate change.
- Protect our natural environment and biodiversity and preserve our rural landscapes.
- Grow through managed land development, business entrepreneurship and enhanced learning opportunities.

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02.03-1**STRATEGIC DIRECTIONS****Settlement**

The established townships and settlements offer a significant opportunity to expand in locations with infrastructure and leisure facilities, where natural environment is protected and where a high level of community safety is facilitated.

Proximity to Melbourne's outer metropolitan area creates growth and lifestyle opportunities for Murrindindi Shire. Increasing numbers of residents are commuting between the municipality and metropolitan Melbourne, with many living flexibly with a city base. Established townships and settlements are connected, serviced and offer lifestyle appeal.

Alexandra, Yea, Eildon and Marysville are fully serviced with a range of community and physical services, including reticulated water, drainage and sewerage. These towns play a significant role as service centres to surrounding areas, contributing to the economic and social vitality of the municipality. All of these towns have potential for further residential expansion with Yea and Alexandra having potential for significant growth. ~~The Marysville performs a service centre and tourism roles played by Marysville is being re-established as the town rebuilds following the 2009 bushfires.~~

There are a number of other smaller townships and settlements in the municipality, all offering alternative lifestyle choices for residents ~~but with very limited opportunities for growth.~~ These smaller townships and settlements include Buxton, Flowerdale, Glenburn, Molesworth, Narbethong, Strath Creek, Taggerty, Taylor Bay, Thornton, Toolangi and Yarck. Other smaller settlements exist in rural areas, some being former townships.

The Kinglake Ranges area comprises the Kinglake, Kinglake West - Pheasant Creek, Kinglake Central and Castella settlements. The area is unserviced, with no reticulated water or sewerage. Most of this area was affected by the 2009 bushfires and ~~has undergone an active rebuilding program remains subject to bushfire related impacts.~~

Council's ~~strategic directions for settlement are to seek to develop its established townships and settlements by:~~

- ~~• Concentrate development into defensible parts of existing township boundaries and settlements to mitigate bushfire and flooding risks, protect agricultural land, and limit natural and environment risks.~~
- ~~• Facilitate the growth of the townships of Alexandra and Yea as the focus of residential, commercial and community uses and developments and as a service hub for surrounding areas.~~
- ~~• Manage the growth of the townships of Eildon and Marysville and their service centre and tourism roles.~~
- ~~• Supporting each township as the focus of residential, commercial, community and service hub for its surrounding area.~~
- ~~Concentrating-Concentrate~~ development in locations free from environmental constraints, where environmental values are protected and the level of community safety is improved.
- ~~Support-Reflect~~ the limited function and residential growth opportunities of smaller townships and settlements.

Environmental and landscape values**02.03-2**

The natural environment, rich biodiversity, significant public land areas and high quality landscape, form an essential part of the municipality's character, liveability and economy. This natural environment forms the basis for the core economic activities in the municipality. Its long term sustainable use and protection of the natural environment is critical for the continued economic and social well-being of the municipality.

Remaining native vegetation on private land is highly fragmented and usually occurs in small or narrow linear remnants, increasing the importance of roadside and riparian vegetation. Land clearing, invasion of weeds and loss of habitat are particular threats to this vegetation.

Lake Eildon and the Goulburn, Yea and Acheron Rivers and tributaries are important natural features and water resources, providing a large proportion of the water supply in the Goulburn Broken catchment. Lake Eildon is a significant water, natural environment and tourism resource.

The Yea Wetlands, forming part of the Yea River on the eastern side of the Yea township, and the National Heritage Place listed Yea Baragwanathia Flora Fossil Site, Limestone Road, Yea are significant landscape features and attractions in the Yea area.

~~Council's strategic directions for environmental and landscape values are to protect environmental and landscape values, Council supports:~~

- ~~Protecting~~ environmental values, including native vegetation, roadside vegetation, and scattered paddock trees.

- Encourageing environmentally sustainable design and energy and water efficiency.
- Locateing and designing development and wastewater systems to minimise any landscape and water quality impacts on waterways and Lake Eildon.
- Protecting and enhanceing waterways, catchments, flood plains and wetlands.
- Minimiseing erosion, prevent sediment runoff, enhance water quality and improve riparian health.
- Limiting the impact of development on the flow and quality of surface water and groundwater.
- Protecting biodiversity and environmental values of local, state, national and international significance.
- Protecting and enhancing habitat and wildlife corridors across the landscape.
- Encouraging innovative environmental practices, including carbon farming and vegetation offsetting.
- Protecting significant landscapes, including rivers and floodplains, highways, elevated slopes, Lake Eildon, Cathedral Ranges and significant natural features.
- Protecting the environmental and landscape values of land surrounding Lake Eildon by careful design, siting and construction.
- Protecting the natural and heritage river values of the Goulburn River.

Environmental risks and amenity

02.03-3

Natural environmental hazards present risks and constraints for land use and settlement in the municipality. Land use planning must fully address and carefully manage natural hazards such as bushfire risk, flooding, drought, and climate change impacts, such as more frequent, intense or uncertain weather events. Climate change has the potential to have adverse impacts on the key industries of agriculture and tourism and on economic prosperity and viability in general.

Murrindindi Shire is subject to significant bushfire hazard, particularly in the southern section. This hazard is due to the nature and extent of vegetation, topography, potential for extreme fire behaviour arising from drought and climate change, the dispersed and ad-hoc nature of development and lack of infrastructure and access in some locations.

Natural flooding of floodplains and their associated wetlands promote the health of rivers and floodplains and provide essential breeding habitats for bird and aquatic species. However, the municipality includes areas of floodprone land where flooding has historically caused substantial damage to the natural and built environment. While significant costs are incurred by direct damage to public and private property, indirect costs to the community such as long-term economic impacts, loss of productivity, displacement of residents, closure of roads, trauma and ill health are also significant.

The growth of industry in the Lethbridge Street, Alexandra area requires protection from uses that may impact on the use and development of the land for industrial purposes. This needs to be balanced with protecting existing residential amenity as industrial expansion occurs.

Council's ~~strategic directions for environmental risks and amenity are to seeks to address environmental risks and amenity by:~~

- Reducing the impacts of climate change, by supporting alternative energy sources, carbon farming, ~~reducing~~ ~~minimising~~ greenhouse gas emissions, and adopting environmentally sustainable development principles.
- Directing future growth to existing township boundaries to protect environmental values and improve community safety ~~particularly from high bushfire risk~~ and flooding impacts.
- Encouraging development only when the risk to life and property from bushfire can be reduced to an acceptable level and that bushfire protection measures can be implemented.
- Strengthening community resilience to bushfire by ensuring that bushfire protection measures are considered and given effect to in decision making.
- Supporting the rebuilding of communities affected by the 2009 bushfires.
- Minimiseing risk to life and property from bushfire and flooding through the appropriate siting, design and management of uses and developments.
- Maintaining the flood carrying capacity, temporary storage function and environmental significance of floodplains and waterways.
- Balancing the protection of valued industrial land from encroachment by incompatible uses with protecting the amenity of existing residential uses.

Natural resource management

02.03-4

The agricultural sector in Murrindindi Shire is diverse, economically significant and has potential to expand. Agricultural activities include beef and sheep grazing, horticulture, cropping, vegetable growing, aquaculture, forestry, and niche products.

The Goulburn River valley and tributaries is a fertile valley of high agricultural quality. The Kinglake Ranges has high quality soils and agricultural value, while the Toolangi area is of national horticultural significance.

Favourable climatic and environmental conditions and proximity to the Melbourne market have seen the recent development of intensive agricultural industries, including an expansion of the viticultural, stone fruit, berries, vegetables and turf production.

Agricultural land is under increasing pressure for conversion into non-agricultural uses and its ongoing viability needs improved protection from competing residential uses and subdivisions.

Council's strategic directions for natural resource management are to ~~aims to protect the~~ viability of agricultural land and waterways by:

- Protecting high quality agricultural land for ongoing agricultural use.
- Protecting rural land for productive agricultural uses and compatible rural uses.
- Ensuring that the use and development of rural land protects and enhances agricultural potential and the productive capacity of the land and surrounding land.
- Supporting existing agricultural production activities, including beef and sheep grazing, horticulture, cropping, vegetable growing, aquaculture, timber production and niche products.
- Supporting emerging agricultural industries that are compatible with existing agricultural practices, including horticulture, intensive animal production, agroforestry, farm gate agricultural sales, boutique, niche agriculture, agricultural processing, value adding industries and carbon farming.
- Supporting the evolution of agriculture in response to improved practices and climate change.
- Ensuring that agricultural land is not developed for primarily residential purposes.
- Discouraging the fragmentation of rural land into lots incapable of productive agricultural and rural use.
- Protecting water catchments from inappropriate use and development, particularly the Goulburn River valley and its tributaries.

Built environment and heritage

02.03-5

The municipality has a diverse and colourful history and includes many sites and structures of heritage significance. Heritage forms an essential part of the municipality's town and rural character. Recognition and protection of significant heritage is important for the cultural integrity and character of the community.

Well-designed, sustainable development that is sensitive to its context plays an important role in maintaining a town's character and appearance. This is especially important where a town is being rebuilt as a result of the 2009 bushfires.

In protecting heritage assets and promoting built form improvements, Council's strategic directions for built environment and heritage are to will:

- Protect sites, places and features of natural, archaeological and cultural heritage significance.
- Protect buildings of identified heritage significance.
- Protect the cultural heritage of the municipality.
- Encourage high quality contemporary design that becomes a valued addition to heritage places.
- Encourage design and development of township entrances and streetscapes that respect the built environment, contribute to the overall appearance and character of the town.
- Promote energy and water efficiency in design and development, including the use of water sensitive urban design principles.
- Facilitate the rebuilding and revitalisation in towns and communities affected by natural disasters.

Housing

02.03-6

The established townships and settlements offer a significant opportunity to expand and provide living opportunities in locations with infrastructure and leisure facilities, where natural environment is protected and where a high level of community safety is facilitated.

[Update to reflect the directions in the Housing and Settlement Strategy, 2022](#)

~~Council's strategic directions for housing are to seeks to manage the development of its towns by:~~

- Promot~~ing~~ and facilitate further residential development and housing diversity in established townships to meet the needs of the community, including affordable housing, public housing and aged care accommodation.
- Allow~~ing~~ the subdivision and development of Rural Living land where environmental benefits such as the protection of native vegetation and treatment of waste water are demonstrated.
- Support~~ing~~ residential growth that is sustainable.
- Facilitat~~ing~~ the rebuilding of housing and residential diversity in towns and communities affected by natural disasters, including the 2009 bushfires.

Economic development

02.03-7

Murrindindi Shire has a diverse economy, with key economic sectors being:

- Agriculture, aquaculture, horticulture and viticulture.
- Tourism, hospitality and conferencing.
- Manufacturing and engineering.
- Retail and trade services.
- Education, including outdoor education.
- Health care and social services.
- Forestry and timber processing.

The key commercial areas are Alexandra, Yea, Kinglake, Eildon and Marysville, with strong business activity also in the small townships.

The houseboat industry services sector provides long term employment and future growth opportunities for Eildon. Alexandra and Yea are the prime industrial areas in the municipality, both having land for lighter industrial uses or for industries that require larger areas and buffers from other land uses. Kinglake Ranges and Narbethong have existing industrial areas to cater for some local industrial and service needs.

There is a diverse and skilled workforce within the Murrindindi Shire that is available for existing industry sectors and for new and expanded businesses. The ageing population and loss of young people from the Municipality needs to be addressed to maintain the available skilled workforce.

The natural and built attractions in the municipality contribute significantly towards its character and appeal and form the basis for an active tourism industry and the municipal economy.

This includes high amenity rural and natural landscapes, diverse public land and forests, rivers, heritage and attractive townships. The region's environmental assets, particularly the National and State Parks, Lake Mountain Alpine Resort, Lake Eildon, the Goulburn River, and the Great Victorian Rail Trail offer opportunities for a broad range of outdoor pursuits.

~~In promoting economic development, Council's strategic directions for economic development are to supports:~~

- Encourag~~ing~~ business expansion, investment and employment.
- Facilitat~~ing~~ the growth of home-based business, small businesses, niche industries and rural based industries.
- Supporting new and emerging industries.
- Support~~ing~~ the revitalisation of economies in towns and communities affected by natural disasters, including the 2009 bushfires.
- Facilitat~~ing~~ active commercial areas in townships.
- Strengthen~~ing~~ the role and identity of townships, including supporting businesses within the commercial centres of Kinglake, Kinglake West – Pheasant Creek.
- Facilitat~~ing~~ commercial and industrial uses in the commercial areas of Alexandra, Yea, Kinglake, Eildon and

Marysville.

- Facilitating commercial activities in smaller townships.
- Providing a supply of industrial land to cater for a range of industrial uses.
- Encouraging the development of serviced industrial land in the municipality.
- Encouraging sustainable growth in tourism, leveraging Murrindindi Shire's natural assets, proximity to Melbourne and links with neighbouring regions.
- Supporting recreation, tourism and lifestyle facilities linked to Lake Eildon, the Goulburn River and the Great Victorian Rail Trail.
- Facilitating the development of Eildon and Marysville townships as all year round residential, commercial and tourism destinations.
- Facilitating development of new tourism accommodation options and conference centres.
- Facilitating the rebuilding of tourism accommodation, attractions and facilities in areas affected by natural disasters, including the 2009 bushfires.
- Encouraging tourism activities in any identified heritage place to which the Heritage Overlay applies.
- Encouraging small enterprises in tourism, creative arts, home-based businesses, overnight visitor accommodation and farm enterprises and markets that showcase local produce.
- Supporting the development of education opportunities, including outdoor education.

Transport

02.03-8

Murrindindi Shire is well served by a variety of highways and major roads including the Hume Freeway the Melba, Maroondah and Goulburn Valley Highways and the Whittlesea-Yea Road.

This road network provides significant social and economic benefits for settlement, business and tourism. Major highway corridors and linkages provide connectivity to metropolitan Melbourne, enhancing potential economic benefits for the municipality. There are further opportunities to enhance existing road networks and public transport, both within the municipality and externally with metropolitan Melbourne and other areas.

Council's strategic directions for transport are to Transport Planning and delivery for Murrindindi Shire will:

- Encourage high quality road and public transport connections.
- Improve transportation and connectivity within the Kinglake Ranges and beyond.
- Support the provision of an east /west link between the Maroondah and Melba Highways in the southern or central section of the municipality.
- Provide adequate car parking for uses and developments in rural towns.

Infrastructure

02.03-9

Community infrastructure

Community infrastructure planning must strive to enhance the liveability, wellbeing, amenity and quality of life within the municipality.

Community infrastructure and services are required for all age demographics. As the population of Murrindindi Shire is spread thinly over a large, diverse area, the development and delivery of community facilities and services has challenges for access and connectivity.

A small cluster of education providers in the municipality offer outdoor and environmental education, leadership programs, corporate training and adventure based activities. This established outdoor education industry in the area is recognised nationally and has further potential for growth.

In planning and delivering community infrastructure, Council's strategic directions for community infrastructure are to will:

- Support each township as the focus of a residential, commercial, community and service hub for its surrounding area.
- Encourage the development of and access to community infrastructure and services to cater for the current and potential future needs of all age demographics.
- Facilitate improved accessibility for the general population and those with special needs.
- Encourage the development of the education industry, particularly the post-secondary, outdoor and environmental education sectors.
- Encourage local ‘place-based’ initiatives that will provide community benefit to individual towns and communities.

Open space

Open space and recreation opportunities are important for the health and well-being of the community. Open spaces exist in most townships, creating quality recreation options for residents and visitors. Outstanding scenic beauty and abundant natural attractions presently support a diverse range of recreational pursuits.

Some significant recreation trails exist in the municipality, including the Great Victorian Rail Trail and trails at Flowerdale, Pheasant Creek to Kinglake and Toolangi, all providing options for walking, cycling and equestrian usage.

~~Council's strategic directions for open space and recreation are to seek to improve its open space network and recreational opportunities by:~~

- ~~Seeking~~ the provision of open space through residential subdivision of land.
- ~~Facilitating~~ the provision of passive and active recreation land, facilities and activities.
- ~~Providing~~ improved walking and cycling connections, and public spaces.
- ~~Providing~~ a range of diverse leisure and recreational opportunities for all ages and interest groups.
- ~~Expanding~~ multi-use recreation trails and networks.
- ~~Creating~~ active and passive recreation spaces, facilities and activities.
- ~~Providing~~ linked recreation reserves and open spaces, including corridors along waterways and river networks.
- ~~Allowing~~ linked recreation corridors to be provided through open space contributions when practical and feasible.
- ~~Encouraging~~ areas of remnant vegetation to be incorporated into public open space.

Development infrastructure

New development in Murrindindi's towns and rural areas requires an appropriate provision of infrastructure to service and support future development.

Infrastructure provision should be coordinated and integrated to meet the requirements of proposed development and may be staged in accordance with development needs.

~~Council's strategic directions for infrastructure are to aim to support the efficient delivery of infrastructure by:~~

- ~~Encouraging~~ a consistent approach to the design and construction of infrastructure across the municipality.
- ~~Encouraging~~ improved infrastructure and services to support existing business and continued business growth.
- ~~Ensuring~~ that any new subdivision or development is provided with an adequate level and standard of infrastructure, to the standards of the relevant service authority.
- ~~Supporting~~ new telecommunications infrastructure.

Gaming

Gaming is part of Murrindindi Shire's recreation and entertainment offer, but for a significant few it causes serious personal, financial and social effects. Murrindindi Shire's current density of electronic machines and choice of gaming venues is low in the regional context. The strategic context and demographic characteristics of the Shire reveal that it is sensitive to unacceptable social costs arising from increases in gaming.

~~Council's strategic directions for aims to reduce harm to the community from problem gaming are to bling by:~~

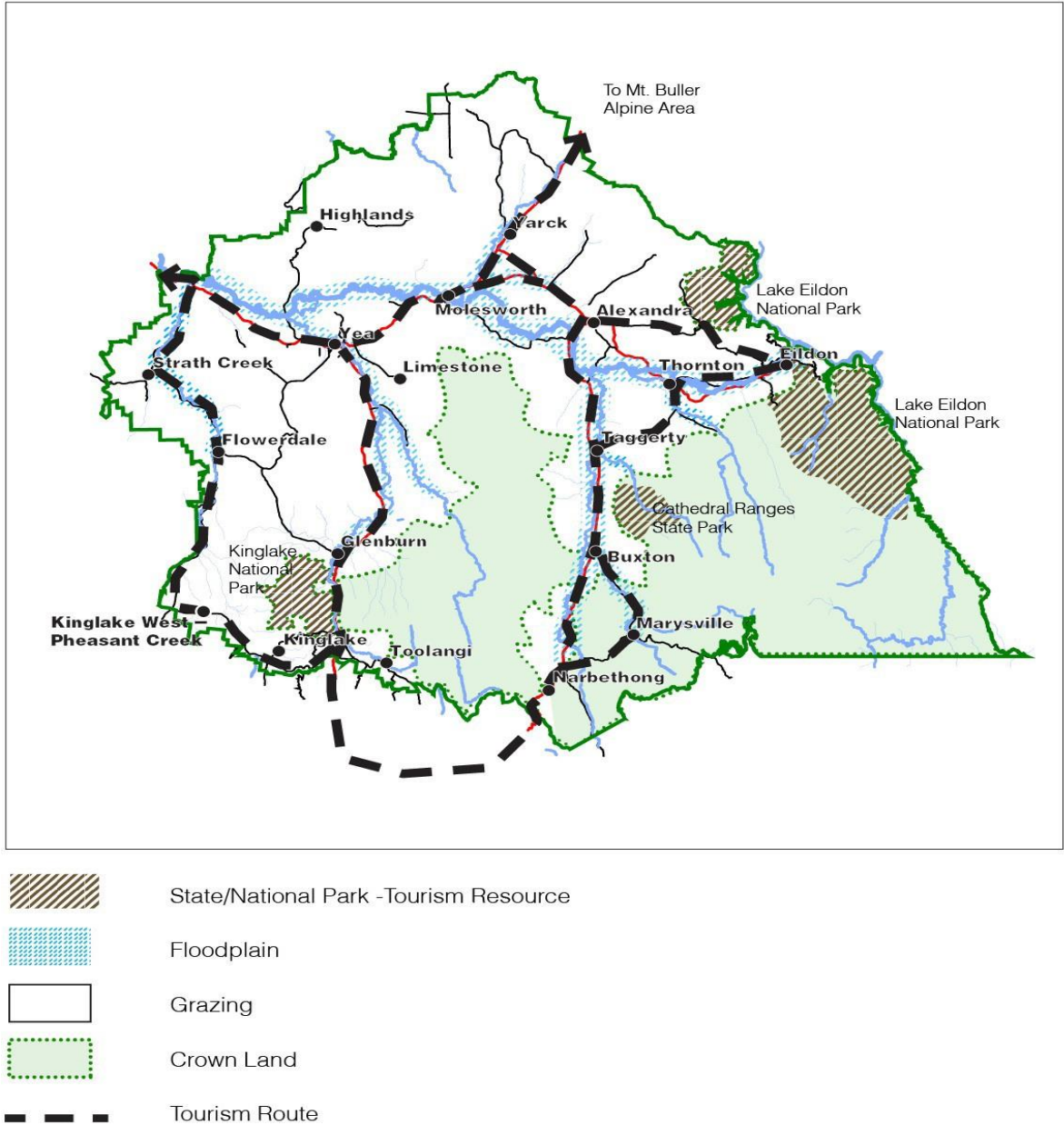
- Ensure~~ing~~ that any new gaming venues or proposals to increase ~~in~~ electronic gaming machines take into account the possible health, social and economic consequences for the community.

02.04

STRATEGIC FRAMEWORK PLANS

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Murrindindi Shire Strategic Framework Plan



Map needs:

A settlement hierarchy included

Road labels

Red line not listed in legend - key roads?

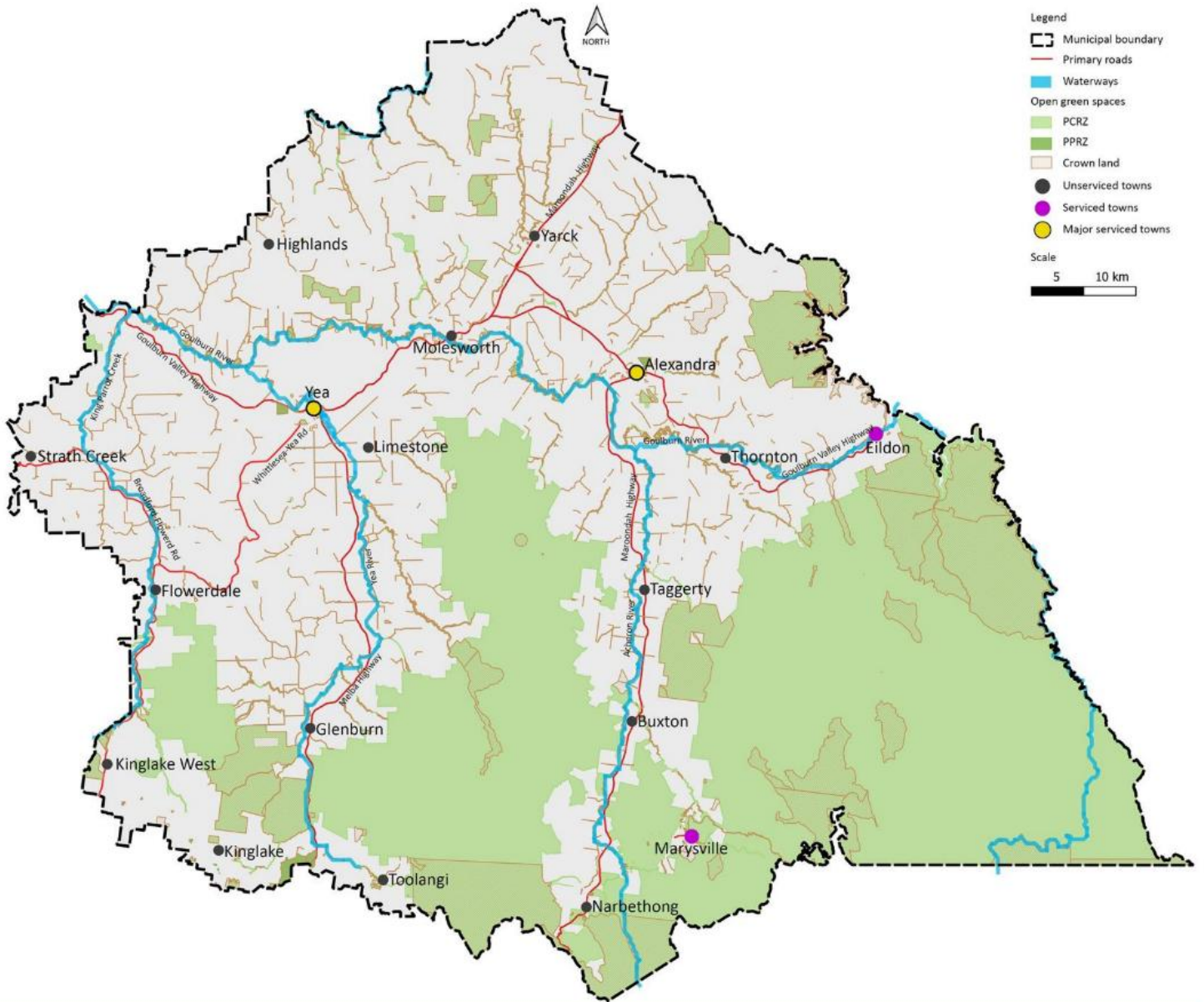
Waterways not in legend and needs labels

Green line is not in legend

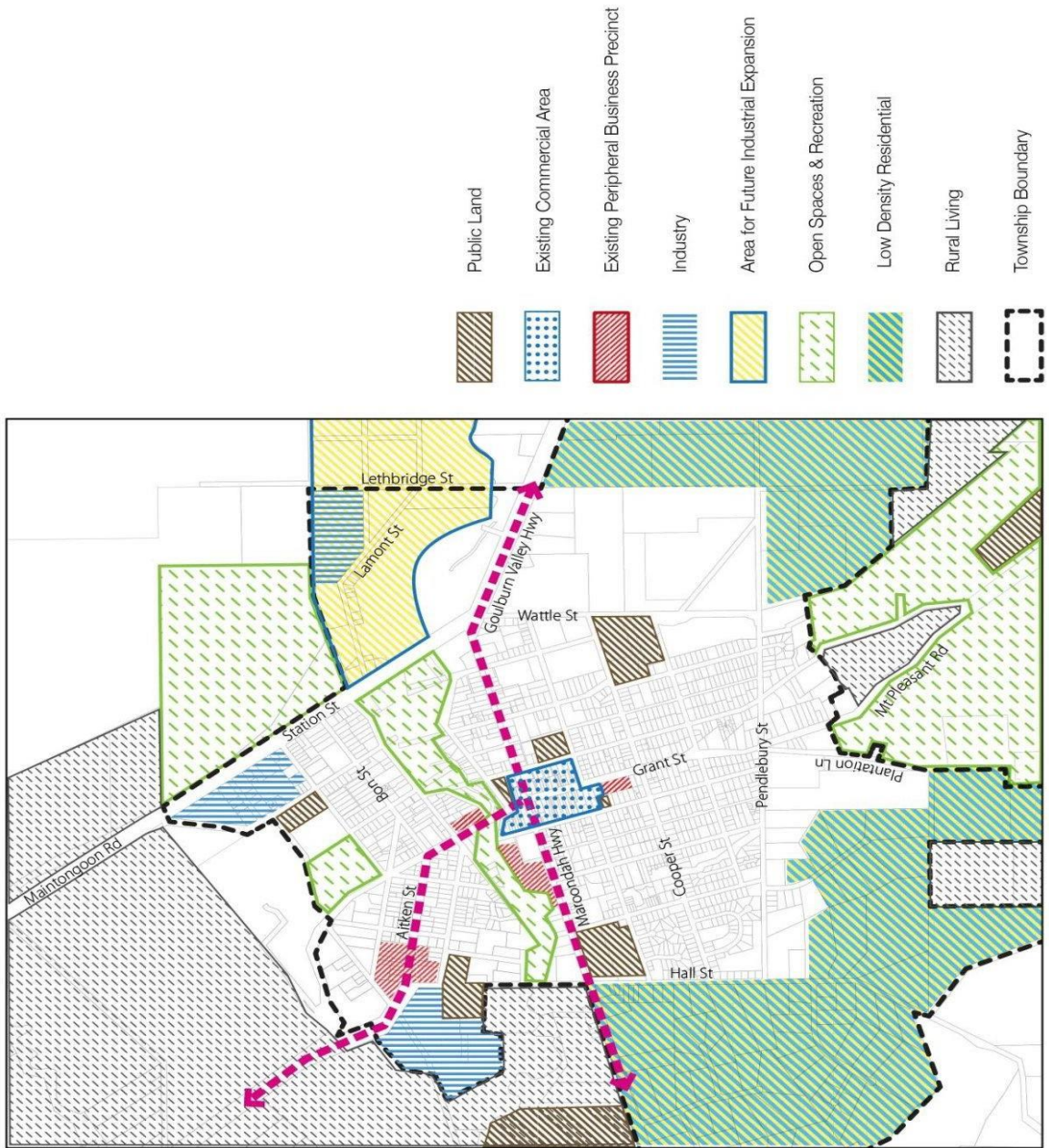
No scale or orientation

No LGA boundary in legend

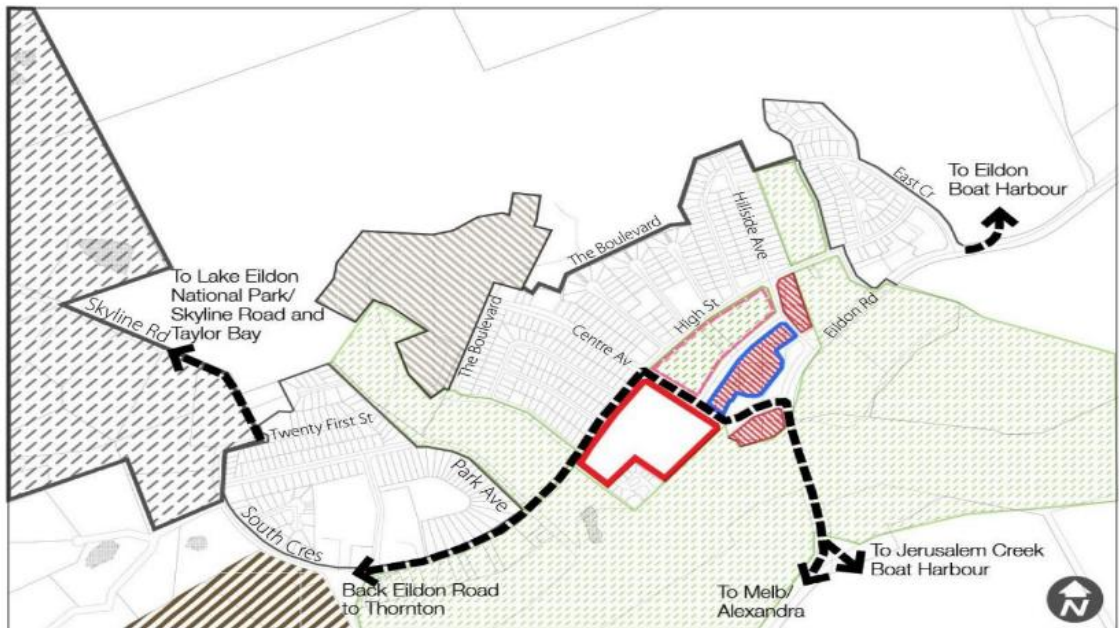
MURRINDINDI PLANNING SCHEME









Alexandra Framework Plan

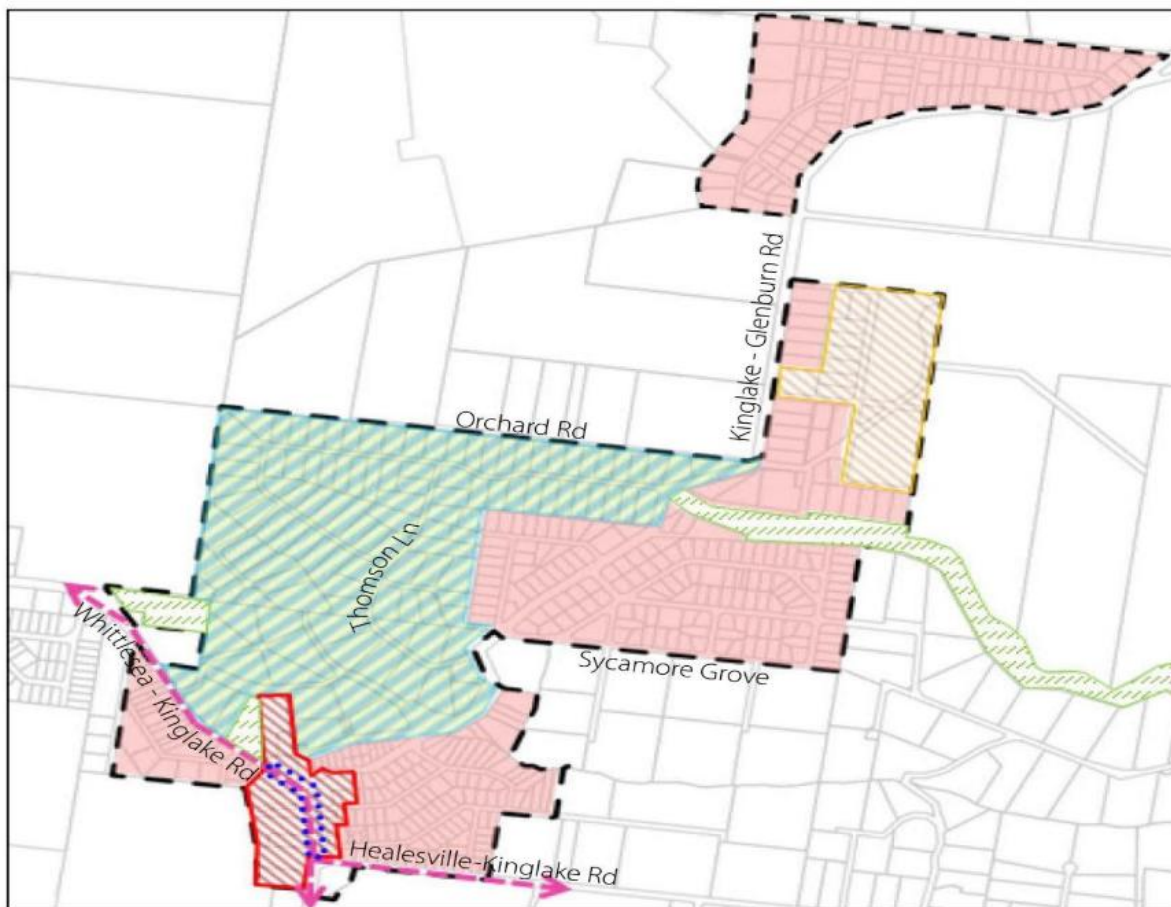


Eildon Framework Plan



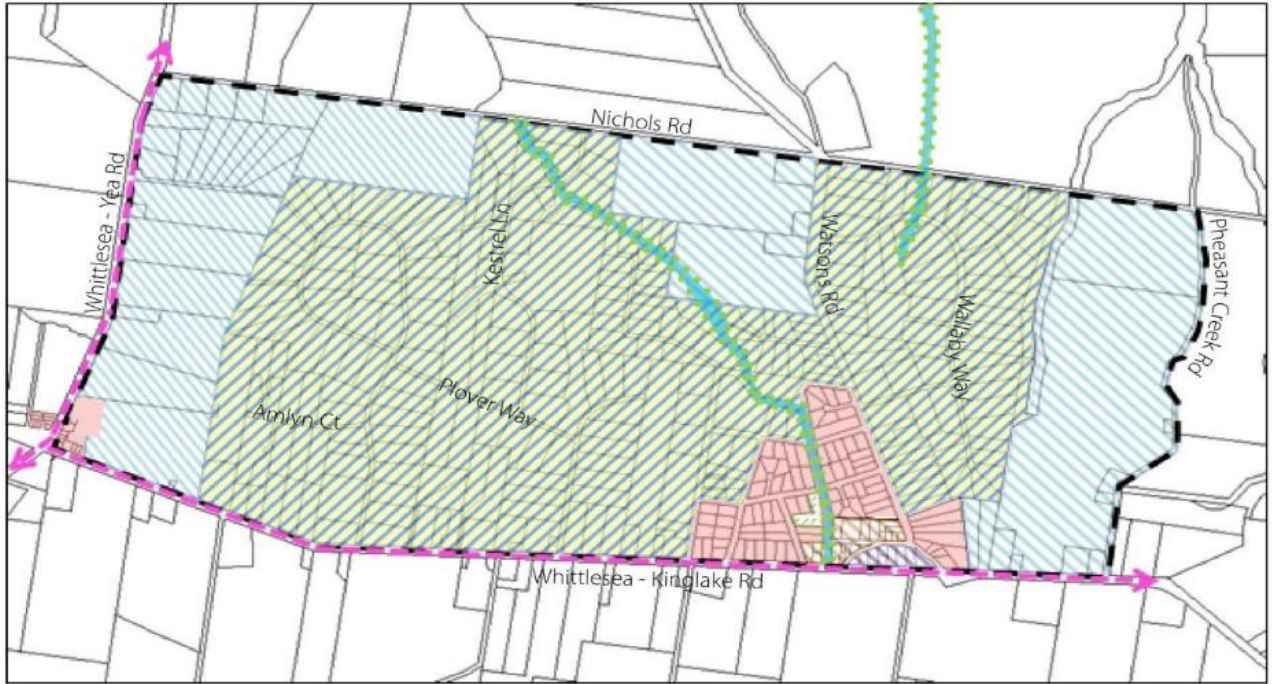
-  Education Precinct
-  Future Residential
-  Business Precinct
-  Further Develop the Commercial centre with a range of road, pedestrian and other works
-  Open Spaces & Recreation
-  Further Develop Village Green with a range of traffic, pedestrian and landscape works
-  Rural Living
-  Public Use (Service & Utility)

Kinglake Framework Plan



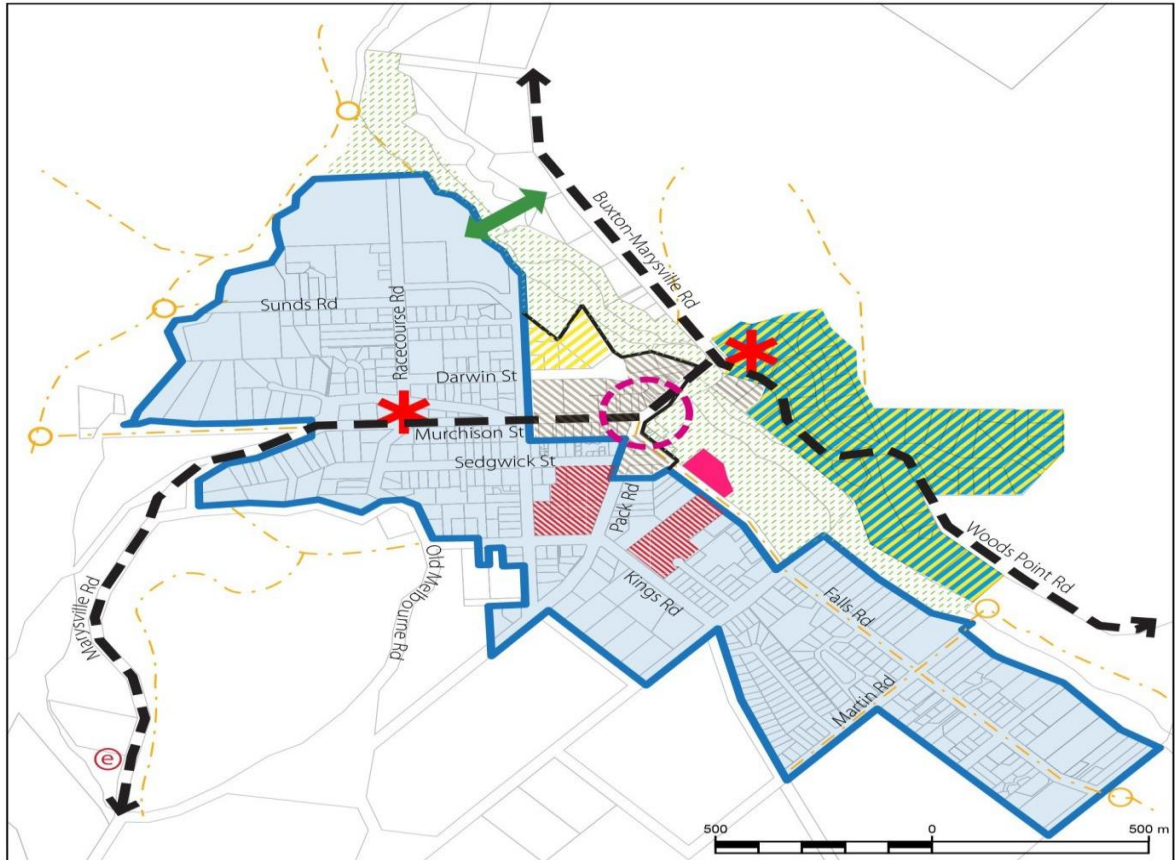
- Encourage infill development within Township Zone
- Infill development where appropriate in Low Density Residential Zone
- Encourage more intensive infill development within Commercial 1 Zone
- Public open space & recreation
- Kinglake Primary School
- Settlement boundary
- Streetscape works













Kinglake West - Pheasant Creek Framework Plan



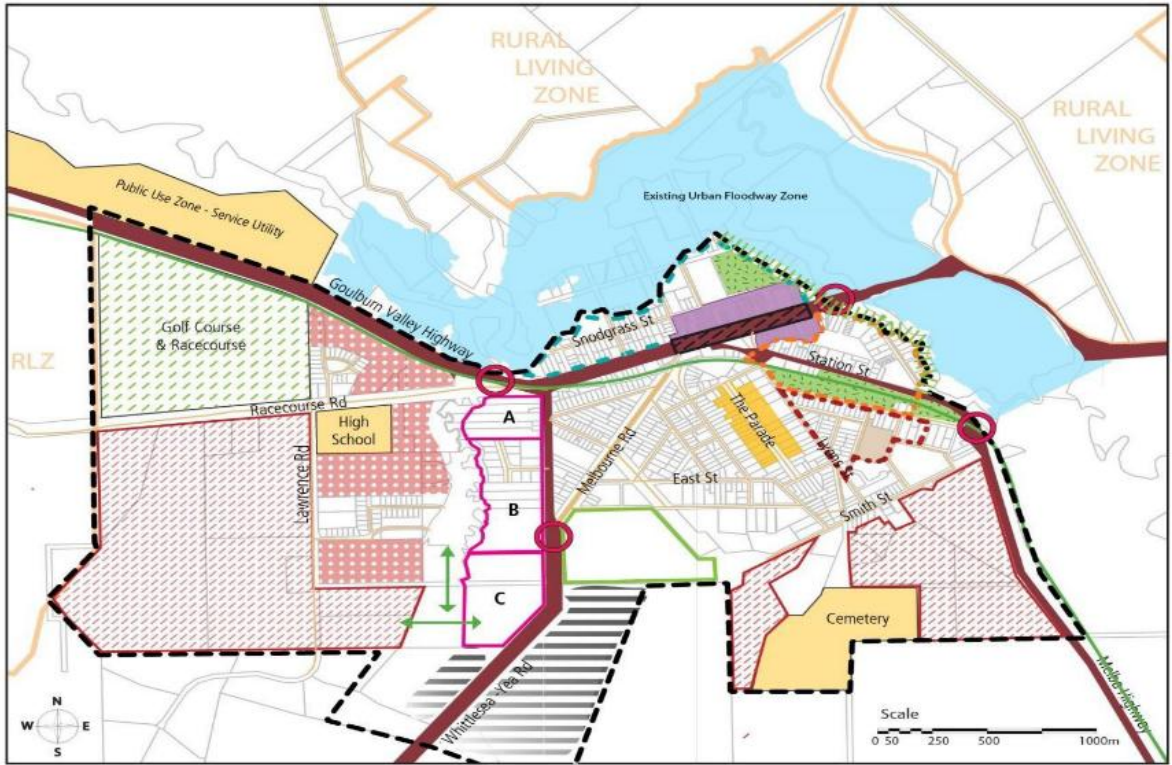
-  Proposed Commercial 1 Zone
-  Potential Industrial 3 Zone
-  Encourage infill development in the Township Zone
-  Support sustainable development in Rural Living Zone
-  Facilitate appropriate infill development in Low Density Residential Zone
-  Public open space & recreation
-  Settlement boundary
-  Waterway rehabilitation



















Marysville Framework Plan



- | | | | |
|---|---|---|--|
|  | Business |  | Improve Pedestrian & Trail Network & Connections |
|  | Low-Density Residential |  | Potential Landscaped approach area |
|  | Create Iconic Heart / Protect & enhance oak trees in streetscape |  | Use of Guest House and Major Accommodation Sites for Tourist Use |
|  | Consolidate facilities at community hub |  | Further Investigation Into Most Appropriate Location for Second River Crossing |
|  | Enhance Steavenson River Public Space Spine |  | Future Commercial Precinct Expansion |
|  | Encourage Development within Existing Areas to Strengthen Town centre | | |
|  | Town Entry Opportunities | | |

Yea Framework Plan



-  **Township boundary** - Boundary flexible where proposals for serviced urban development are strategically justified
-  **Serviced residential development (GRZ)** - Encourage sustainable subdivision design and lot size diversity in new residential areas
-  **Low Density Residential Zone & Development (LDRZ)** - Low Density Residential Zone with development based on land characteristics and services. Subdivision minimums are 2,000 m² with reticulated sewerage and 4,000 m² with onsite wastewater retention and treatment.
-  **Town Centre** - Existing Commercial 1 Zone (C1Z)
-  **Prepare traffic management plan** for High Street (between Giffard & Hood Streets) to implement single lane proposal and address car parking, pedestrian movement and public spaces. Facilitate discussion with Vic Roads
-  **Snodgrass Street** - Prepare Snodgrass St Precinct Plan
-  **The Parade precinct** - Encourage new development that respects heritage and town character and retains significant vistas
-  **Existing recreation land** - Public Park and Recreation Zone
-  **Nature park** - Potential Nature Park on vegetated slopes of former Rifle Range. Rezone to Public Conservation and Resource.
-  **Yea industrial area:**
A: Rezone from Industrial 1 to General Residential
B: Retain Industrial Zone
C: Rezone from Industrial to General Residential
-  **Residential expansion** - Longer term residential expansion opportunities along Whittlesea - Yea Road
-  **Oliver/Lyon Streets Precinct** - Encourage medium density housing and high design standards for new housing. Rezone Butter Factory site to Mixed Use
-  **Station Street Precinct** - Consolidate precinct's role with tourism recreation and community focus. Encourage tourism, retail & accommodation
-  **River and floodplain interface** - Create access links from urban environment to river and floodplain
-  **Open space network** - Integrate open space (walking/cycling) paths links with residential opportunities for land adjacent to Whittlesea-Yea Road
-  **Rail trail** - Promote Yea as a key destination on the Rail Trail
-  **Town Gateways** - Progressively implement Yea UDF recommendations with priority on planting themes
-  **Mixed Use Zone** - Encourage residential and commercial use and development

11.01-1L Settlement — Murrindindi townships and settlements

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Policy application

This policy applies to land within townships identified in the maps to this clause, and the municipality's settlements.

Objective

To achieve a sustainable urban form for townships and settlements by containing future development within the township boundaries shown on the township and settlement plans.

Strategies

Provide for urban development and economic growth in the townships of Alexandra, Yea, Eildon and Marysville based on township boundaries, structure plans and framework plans.

Promote Alexandra and Yea as the focus for the municipality's population growth.

Promote commercial and industrial development in Alexandra and Yea.

Locate new dwellings and residential subdivisions within township boundaries.

Provide for urban infill and consolidation opportunities in townships that utilise existing infrastructure.

Encourage development in townships and settlements to be respectful of heritage, environmental and neighbourhood character elements.

Encourage limited development in settlements that are not identified for restructuring.

Support the recovery and rebuilding of communities ~~affected by the 2009 bushfires.~~

~~Support and~~ the rebuilding of destroyed homes and damaged infrastructure from the 2009 bushfires.

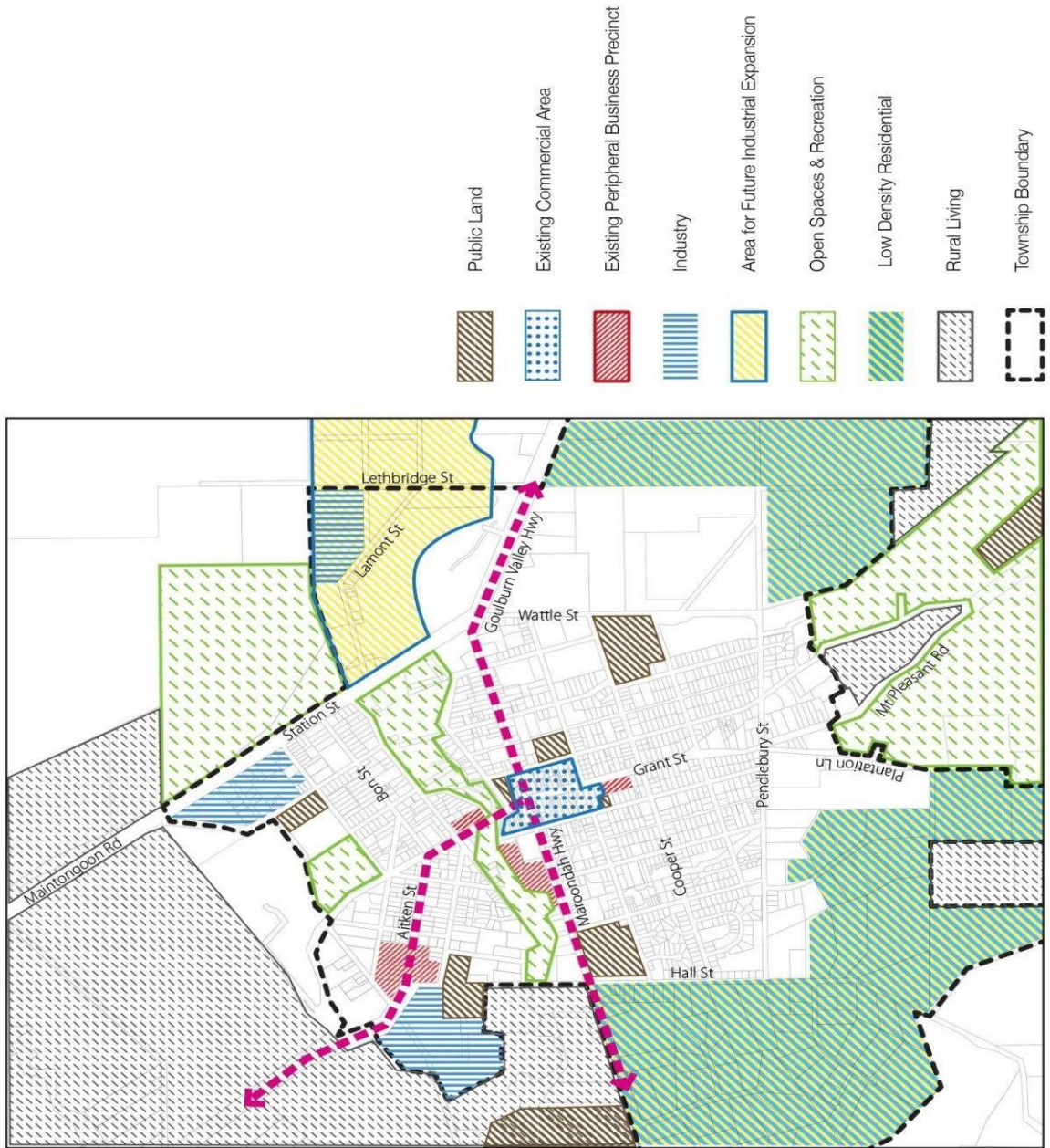
Support the re-establishment of commercial centres and opportunities for local employment arising from the 2009 bushfires.

Policy document

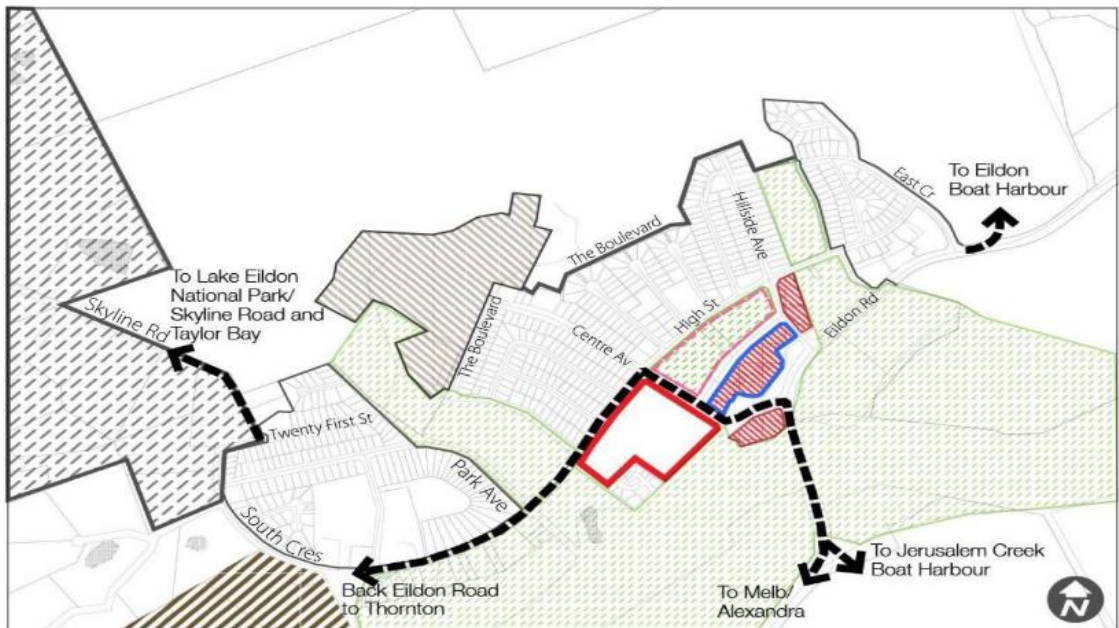
Consider as relevant:









- Murrindindi Shire Housing and Settlement Strategy (Navy Blue Planning Pty Ltd, 2022)

Alexandra Framework Plan

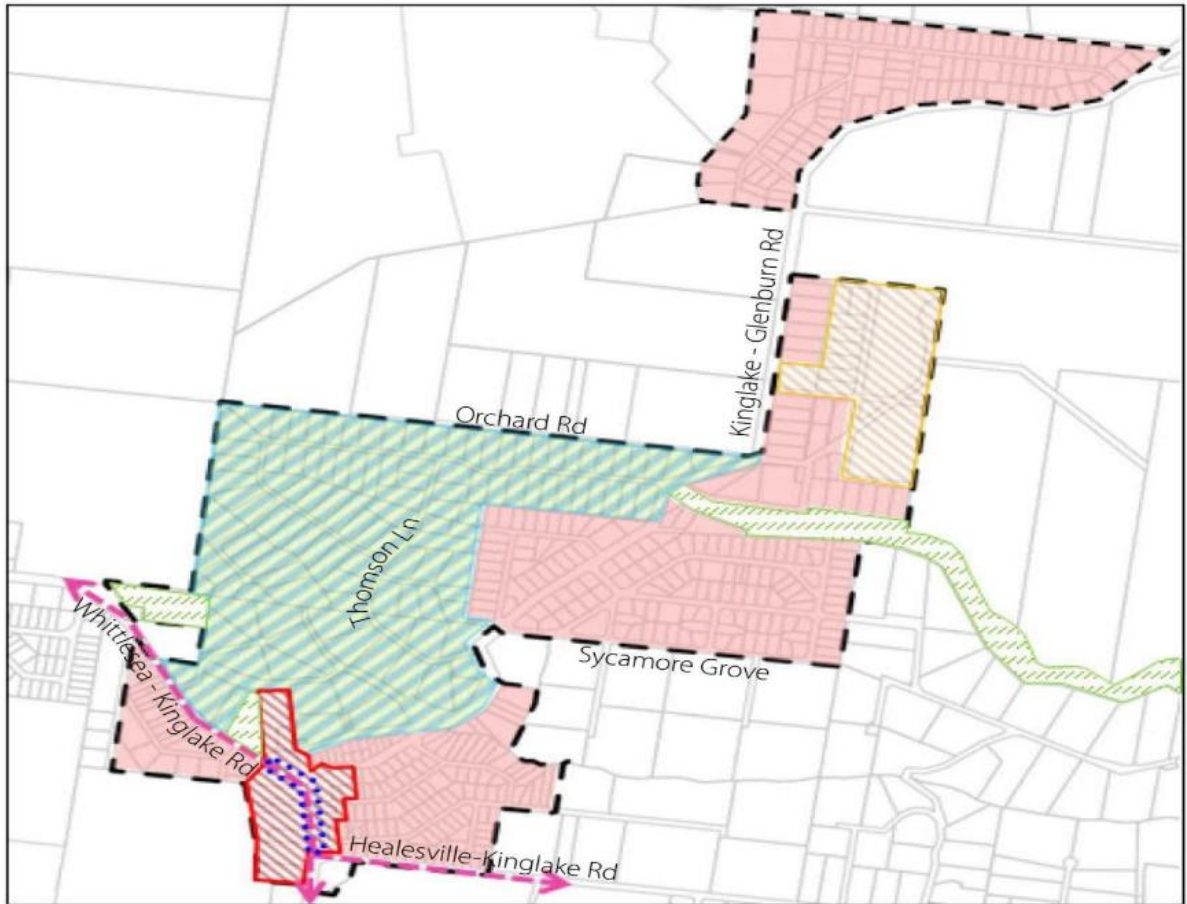


Eildon Framework Plan



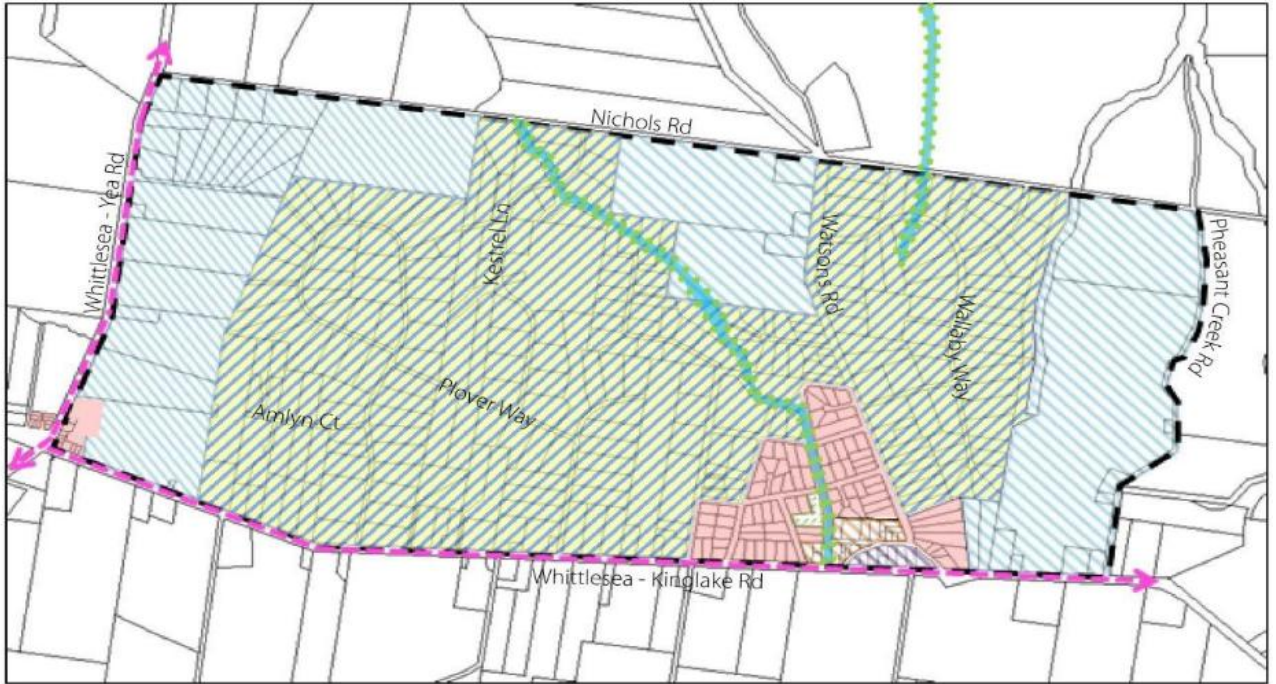
-  Education Precinct
-  Future Residential
-  Business Precinct
-  Further Develop the Commercial centre with a range of road, pedestrian and other works
-  Open Spaces & Recreation
-  Further Develop Village Green with a range of traffic, pedestrian and landscape works
-  Rural Living
-  Public Use (Service & Utility)

Kinglake Framework Plan



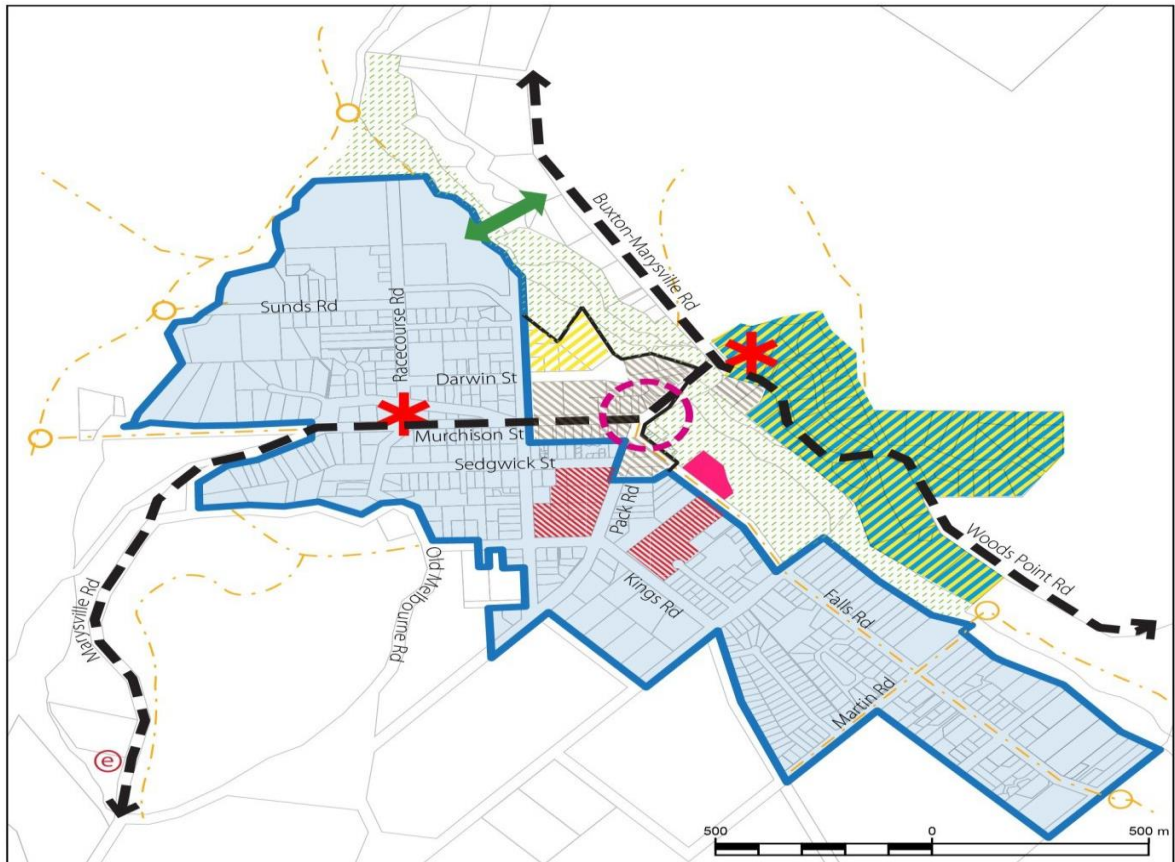
- Encourage infill development within Township Zone
- Infill development where appropriate in Low Density Residential Zone
- Encourage more intensive infill development within Commercial 1 Zone
- Public open space & recreation
- Kinglake Primary School
- Settlement boundary
- Streetscape works













Kinglake West - Pheasant Creek Framework Plan



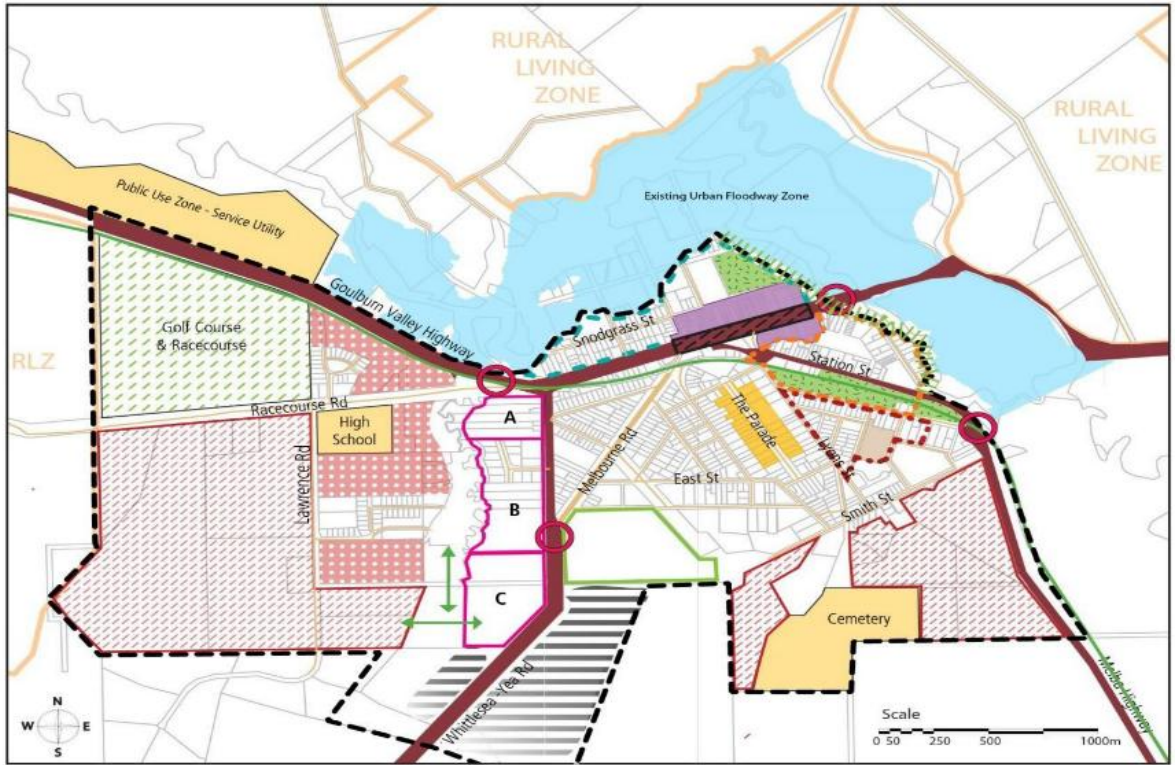
-  Proposed Commercial 1 Zone
-  Potential Industrial 3 Zone
-  Encourage infill development in the Township Zone
-  Support sustainable development in Rural Living Zone
-  Facilitate appropriate infill development in Low Density Residential Zone
-  Public open space & recreation
-  Settlement boundary
-  Waterway rehabilitation



















Marysville Framework Plan



- | | | | |
|---|---|---|--|
|  | Business |  | Improve Pedestrian & Trail Network & Connections |
|  | Low-Density Residential |  | Potential Landscaped approach area |
|  | Create Iconic Heart / Protect & enhance oak trees in streetscape |  | Use of Guest House and Major Accommodation Sites for Tourist Use |
|  | Consolidate facilities at community hub |  | Further Investigation Into Most Appropriate Location for Second River Crossing |
|  | Enhance Steavenson River Public Space Spine |  | Future Commercial Precinct Expansion |
|  | Encourage Development within Existing Areas to Strengthen Town centre | | |
|  | Town Entry Opportunities | | |

Yea Framework Plan



-  **Township boundary** - Boundary flexible where proposals for serviced urban development are strategically justified
-  **Serviced residential development (GRZ)** - Encourage sustainable subdivision design and lot size diversity in new residential areas
-  **Low Density Residential Zone & Development (LDRZ)** - Low Density Residential Zone with development based on land characteristics and services. Subdivision minimums are 2,000 m² with reticulated sewerage and 4,000 m² with onsite wastewater retention and treatment.
-  **Town Centre** - Existing Commercial 1 Zone (C1Z)
-  **Prepare traffic management plan** for High Street (between Giffard & Hood Streets) to implement single lane proposal and address car parking, pedestrian movement and public spaces. Facilitate discussion with Vic Roads
-  **Snodgrass Street** - Prepare Snodgrass St Precinct Plan
-  **The Parade precinct** - Encourage new development that respects heritage and town character and retains significant vistas
-  **Existing recreation land** - Public Park and Recreation Zone
-  **Nature park** - Potential Nature Park on vegetated slopes of former Rifle Range. Rezone to Public Conservation and Resource.
-  **Yea industrial area:**
A: Rezone from Industrial 1 to General Residential
B: Retain Industrial Zone
C: Rezone from Industrial to General Residential
-  **Residential expansion** - Longer term residential expansion opportunities along Whittlesea - Yea Road
-  **Oliver/Lyon Streets Precinct** - Encourage medium density housing and high design standards for new housing. Rezone Butter Factory site to Mixed Use
-  **Station Street Precinct** - Consolidate precinct's role with tourism recreation and community focus. Encourage tourism, retail & accommodation
-  **River and floodplain interface** - Create access links from urban environment to river and floodplain
-  **Open space network** - Integrate open space (walking/cycling) paths links with residential opportunities for land adjacent to Whittlesea-Yea Road
-  **Rail trail** - Promote Yea as a key destination on the Rail Trail
-  **Town Gateways** - Progressively implement Yea UDF recommendations with priority on planting themes
-  **Mixed Use Zone** - Encourage residential and commercial use and development

12.05-2L Murrindindi significant landscapesXX/XX/20XX
CXXmuri**Policy application**

This policy applies to land shown on the Landscapes character areas and significance map.

Objective

To protect and enhance the unique features of the landscape character areas of the municipality identified as the Dividing Range Forests, Agricultural Valleys, Rolling Pastures and Strathbogie Highlands.

Strategies

Ensure development responds to the landscape character area identified in attached landscape character types and significance map.

Manage land use, development and infrastructure to:

- Conserve and enhance significant landscapes, views and vantage points.
- Maintain sequences of views from key corridors.

Encourage retention of native vegetation and revegetation that contributes to the significant landscapes particularly on escarpments, ridgelines and at vantage points.

Maintain significant landscapes and views for the important contribution they make to the local and regional tourism economy.

Design development to complement the character of the surrounding landscape with consideration of form, construction materials, colours and finishes, and design detailing.

Site and design development in the foreground of identified significant views to minimise visual intrusion through low building heights, minimal building footprints, recessive colours and materials to the setting, and integration with vegetation.

Site large scale development to avoid impacting on significant landscapes and views, with particular consideration given to the foreground of identified significant views, that are particularly sensitive to visual intrusion.

Policy guidelines

Consider as relevant:

- Locate new development:
 - Within existing clusters of buildings.
 - Away from visually prominent locations such as ridge lines and hill faces.
 - Away from identified landscape features.
 - Among established vegetation and/or screened with substantial landscaping of indigenous species.
 - Following the contours and natural form of the landscape.
 - Minimising visibility from identified significant viewing locations, including major road corridors.

13.02-1L BUSHFIRE PLANNING

11/07/2019
C65muri
XX/XX/20XX
CXXmuri

Strategies

Support:

~~the~~ The rebuilding of communities, destroyed homes and damaged infrastructure affected by the 2009 bushfires in a way that mitigates bushfire risk.

~~the~~ The re-establishment of commercial centres affected by the 2009 bushfires in a way that mitigates bushfire risk.

~~in a way that mitigates bushfire risk.~~

~~Locate, design and m~~ Manage use and development to reduce the risk to human life, property and community infrastructure from bushfire to an acceptable level of 12.5 BAL.

Provide necessary bushfire protection measures, including through the:

- ~~Design and construction of buildings.~~
- ~~the e~~ Creation of defensible space.
- ~~the p~~ Provision of a dedicated fire-fighting water supply.
- ~~and the n~~ Need for fire authority access to and on the land.

Implement ~~and maintain~~ necessary bushfire protection measures in conjunction with the ongoing use of the land.

Facilitate the expansion of existing settlements, new subdivisions and uses that cater for vulnerable people only when:

- The risk to life, property and community infrastructure from bushfire is reduced to an acceptable level of 12.5 BAL.
- The need for future occupants to implement and maintain bushfire protection measures is minimised through the careful location, siting and design of new development.
- Emergency management arrangements, considered in consultation with the relevant authorities, can be practically established and implemented, including through the actions of the emergency services, operators and future land owners.
- The ability for people to access safer locations and locations of last resort has been established.

Policy guidelines

Consider as relevant:

- The condition, location and route of available vehicle access and its suitability for safe and efficient egress before and during a bushfire.
- Provision of adequate water storage for rural dwellings based on the, as follow ings:
 - Being proximate to the dwelling requiring the water storage.
 - Having a minimum storage capacity of 55,000 litres of water of which a minimum reserve of 10,000 litres is to be held at all times for firefighting purposes.
 - Being fitted with a gate valve and a ~~64mm, 3 thread round male coupling-75mm Storz fitting~~ to CFA specifications to enable quickconnection and full utilisation of all water.
 - Being environmentally unobtrusive or screened with muted colours and tones.

13.07-1L ALEXANDRA INDUSTRIAL PRECINCT

~~11/07/2019~~

~~C65muri~~

~~XX/XX/20XX~~

~~CXXmuri~~

Policy application

This policy applies to ~~land-zoned~~ Industrial 2 zoned land in Alexandra.

Strategies

Protect existing and future industry from the encroachment of residential, sensitive or other non-compatible uses.

Provide for the orderly development, continued operation and expansion of industry.

Provide separation distances between industrial and residential uses and developments.

Protect the amenity of existing dwellings from industrial expansion.

. .

14.01-1L Dwelling excisions in rural areas

11/07/2019
C65muri
XX/XX/20XX
CXXmuri

Policy application

This policy applies to all land within the Farming Zone.

Objective

To limit ~~excisions~~ the construction of new dwellings and the subdivision of existing dwellings in rural areas.

Strategies

Discourage subdivision that is likely to lead to a concentration of lots that would:

- ~~Change~~ the general rural use and character.
- ~~and~~ Limit the productive capacity of ~~the rural~~ land.

Maintain an adequate distance around a dwelling to limit impacts of agricultural activity having regard to the nature of the activity, its potential for impact and opportunity for mitigation measures.

Discourage subdivision within proclaimed water supply catchment areas to protect water quantity and quality.

Demonstrate sustainable use of the land, consideration of environmental constraints and protection and enhancement of the natural environment.

Support small lot subdivisions or any excision of an existing dwelling that either:

- Protects and maintains the productive agricultural capacity of land.
- Supports farm consolidation.
- Supports the conservation of an identified heritage place to which the Heritage Overlay applies.

Policy guidelines

Consider as relevant:

- ~~Limiting subdivision for an additional lot to excisions so that~~ no more than one lot ~~may be excised~~ from any lot that existed on 6 May 1999.
- ~~Discourage excisions~~ Limit subdivision of existing dwellings in rural areas unless they:
 - ~~Will~~ Have a relationship with and will be required for the continued operation of the rural use of the land.
 - Are compatible with and will not have an adverse impact on the potential for ~~farming and other~~ rural land uses on the land, adjoining land and the general area.
 - Will meet the principle of ‘right to farm’ in rural areas, where existing agricultural and rural uses in the area have a legal right to continue.
- ~~Encourage an excision~~ Subdivision of an existing dwelling ~~should~~ provide:
 - A maximum area of 2 hectares for the lot with the existing house located on it.
 - An area of at least 40 hectares for the balance of the land.
 - A minimum setback of 30 metres from the dwelling on the land to be excised from any agricultural activity or rural industry on any adjoining land.

14.02-1L Murrindindi catchment management and planning

XX/XX/20XX

CXXmuri

11/07/2019

C65muri

Policy application

This policy applies to all land shown on the map to this clause.

Strategies

Ensure that where a dwelling or another type of residential development is constructed and it is not connected to reticulated sewerage that it meets the requirements of the Murrindindi Domestic Wastewater Management Plan, 2020.

Policy guidelines

Consider as relevant:

- Where subdivision will create lots that are between 0.4 – 1 hectare, a land capability assessment must meet the relevant requirements of EPA publication 746.1 Land Capability Assessment for Onsite Domestic Wastewater Management, March 2003 and the Septic Tanks Code of Practice, March 2003.

Murrindindi catchment management and planning map

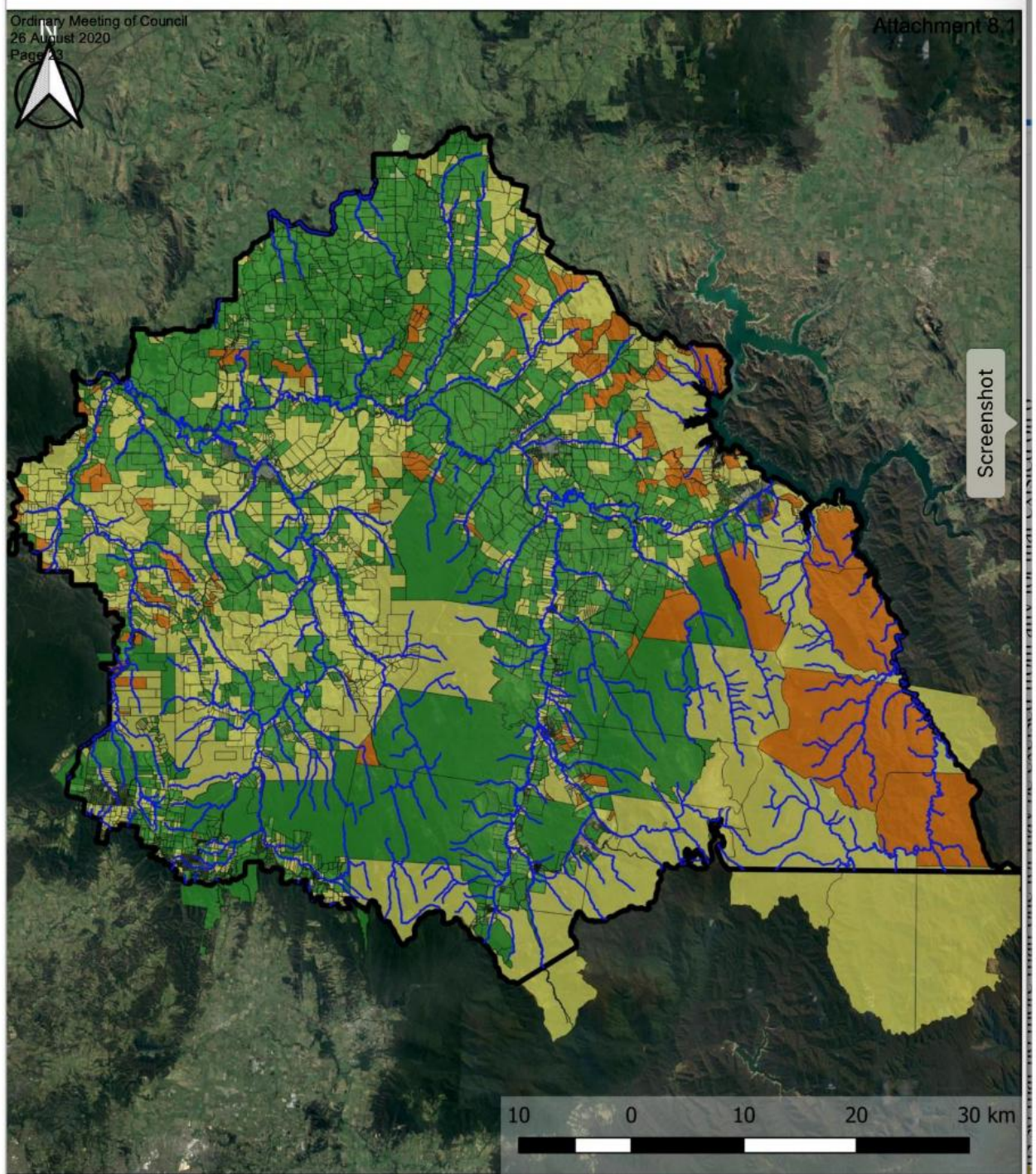


Figure 1: Murrindindi Land Capability Hazard Classification Map

- | | |
|-------------|-------------------------------|
| LGA | LC Risk Classification |
| Watercourse | Non CoS |
| | Very High Hazard |
| | High Hazard |
| | Medium Hazard |
| | Low Hazard |



15.02-1L Environmentally sustainable development

XX/XX/20XX
CXXmuri

Policy application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable development that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.

Energy performance

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).

Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.

Reduce indoor air pollutants by encouraging use of low-toxicity materials.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

Waste management

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reuseable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

Policy guidelines

Consider as relevant:

Residential

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 1 - 9 dwellings.
- A building used for accommodation other than dwellings.

A Sustainability Management Plan including an assessment using BESS/Green star, STORM/MUSIC or other methods) for:

- 10 or more dwellings.
- A building used for accommodation other than dwellings with a value over \$2 million.

Non-residential

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

- A non-residential building with a gross floor area of more than 500 sqm.
- An extension to an existing non-residential building creating more than 300 sqm of additional gross floor area (excluding outbuildings).
- In an Industrial 1 Zone, construction of a building or construction or carrying out works with an estimated cost of up to \$1,000,000.
- In Commercial 1 Zone, construction of a building or construction or carry out works with an estimated cost of up to \$500,000.

Mixed use

Applicable assessments for the residential and non-residential components of a development.

Policy documents

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning Process* (IMAP, 2015)
- *Built Environment Sustainability Scorecard 'BESS'* (Council Alliance for a Sustainable Built Environment 'CASBE', 2015)
- *Green Star* (Green Building Council of Australia)
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC'* (Melbourne Water)
- *Nationwide House Energy Rating Scheme 'NatHERS'* (Department of Climate Change and Energy Efficiency)
- *Stormwater Treatment Objective - Relative Measure 'STORM'* (Melbourne Water)
- *Urban Stormwater Best Practice Environmental Management Guidelines* (Victorian Stormwater Committee, 1999)
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide* (Sustainability Victoria, 2018).

Commencement

This policy does not apply to applications received by the responsible authority before XX/XX/20XX (insert date of Amendment CXXmuri gazettal).

Expiry

This policy will expire when it is superseded by a comparable provision of the Victoria Planning Provisions.

15.03-1L Heritage Conservation

11/07/2019
C65muri
XX/XX/20XX
CXXmuri

Policy application

This policy applies to all land affected by the Heritage Overlay.

Strategies

Discourage the total demolition of Significant or Contributory heritage places unless:

- The building is structurally unsound and cannot feasibly be repaired without undertaking significant alterations that would diminish the integrity of the building.
- The proposed replacement building is complementary in form, scale and materials to the elements of primary significance, but is clearly contemporary in approach.

Support the partial demolition of ~~part of a S~~significant or ~~C~~contributory place where its demolition will not adversely affect the significance of the place and will either:

- Assist in the long term conservation or maintenance of the place.
- Support the viability of the existing use of the place or facilitate a new use that is compatible with the on-going conservation of the building
- Upgrade the building to meet contemporary living standards such as improving energy efficiency.

Encourage new development that maintains and enhances the setting of heritage places and the visual relationship between heritage places, including views of a heritage place from public places.

Encourage the removal of non-significant alterations or additions particularly where this would assist in restoring the significance of the place.

Support new development including alterations or additions to existing heritage places that:

- Creatively interpret and respond to its historic context.
- Is visually recessive and compatible in terms of its scale, siting, design, form and materials.
- Does not distort the historic evidence provided by heritage places by simply copying or reproducing historic styles or detailing.
- Responds to special features such as views, vistas, mature vegetation and landmarks.
- Includes landscaping that will enhance the historic cultural landscape character of a heritage place.

Encourage the replacement of non-contributory buildings with new development that responds more positively to the historic context provided by any nearby heritage place.

Conserve historic public realm features, such as basalt gutters, unmade roadside verges and mature street trees.

Support subdivision that ~~is~~:

- Is ~~C~~compatible with the historic subdivision pattern found in an area.
- Maintains significant fabric associated with a heritage place.

Limit signs in number and to those with traditional forms and locations on buildings.

Protect significant trees so that they will survive in good condition according to their normally expected lifespan.

Design ~~future~~ development adjacent to a significant tree so that ~~it will not have a detrimental impact upon~~ the integrity and condition of the tree is protected.

Support the continued original use of buildings by upgrading to meet present day requirements and standards, including improved energy efficiency.

Allow an alternative use when the original use of a building is no longer viable, or in accordance with a Conservation Management Plan.

16.01-
2.01L
11/07/2019
C65muri
XX/XX/20XX
CXXmuri

Residential development in serviced ~~and non-serviced~~ towns

Residential development in serviced towns

Policy application

This policy applies to ~~the~~ 'serviced towns' of Alexandra, Yea, Eildon and Marysville as identified in Clause 02.03. ~~These towns are Alexandra, Yea, Eildon and Marysville.~~

Objective

To locate housing in serviced towns that offer a range of community and physical services.

Strategies

Facilitate residential expansion in established, serviced townships that have potential for further growth, in particular Yea and Alexandra.

Encourage a diversity of housing including higher density housing, retirement villages and residential aged care facilities.

Encourage housing in well serviced areas to maximise infrastructure provision.

Facilitate housing in locations that ensure a high level of community safety, particularly from bushfire.

Policy document

Consider as relevant:

- Housing and Settlement Strategy (Murrindindi Shire Council, 2022)

Residential development in non-serviced towns

Policy application

~~This policy applies to 'other townships and settlements' as identified in Clause 2.03. These smaller townships and settlements include Buxton, Flowerdale, Glenburn, Molesworth, Narbethong, Strath Creek, Taggerty, Taylor Bay, Thornton, Toolangi and Yarek.~~

Objective

~~To manage the residential growth of smaller townships and settlements.~~

Strategies

~~Support new and expanded residential and rural living development in smaller townships and settlements.~~

~~Encourage residential and rural living development that protects areas of environmental value and avoids areas of environmental hazard, particularly bushfire.~~

~~Enforce clear settlement boundaries that take into consideration local character, bushfire risk, and the impacts on other land uses, particularly agriculture.~~

~~Facilitate the restructuring of old and inappropriate subdivisions.~~

~~Support the residential redevelopment of settlements within the Kinglake Ranges, while having regard to environmental values and constraints of the area.~~

Policy guideline

~~Consider as relevant:~~

- ~~— Setting back any rural living subdivision and development on the western side of Pheasant Creek Road, Pheasant Creek a minimum of 300 metres from the existing broiler farm on the eastern side of Pheasant Creek Road, Pheasant Creek to minimise amenity impacts between both uses.~~

**16.01-
2.02L**

XX/XX/20XX
CXXmuri

Residential development in non-serviced towns

Policy application

This policy applies to 'other townships and settlements' as identified in Clause 2.03. These smaller townships and settlements include Buxton, Flowerdale, Glenburn, Molesworth, Narbethong, Strath Creek, Taggerty, Taylor Bay, Thornton, Toolangi and Yarck.

Objective

To manage the residential growth of smaller townships and settlements.

Strategies

Support new and expanded residential and rural living development in smaller townships and settlements.

Encourage residential and rural living development that protects areas of environmental value and avoids areas of environmental hazard, particularly bushfire.

Establish clear settlement boundaries that take into consideration local character, bushfire risk, and the impacts on other land uses, particularly agriculture.

Facilitate the restructuring of old and inappropriate subdivisions.

Support the residential redevelopment of settlements within the Kinglake Ranges, while having regard to environmental values and constraints of the area.

Policy guideline

Consider as relevant:

- Setting back any rural living subdivision and development on the western side of Pheasant Creek Road, Pheasant Creek a minimum of 300 metres from the existing broiler farm on the eastern side of Pheasant Creek Road, Pheasant Creek to minimise amenity impacts between both uses.

Policy document

Consider as relevant:

- *Housing and Settlement Strategy* (Murrindindi Shire Council, 2022)

17.03-2L Yea Saleyards Precinct

11/07/2019
C65muri

Policy application

This policy applies to the Yea Saleyards and ~~surrounding~~ land within 500 metres of the centre of the Yea Saleyards Precinct.

Strategies

Support the industrial and commercial development of land in the precinct.

Encourage the clustering of businesses that are complementary to and benefit from the Yea Saleyards.

Ensure that residential uses and other incompatible uses do not encroach into the separation distances required for the Yea Saleyards Precinct.

Minimise odour and other amenity impacts to the Yea township.

Expiry

~~This policy will expire on 11 July 2021.~~

17.04-1L Tourism in Murrindindi

XX/XX/20XX
CXXmuri

Policy application

This policy applies to all land in the municipality.

Strategies

Facilitate tourism developments in the municipality.

Enhance the quality of nature based experiences with a focus on competitive advantages of the municipality in cycling, walking, fishing, hunting, boating and outdoor recreation.

Promote investment in visitor accommodation within the municipality.

Encourage and support investment in food, beverage and agribusiness tourism.

Policy document

Consider as relevant:

- *Murrindindi Shire Tourism and Events Strategy 2019-2025 (Urban Enterprise, 2019)*

19.03-2L

~~11/07/2019~~
~~C65muri~~
~~XX/XX/20XX~~
~~CXXmuri~~

Infrastructure design and provision

Strategies

Provide a consistent approach to the design and construction of infrastructure across the municipality.

Policy guideline

Consider as relevant:

- The *Infrastructure Design Manual* (Local Government Infrastructure Design Association, ~~2018~~2022) or an approved precinct structure plan for new subdivision and development.

Policy documents

Consider as relevant:

- *Infrastructure Design Manual* (Local Government Infrastructure Design Association, ~~2018~~2022)

SCHEDULE 1 TO CLAUSE 32.03 LOW DENSITY RESIDENTIAL ZONE

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Shown on the planning scheme map as **LDRZ1**.

1.0 Subdivision requirements

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

	Land	Area (hectares)
Minimum subdivision area (hectares)	All land west of Halls Flat Road, south of Maroondah Highway, Alexandra	1 hectare
	6540 Maroondah Highway, Yarck (Lot 2 TP-320893H)	1 hectare
	Land bounded by Whittlesea—Yea Road, Whittlesea—Kinglake Road, Nichols Road and Pheasant Creek Road	2 hectares
	Land west of Melba Highway at Castella, including Gordons Bridge Road, Moore Court, Banskia Court, Wattle Court, Castella	4 hectares
	All other land	1 hectare, unless lots 0.4 hectares or larger are in accordance with a Land Capability Assessment approved by the responsible authority that complies with the EPA publication 746.1—Land Capability Assessment for Onsite Domestic Wastewater Management, March 2003 and the Septic Tanks Code of Practice, March 2003

2.0 Outbuilding permit requirements

06/06/2022
C66muri

Dimensions above which a permit is required to construct an outbuilding (square metres)

None specified

SCHEDULE 2 TO CLAUSE 32.03 LOW DENSITY RESIDENTIAL ZONE

XX/XX/20XX
CXXmuri

Shown on the planning scheme map as **LDRZ2**.

1.0

XX/XX/20XX
CXXmuri

Subdivision requirements

	Land	Area (hectares)
<u>Minimum subdivision area (hectares)</u>	<u>Land bound by Whittlesea – Yea Road, Whittlesea – Kinglake Road, Nichols Road and Pheasant Creek Road</u>	<u>2 hectares</u>

2.0

XX/XX/20XX
CXXmuri

Outbuilding permit requirements

Dimensions above which a permit is required to construct an outbuilding (square metres)
<u>None specified</u>

SCHEDULE 3 TO CLAUSE 32.03 LOW DENSITY RESIDENTIAL ZONE

XX/XX/20XX
CXXmuri

Shown on the planning scheme map as **LDRZ3**.

1.0

XX/XX/20XX
CXXmuri

Subdivision requirements

	Land	Area (hectares)
<u>Minimum subdivision area (hectares)</u>	<u>All land</u>	<u>0.4 - 1 hectare</u>

2.0

XX/XX/20XX
CXXmuri

Outbuilding permit requirements

Dimensions above which a permit is required to construct an outbuilding (square metres)
<u>None specified</u>

SCHEDULE 4 TO CLAUSE 32.03 LOW DENSITY RESIDENTIAL ZONE

XX/XX/20XX
CXXmuri

Shown on the planning scheme map as **LDRZ4**.

1.0

XX/XX/20XX
CXXmuri

Subdivision requirements

	Land	Area (hectares)
<u>Minimum subdivision area (hectares)</u>	<u>Land west of Melba Highway at Castella, including Gordons Bridge Road, Moore Court, Banskia Court, Wattle Court, Castella</u>	<u>4 hectares</u>

2.0

XX/XX/20XX
CXXmuri

Outbuilding permit requirements

Dimensions above which a permit is required to construct an outbuilding (square metres)
<u>None specified</u>

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

SCHEDULE 1 TO CLAUSE 32.04 MIXED USE ZONE

Shown on the planning scheme map as MUZ1-

MURRINDINDI MIXED USE AREAS

1.0 Objectives

06/06/2022
C66muri

None specified.

2.0 Clause 54 and Clause 55 requirements

06/06/2022
C66muri

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement

06/06/2022
C66muri

None specified.

4.0 Exemption from notice and review

06/06/2022
C66muri

None specified.

5.0 Application requirements

06/06/2022
C66muri

None specified.

6.0 Decision guidelines

06/06/20
22
C66muri

None specified.

7.0 Signs

06/06/2022
C66muri

None specified.

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

SCHEDULE 1 TO CLAUSE 32.05 TOWNSHIP ZONE

Shown on the planning scheme map as TZ1-.

MURRINDINDI TOWNSHIPS

1.0 Neighbourhood character objectives

06/06/2022
C66muri

None specified.

2.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot

06/06/2022
C66muri

Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?

No

Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?

No

3.0 Clause 54 and Clause 55 requirements

06/06/2022
C66muri

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified

	Standard	Requirement
Front fence height	A20 and B32	None specified

4.0 **Maximum building height requirement for a dwelling or residential building**
06/06/2022
C66muri
None specified.

5.0 **Application requirements**
06/06/2022
C66muri
None specified.

6.0 **Decision guidelines**
06/06/2022
C66muri
None specified.

SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE06/06/2022
C66muriShown on the planning scheme map as **GRZ1-**.**MURRINDINDI GENERAL RESIDENTIAL AREA****1.0 Neighbourhood character objectives**06/06/2022
C66muri

None specified.

2.0 Construction or extension of a dwelling or residential building - minimum garden area requirement06/06/2022
C66muri

Is the construction or extension of a dwelling or residential building exempt from the minimum garden area requirement?

No

3.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot06/06/2022
C66muri

Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?

No

Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?

No

4.0 Requirements of Clause 54 and Clause 5506/06/2022
C66muri

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified

	Standard	Requirement
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

5.0 **Maximum building height requirement for a dwelling or residential building**
06/06/2022
C66muri
None specified.

6.0 **Application requirements**
06/06/2022
C66muri
None specified.

7.0 **Decision guidelines**
06/06/2022
C66muri
None specified.

SCHEDULE TO CLAUSE 33.01 INDUSTRIAL 1 ZONE

06/06/2022
C66muri

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Maximum leasable floor area requirements

Land	Maximum leasable floor area for Office (square metres)
None specified	None specified

SCHEDULE TO CLAUSE 33.02 INDUSTRIAL 2 ZONE

06/06/2022
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Maximum leasable floor area requirements

Land	Maximum leasable floor area for Office (square metres)
None specified	None specified

SCHEDULE TO CLAUSE 34.01 COMMERCIAL 1 ZONE06/06/2022
C66muri**1.0**06/06/2022
C66muri**Maximum leasable floor area requirements**

Land	Maximum leasable floor area for Office (square metres)	Maximum leasable floor area for Shop (other than Restricted retail premises) (square metres)
None specified	None specified	None specified

SCHEDULE 1 TO CLAUSE 35.03 RURAL LIVING ZONEShown on the planning scheme map as **RLZ1**.

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1.0 Subdivision and other requirements

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	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	Crown Allotment 19F, Parish of Alexandra, Mt Pleasant Road, Alexandra	1 hectare with a maximum of 5 lots, generally in accordance with tentative plan of subdivision ref 154888MADWP, Aujard Surveying Pty Ltd, dated 28 April 2005
	Land bounded by Whittlesea—Yea Road, Whittlesea—Kinglake Road, Nichols Road and Pheasant Creek Road	2 hectares
	Land in the Yea township area indicated in the map attached to this schedule	2 hectares
	All other land	4 hectares minimum subdivision size with an average subdivision size of 6 hectares
Minimum area for which no permit is required to use land for a Dwelling (hectares)	Crown Allotment 19F, Parish of Alexandra, Mt Pleasant Road, L, Alexandra and bounded by Whittlesea—Yea Road, Whittlesea—Kinglake Road, Nicols Road and Pheasant Creek Road	1 hectare 2 hectares
	Land in the Yea township area indicated in the map attached to this schedule	2 hectares
	Parish of Flowerdale	8 hectares
	All other land	400 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	All land	100 square metres
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	None specified	None specified

	Land	Area/Dimensions/Distance
Maximum floor area for which no permit is required to alter or extend an existing building used for Agriculture (square metres)	None specified	None specified
Minimum setback from a road (metres)	All land	20 metres
Minimum setback from a boundary (metres)	All land	5 metres
Minimum setback from a dwelling not in the same ownership (metres)	All land	100 metres

Permit requirement for earthworks	Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary	All land
Earthworks which increase the discharge of saline groundwater	All land

SCHEDULE 2 TO CLAUSE 35.03 RURAL LIVING ZONEXX/XX/20XX
CXXmuriShown on the planning scheme map as **RLZ2**.**1.0**XX/XX/20XX
CXXmuri**Subdivision and other requirements**

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	<u>Land bounded by Whittlesea – Yea Road, Whittlesea – Kinglake Road, Nichols Road and Pheasant Creek Road</u> <u>Land in the Yea township area</u>	<u>2 hectares</u>
Minimum area for which no permit is required to use land for a Dwelling (hectares)	<u>Land bounded by Whittlesea – Yea Road, Whittlesea – Kinglake Road, Nichols Road and Pheasant Creek Road</u> <u>Land in the Yea township area</u>	<u>2 hectares</u>
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	<u>All land</u>	<u>100 square metres</u>
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	<u>None specified</u>	<u>None specified</u>

	<u>Land</u>	<u>Area/Dimensions/Distance</u>
<u>Maximum floor area for which no permit is required to alter or extend an existing building used for Agriculture (square metres)</u>	<u>None specified</u>	<u>None specified</u>
<u>Minimum setback from a road (metres)</u>	<u>All land</u>	<u>20 metres</u>
<u>Minimum setback from a boundary (metres)</u>	<u>All land</u>	<u>5 metres</u>
<u>Minimum setback from a dwelling not in the same ownership (metres)</u>	<u>All land</u>	<u>100 metres</u>

Permit requirement for earthworks	Land
<u>Earthworks which change the rate of flow or the discharge point of water across a property boundary</u>	<u>All land</u>
<u>Earthworks which increase the discharge of saline groundwater</u>	<u>All land</u>

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SCHEDULE 3 TO CLAUSE 35.03 RURAL LIVING ZONE

Shown on the planning scheme map as **RLZ3**.

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Subdivision and other requirements

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	<u>Parish of Flowerdale</u>	<u>4 hectares</u>
Minimum area for which no permit is required to use land for a Dwelling (hectares)	<u>Parish of Flowerdale</u>	<u>4 hectares</u>
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	<u>All land</u>	<u>100 square metres</u>
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	<u>None specified</u>	<u>None specified</u>

	<u>Land</u>	<u>Area/Dimensions/Distance</u>
<u>Maximum floor area for which no permit is required to alter or extend an existing building used for Agriculture (square metres)</u>	<u>None specified</u>	<u>None specified</u>
<u>Minimum setback from a road (metres)</u>	<u>All land</u>	<u>20 metres</u>
<u>Minimum setback from a boundary (metres)</u>	<u>All land</u>	<u>5 metres</u>
<u>Minimum setback from a dwelling not in the same ownership (metres)</u>	<u>All land</u>	<u>100 metres</u>

Permit requirement for earthworks	Land
<u>Earthworks which change the rate of flow or the discharge point of water across a property boundary</u>	<u>All land</u>
<u>Earthworks which increase the discharge of saline groundwater</u>	<u>All land</u>

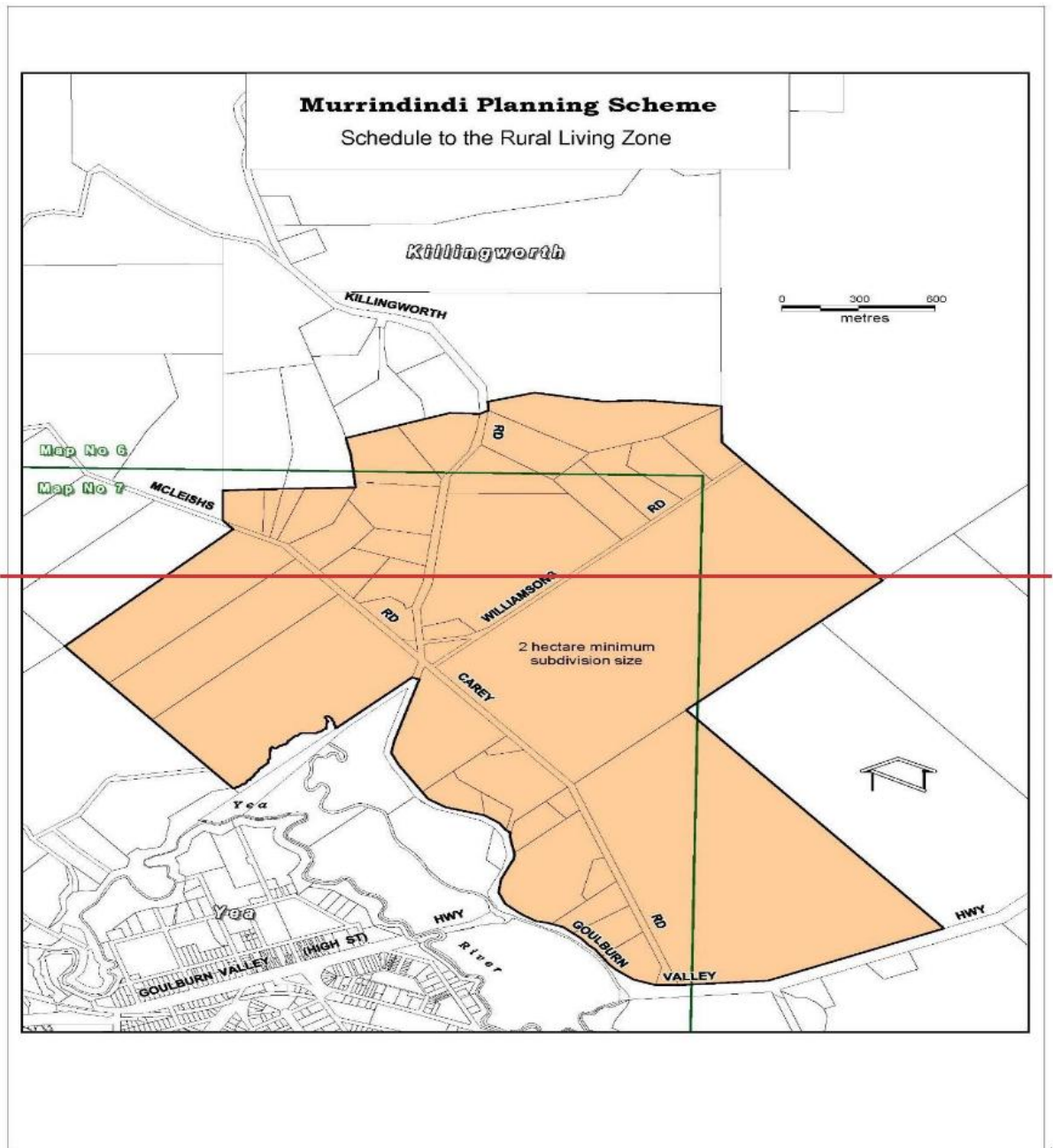
SCHEDULE 4 TO CLAUSE 35.03 RURAL LIVING ZONEXX/XX/20XX
CXXmuriShown on the planning scheme map as **RLZ4**.**1.0**XX/XX/20XX
CXXmuri**Subdivision and other requirements**

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	<u>All land</u>	<u>4 hectares</u>
Minimum area for which no permit is required to use land for a Dwelling (hectares)	<u>All land</u>	<u>4 hectares</u>
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	<u>All land</u>	<u>100 square metres</u>
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	<u>None specified</u>	<u>None specified</u>

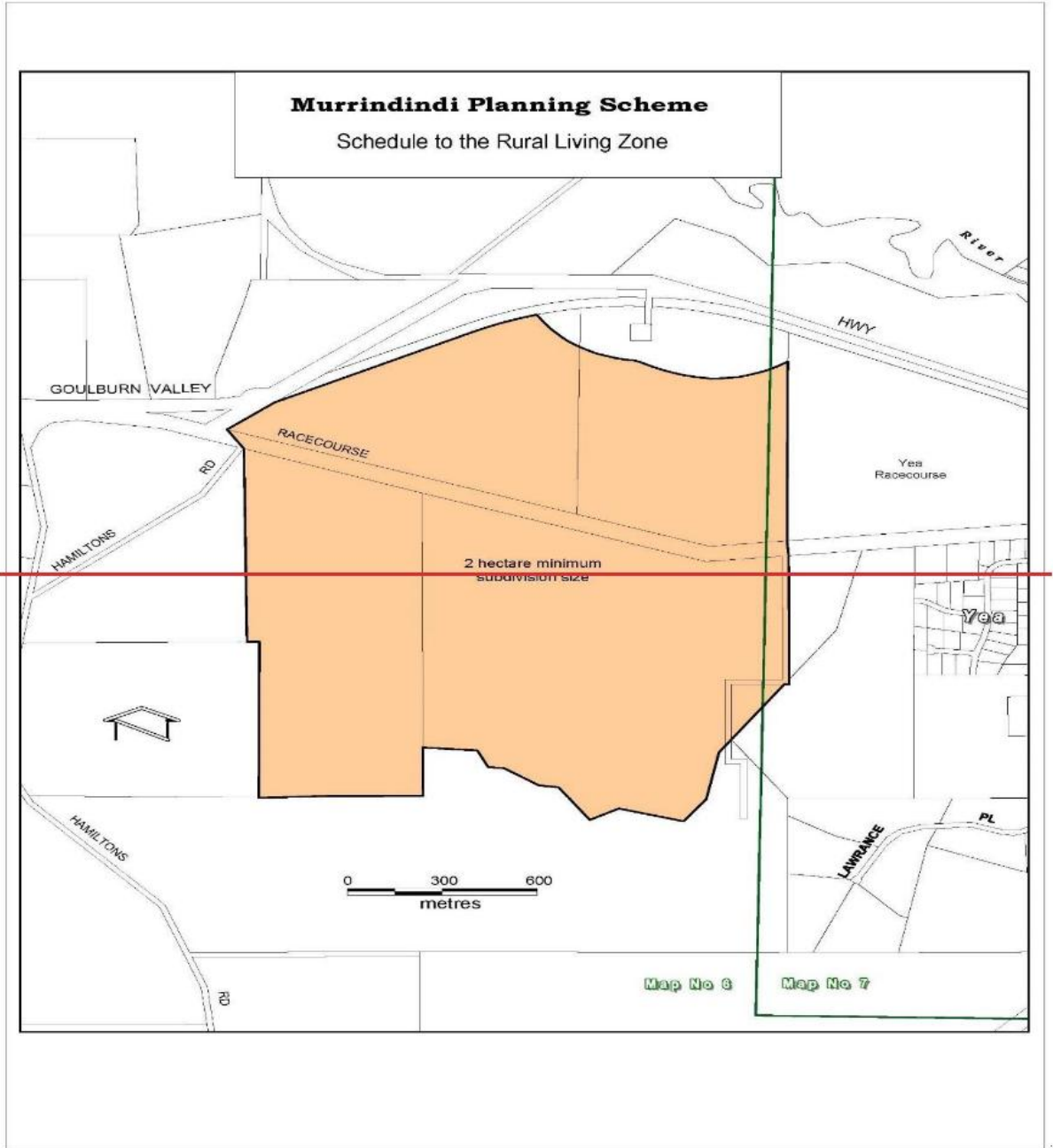
	<u>Land</u>	<u>Area/Dimensions/Distance</u>
<u>Maximum floor area for which no permit is required to alter or extend an existing building used for Agriculture (square metres)</u>	<u>None specified</u>	<u>None specified</u>
<u>Minimum setback from a road (metres)</u>	<u>All land</u>	<u>20 metres</u>
<u>Minimum setback from a boundary (metres)</u>	<u>All land</u>	<u>5 metres</u>
<u>Minimum setback from a dwelling not in the same ownership (metres)</u>	<u>All land</u>	<u>100 metres</u>

Permit requirement for earthworks	Land
<u>Earthworks which change the rate of flow or the discharge point of water across a property boundary</u>	<u>All land</u>
<u>Earthworks which increase the discharge of saline groundwater</u>	<u>All land</u>

Map 1 to the Schedule to Clause 35.03 Need to map these into the Murrindindi Planning Scheme maps



Map 2 to the Schedule to Clause 35.03



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SCHEDULE 1 TO CLAUSE 35.06 RURAL CONSERVATION ZONE

Shown on the planning scheme map as **RCZ1**.

CONSERVATION VALUES

Preserve the water quality and visual amenity of Lake Eildon.

Protect the quality and amenity of small isolated parcels of private land surrounded by publicly owned land.

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Subdivision and other requirements

	Land	Area/Dimensions/Number
Minimum subdivision area (hectares)	All land	5 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with a dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	None specified

Permit requirement for earthworks	Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary	All land
Earthworks which increase the discharge of saline groundwater	All land

SCHEDULE 1 TO CLAUSE 35.07 FARMING ZONEShown on the planning scheme map as **FZ1**.06/06/2022
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CXXmuri**1.0 Subdivision and other requirements**06/06/2022
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	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	All land	40 hectares
Minimum area for which no permit is required to use land for a dwelling (hectares)	All land	40 hectares
Maximum area for which no permit is required to use land for timber production (hectares)	None specified	<u>None specified</u>
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	None specified	<u>None specified</u>
Maximum floor area for which no permit is required to construct an out-building associated with a dwelling (square metres)	None specified	<u>None specified</u>
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	<u>None specified</u>
Minimum setback from a road (metres)	Transport Zone 2	100 metres
	Land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is the acquiring authority; and The purpose of the acquisition is for the road 	100 metres
	Transport Zone 3	40 metres
	Land in a Public Acquisition Overlay if:	40 metres

	Land	Area/Dimensions/Distance
	<ul style="list-style-type: none"> • The Head, Transport for Victoria is the acquiring authority; and • The purpose of the acquisition is for the road 	
	For any other road	20 metres
Minimum setback from a boundary (metres)	All land	5 metres
Minimum setback from a dwelling not in the same ownership (metres)	All land	100 metres

Permit requirement for earthworks	Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary	All land
Earthworks which increase the discharge of saline groundwater	All land

SCHEDULE 1 TO CLAUSE 35.08 RURAL ACTIVITY ZONE

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Shown on the planning scheme map as **RAZ1**.

Purpose

None specified.

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Subdivision and other requirements

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares)	All land	40 hectares
Minimum area for which no permit is required to use land for timber production (hectares)	All land	40 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	None specified	<u>None specified</u>
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	None specified	<u>None specified</u>
Maximum area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	<u>None specified</u>
Minimum setback from a road (metres)	Transport Zone 2	100 metres
	Land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is the acquiring authority; and The purpose of the acquisition is for a road 	100 metres
	Transport Zone 3	40 metres
	Land in a Public Acquisition Overlay if:	40 metres

	Land	Area/Dimensions/Distance
	<ul style="list-style-type: none"> • The Head, Transport for Victoria is the acquiring authority; and • The purpose of the acquisition is for a road 	
	For any other road	20 metres
Minimum setback from a boundary (metres)	All land	5 metres
Minimum setback from a dwelling not in the same ownership (metres)	All land	100 metres

Permit requirement for earthworks	Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary	All land
Earthworks which increase the discharge of saline groundwater	All land

SCHEDULE TO CLAUSE 36.01 PUBLIC USE ZONE

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1.0 Permit exemptions and conditions

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Public land	Use or development	Conditions
All land	In accordance with any approved management plan adopted by the responsible authority or the <u>a</u> <u>Victorian Government</u> <u>Department of Environment, Land, Water and Planning or Agency</u>	None specified

2.0 Sign requirements

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Land	Sign Category
None specified	None specified

SCHEDULE TO CLAUSE 36.02 PUBLIC PARK AND RECREATION ZONE

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1.0 Permit exemptions and conditions

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Public land	Use or development	Conditions
All land	In accordance with any approved management plan adopted by the responsible authority or a Victorian Government the Department of Environment, Land, Water and Planning or Agency	None specified

2.0 Sign requirements

06/06/2022
C66muri

Land	Sign Category
None specified	None specified

3.0 Use and development of land specified in an Incorporated Plan

06/06/2022
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None specified.

SCHEDULE TO CLAUSE 36.03 PUBLIC CONSERVATION AND RESOURCE ZONE

06/06/2022
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1.0 Permit exemptions and conditions

06/06/2022
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Public land	Use or development	Conditions
All land	In accordance with any approved management plan adopted by the responsible authority or a Victorian Government the- Department of Environment, Land, Water and Planning or Agency	None specified

2.0 Sign requirements

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Land	Sign Category
None specified	None specified

3.0 Use and development of land specified in an Incorporated Plan

06/06/2022
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None specified.

SCHEDULE 1 TO CLAUSE 37.01 SPECIAL USE ZONE

Shown on the planning scheme map as **SUZ1**.

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EILDON SWITCHYARD**Purpose**

To provide for the use and development of the land as a switchyard for electricity supply.

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Table of uses**Section 1 - Permit not required**

Use	Condition
Automated collection point	Must meet the requirements of Clause 52.13-3 and 52.13-5. The gross floor area of all buildings must not exceed 50 square metres.
Industry (other than Automated collection point)	Must be used for the generation of electricity.
Mineral exploration	
Mining	Must meet the requirements of Clause 52.08-2.
Search for stone <u>Stone exploration</u>	Must not be costeaning or bulk sampling.
Utility installation	Must be used for the transmission or distribution of electricity.
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.

Section 2 - Permit required

Use	Condition
<u>Automated collection point – if the Section 1 condition is not met</u>	
<u>Mineral exploration – if the Section 1 condition is not met</u>	
<u>Mining – if the Section 1 condition is not met</u>	
<u>Stone exploration – if the Section 1 condition is not met</u>	

Utility installation – if the Section 1 condition is not met

Any use listed in Clause 62.01 – if the Section 1 condition is not met

Section 3 - Prohibited

Use

Any use not in Section 1 or 2

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Use of land
None specified.

3.0
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Subdivision
None specified.

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Buildings and works
No permit is required to construct a building or construct or carry out works for a Section 1 use.

Permit requirement

A permit is required to construct a building or construct or carry out works for a Section 2 use, that is a Section 1 use where the condition is not met.

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Signs
None specified.

SCHEDULE 2 TO CLAUSE 37.01 SPECIAL USE ZONE

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Shown on the planning scheme map as SUZ2 .

MAJOR TOURISM FACILITY, MARYSVILLE**Purpose**

To facilitate the use and development of the land for a major tourism facility in accordance with an approved development plan.

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VC227
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Table of uses**Section 1 - Permit not required**

Use	Condition
Accommodation (other than Corrective institution)	<p>Must be generally in accordance with the approved development plan.</p> <p>Must not include gambling.</p>
Art and craft centre	
Automated collection point	<p>Must meet the requirements of Clause 52.13-3 and 52.13-5.</p> <p>The gross floor area of all buildings must not exceed 50 square metres.</p>
Bar	<p>Must be generally in accordance with the approved development plan.</p> <p>Must not include gambling.</p>
Car park	<p>Must be generally in accordance with the approved development plan.</p>
Child care centre	
Dry cleaner	<p>Must be generally in accordance with the approved development plan.</p>
Education centre	<p>Must be generally in accordance with the approved development plan.</p> <p>Must not be a primary school or secondary school.</p>
Food and drink premises	<p>Must be generally in accordance with the approved development plan.</p> <p>Must not include gambling.</p>
Market	<p>Must be generally in accordance with the approved development plan.</p>

Use	Condition
Minor sports and recreation facility	Must be generally in accordance with the approved development plan.
Office	Must be generally in accordance with the approved development plan.
Place of assembly (other than Night club)	Must be generally in accordance with the approved development plan. Must not include gambling.
Postal agency	Must be generally in accordance with the approved development plan.
Railway	
Shop (other than Adult sex product shop and Bottle shop)	Must be generally in accordance with the approved development plan.
Tavern	Must be generally in accordance with the approved development plan Must not include gambling
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.
Section 2 - Permit required	
Use	Condition
Bottle shop	
Leisure and recreation facility (other than Minor sports and recreation facility and Motor racing track)	
Retail premises (other than Food and drink premises, Gambling premises, Market, Postal agency and Shop)	
Utility installation (other than Minor Utility installation)	
Any other use not in Section 1 or 3	

Section 3 - Prohibited

Use

Adult sex product shop

Agriculture

Corrective institution

Gambling premises

Industry (other than Automated collection point and Dry cleaner)

Motor racing track

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Requirement for development plan

~~Prior to the commencement of any subdivision, use or development related to the major tourist facility, a development plan to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority and may only be amended with the consent of the responsible authority.~~

~~The responsible authority may grant a permit for subdivision, use or development prior to approval of a development plan provided that the responsible authority is satisfied that the subdivision, use or development will not prejudice the future use or development of the land for the purpose of the zone.~~

~~The development plan must include the following information to the satisfaction of the responsible authority:~~

~~**Existing conditions** of the land to which the plan applies including :~~

- ~~• The boundaries and dimensions of the site.~~
- ~~• Adjoining roads.~~
- ~~• The location, height and purpose of buildings and works on adjoining land.~~
- ~~• Relevant ground levels.~~
- ~~• The location and quality of any existing vegetation.~~

~~**Proposed use and development** of each part of the land including:~~

- ~~• The layout of proposed buildings and works including building setbacks from boundaries, finished floor levels, and an indicative internal layout for each building.~~
- ~~• Elevations, showing the dimensions, colours and materials of all buildings and works.~~
- ~~• Coloured perspectives of proposed buildings in the context of the streetscape and surrounding area.~~
- ~~• Driveways, vehicle parking areas, car parking spaces, and loading and unloading areas.~~
- ~~• Finished site levels and the location of any proposed cut and fill.~~
- ~~• Removal or protection of any existing vegetation.~~
- ~~• External storage and waste treatment areas.~~
- ~~• Details of boundary fences, including the height, location, design and treatment of the fences.~~
- ~~• Details of staging, including the likely sequence and timing of development.~~
- ~~• A development summary which includes total floor area for each type of land use, the number of each type of accommodation room, the number of car parking spaces.~~

~~**Bushfire protection** strategies including the siting and design of buildings and garden areas, defensible space, water supply, and safe access to properties for emergency and other vehicles at all times.~~

~~**Landscaping** including details of the vegetation species to be planted, the number of trees and surface treatments.~~

~~Vegetation plan~~ including, where appropriate, measures to protect and conserve native vegetation, to reduce the impact of land and water degradation and provide habitat for plants and animals. The plan needs to address the following objectives:

- ~~• To avoid the removal of native vegetation where possible.~~
- ~~• If the removal of native vegetation cannot be avoided, to minimise the removal of native vegetation through appropriate planning and design.~~
- ~~• To appropriately offset the loss of native vegetation.~~

~~Traffic Management~~ including details on:

- ~~• Vehicle, pedestrian and bicycle access points at the property boundaries.~~
- ~~• The location and treatment of circulation areas, driveways and other accessways within the site.~~
- ~~• The location, layout and treatment of all vehicle and bicycle parking areas and loading and unloading areas.~~

~~Stormwater Management~~ including details of how stormwater runoff will be conveyed into existing drainage works.

~~Construction Management~~ including the measures proposed to ensure that construction activity has minimal impact on surrounding areas.

~~Operations Management~~ including hours of operation, noise attenuation, maintenance of landscaping areas, waste storage and collection, car parking, loading and traffic management.

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Use of land

Application requirements

The following application requirements apply to an application for a permit ~~to use land~~ under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- The purpose of the use and the types of activities which will be carried out.
- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of goods and materials, hours of operation and light spill, solar access and glare.
- The means of maintaining land not required for immediate use.

An application for the use of land that is generally in accordance with the approved development plan is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision guidelines of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

The following decision guidelines apply to an application for a permit to under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The approved development plan for the land.
- The Marysville and Triangle Urban Design Framework, 2009.
- Bushfire protection.
- The interface with adjoining land.
- The interim use of those parts of the land not required for the proposed use.
- Provision for loading and unloading of vehicles.
- The storage of rubbish and materials for recycling.
- Provision made for vegetation protection and landscaping.

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Subdivision

Permit requirement

A permit is not required to subdivide land which is developed in accordance with the approved development plan.

An application for the subdivision of land that is generally in accordance with the approved development plan is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision guidelines of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

The following decision guidelines apply to an application for permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The approved development plan for the land.
- The *Marysville and Triangle Urban Design Framework, 2009*.

- Bushfire protection.
- The interface with adjoining land.
- The interim use of those parts of the land not required for the proposed use.
- The drainage of the land.
- The availability of and connection to services.
- The location and type of access to the site.
- The effect of traffic to be generated on roads.
- Provision for car parking.
- Provision for loading and unloading of vehicles.
- The storage of rubbish and materials for recycling.
- Provision made for vegetation protection and landscaping.

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Buildings and works

Permit requirements

A permit is not required to ~~construct or carry out~~:

- ~~A Construct a~~ building or construct or carry out works generally in accordance with the approved development plan relating to the land.
- A building or works which internally rearrange buildings.

Application requirements

The following application requirements apply to an application for a permit ~~authority to construct a building or construct or carry out works~~ under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A plan drawn to scale which shows:
 - The boundaries and dimensions of the site.
 - Adjoining roads.
 - The location, height and purpose of buildings and works on adjoining land.
 - Relevant ground levels.
 - The layout of existing and proposed buildings and works.
 - All driveway, car parking and loading areas.
 - Proposed landscape areas.
 - All external storage and waste treatment areas.
 - Areas not required for immediate use.
- Elevation drawings to scale showing the colour and materials of all buildings and works.
- Construction details of all drainage works, driveways, vehicle parking and loading areas.
- A landscape layout which includes the description of vegetation to be planted, the surfaces to be constructed, site works specification and method of preparing, draining, watering and maintaining the landscape area.

6.0

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Exemption from notice and review

An application ~~to construct a building or construct or carry out works under this provision~~ that is generally in accordance with the approved development plan is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision guidelines of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

7.0

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Decision guidelines

The following decision guidelines apply to an application for a permit ~~to use or subdivide land, construct a building or construct or carry out works or the approval of a plan in accordance with the requirements of Clause 2.0 of this schedule~~ under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

and Triangle Urban Design Framework, 2009 .

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- Bushfire protection.
 - The interface with adjoining land.
 - The interim use of those parts of the land not required for the proposed use.
 - The drainage of the land.
 - The availability of and connection to services.
 - The location and type of access to the site.
 - The effect of traffic to be generated on roads.
 - Provision for car parking.
 - Provision for loading and unloading of vehicles.
 - The storage of rubbish and materials for recycling.
 - Provision made for vegetation protection and landscaping.
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85.0 Signs

None specified.

6.0 Requirement for development plan

06/06/2022
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Prior to the commencement of any subdivision, use or development related to the major tourist facility, a development plan to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority and may only be amended with the consent of the responsible authority.

The responsible authority may grant a permit for subdivision, use or development prior to approval of a development plan provided that the responsible authority is satisfied that the subdivision, use or development will not prejudice the future use or development of the land for the purpose of the zone.

The development plan must include the following information to the satisfaction of the responsible authority:

Existing conditions of the land to which the plan applies including :

- The boundaries and dimensions of the site.
- Adjoining roads.
- The location, height and purpose of buildings and works on adjoining land.
- Relevant ground levels.
- The location and quality of any existing vegetation.

Proposed use and development of each part of the land including:

- The layout of proposed buildings and works including building setbacks from boundaries, finished floor levels, and an indicative internal layout for each building.
- Elevations, showing the dimensions, colours and materials of all buildings and works.
- Coloured perspectives of proposed buildings in the context of the streetscape and surrounding area.
- Driveways, vehicle parking areas, car parking spaces, and loading and unloading areas.
- Finished site levels and the location of any proposed cut and fill.
- Removal or protection of any existing vegetation.
- External storage and waste treatment areas.
- Details of boundary fences, including the height, location, design and treatment of the fences.
- Details of staging, including the likely sequence and timing of development.
- A development summary which includes total floor area for each type of land use, the number of each type of accommodation room, the number of car parking spaces.

Bushfire protection strategies including the siting and design of buildings and garden areas, defendable space, water supply, and safe access to properties for emergency and other vehicles at all times.

Landscaping including details of the vegetation species to be planted, the number of trees and surface treatments.

Vegetation plan including, where appropriate, measures to protect and conserve native vegetation, to reduce the impact of land and water degradation and provide habitat for plants and animals. The plan needs to address the following objectives:

- To avoid the removal of native vegetation where possible.
- If the removal of native vegetation cannot be avoided, to minimise the removal of native vegetation through appropriate planning and design.
- To appropriately offset the loss of native vegetation.

Traffic Management including details on:

- Vehicle, pedestrian and bicycle access points at the property boundaries.
- The location and treatment of circulation areas, driveways and other accessways within the site.
- The location, layout and treatment of all vehicle and bicycle parking areas and loading and unloading areas.

Stormwater Management including details of how stormwater runoff will be conveyed into existing drainage works.

Construction Management including the measures proposed to ensure that construction activity has minimal impact on surrounding areas.

Operations Management including hours of operation, noise attenuation, maintenance of landscaping areas, waste storage and collection, car parking, loading and traffic management.

SCHEDULE 1 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

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Shown on the planning scheme map as ESO1 .

HIGH QUALITY AGRICULTURAL LAND

1.0 Statement of environmental significance

06/06/2022
C66muri

Murrindindi Shire has extensive high quality agricultural areas located along the Great Dividing Range at Toolangi and Kinglake and along the Goulburn River floodplain. The attributes of these areas consist of a combination of well- drained red soils, high rainfall and access to water.

2.0 Environmental objective to be achieved

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~~R~~To recognise the finite nature of high quality agricultural land.

~~P~~To protect high quality agricultural land because of its versatility, productivity and ability to sustain a wide range of agricultural uses without degradation.

~~P~~To protect the potential production from high quality agricultural land.

~~P~~To prevent the unsustainable development of high quality agricultural land that may result in the loss of the quantity or quality of the land and limit the full productive potential of the land.

~~P~~To prevent the conversion of high quality agricultural land to non soil based development.

3.0 Permit requirement

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Exemptions

A permit is not required for:

- Any alterations or additions to an existing dwelling, provided the proposed floor area is not greater than 100 per cent of the existing floor area.
- Any outbuilding or extension to an outbuilding associated with an existing dwelling on the land or the use of agriculture when the outbuilding does not exceed 200 square metres.
- Works associated with timber production.
- Any agricultural development or activity, including cultivation and fencing. This does not include the construction of any dam above 2 megalitres in area.
- ~~Any~~ sign.
- A swimming pool.
- ~~A low impact telecommunications facility.~~
- Extensions or alterations to existing caravans, annexes and on site cabins used in conjunction with an existing ‘Camping and caravan park’.
- The removal of any dead vegetation, exotic vegetation or native vegetation if that vegetation is seedlings or regrowth less than 10 years old and if the land is being re-established or maintained for cultivation or pasture.
- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or ~~the a Victorian Government Department of Environment, Land, Water and Planning~~ Agency.

4.0 Application requirements

06/06/2022
C66muri

None specified.

5.0

Decision guidelines

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The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Maintaining the productive potential of high quality agricultural land.
- The suitability of high quality agricultural land in the assessment of development proposals. Buildings or works are to be sited to avoid or minimise loss of good quality agricultural land.
- The preparation and approval of a whole farm plan to outline proposed and future development, identify agricultural opportunities on the land, and protect future agricultural potential of the land.
- The need to forward the application for comment to the ~~Department of Environment, Land, Water and Planning~~ relevant Victorian Government Department or Agency if the proposal may result in a major loss of productive agricultural land.

SCHEDULE 2 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

Shown on the planning scheme map as ESO2 .

PHEASANT CREEK ROAD BUFFER AREA

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1.0 Statement of environmental significance

06/06/2022
C66muri

The existing broiler farm on the eastern side of Pheasant Creek Road requires protection and certainty to ensure its continued operation. Rural living development on the eastern side of Pheasant Creek Road requires protection and adequate setbacks from the broiler farm operations.

A separation distance of 300 metres is recommended under the *Victorian Code for Broiler Farms* for this class of broiler farm to separate broiler farm operations from sensitive uses, such as residential use in rural living environments. This overlay applies to land on the western side of Pheasant Creek Road that is within this 300 metre separation distance.

It is important to reduce potential adverse impacts between broiler farm operations and sensitive uses, protect the amenity of both uses and avoid the encroachment of incompatible uses on land separating these uses.

2.0 Environmental objective to be achieved

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PTo provide compatibility between rural living use on land affected by this overlay and the existing broiler farm on the eastern side of Pheasant Creek Road.

ETo ensure the continued operation and business certainty for the existing broiler farm operation on the eastern side of Pheasant Creek Road.

PTo provide physical separation between sensitive uses and the broiler farm to the east, ensuring compliance with separation distances required between the two uses under the *Victorian Code for Broiler Farms*.

RTo reduce potential adverse impacts between sensitive uses, such as residential use, and broiler farm operations.

PTo protect the amenity of rural living use on land affected by this overlay and the broiler farm to the east.

ATo avoid the encroachment of developments that are incompatible with broiler farm operations on land to the east, such as dwellings or other forms of accommodation.

ATo allow for the continued use and development of land for non residential rural living and farming purposes.

3.0 Permit requirement

06/06/2022
C66muri

A permit is not required for buildings and works other than for a dwelling.

4.0 Application requirements

06/06/2022
C66muri

None specified.

5.0 Decision guidelines

06/06/2022
C66muri

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Provision of a minimum separation distance of 300 metres between sensitive uses, such as residential uses, and the nearest broiler shed on the broiler farm to the east.
- Compliance with the *Victorian Code for Broiler Farms* in relation to provision of separation distances between broiler farm operations and sensitive uses.
- Adequate protection for sensitive uses, such as residential uses, from any adverse effects of broiler farm operations.
- Design of rural living subdivision layout to avoid the siting of new dwellings on land affected by this overlay.

- Design of rural living subdivision layout to provide for the continued operation of the broiler farm on land to the east and reduce potential adverse impacts between the broiler farm and sensitive uses.

SCHEDULE 1 TO CLAUSE 42.02 VEGETATION PROTECTION OVERLAY

Shown on the planning scheme map as VPO1.

MARYSVILLE VEGETATION PROTECTION AREA

09/05/2019
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1.0 Statement of nature and significance of vegetation to be protected

09/05/2019
C63muri

The vegetation within the township of Marysville is of historical and aesthetic significance. Marysville is a significant tourist destination within the Shire. Views and native vegetation from roads leading into Marysville form an important part of the area's character and are important for tourists and residents. The devastating fire of 7 February 2009 resulted in the loss of significant indigenous, native and exotic vegetation. The surviving remnant trees are of value in recreating the landscape character of Marysville.

2.0 Vegetation protection objectives to be achieved

09/05/2019
C63muri
XX/XX/20XX
CXXmuri

~~M~~To maintain remnant native trees and bushland in and around the township of Marysville, protect the aesthetics and character of gateways into the town and integrate future development of the town in a way that will not detract from the town's unique urban landscape.

3.0 Permit requirement

09/05/2019
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A planning permit is required to remove, destroy or lop native or exotic vegetation. This does not apply to:

- Any environmental weed listed under the document *Advisory list of environmental weeds of the ranges bioregions of Victoria*, Department of Sustainability and Environment, 2009 (as amended).
- ~~- Any exemption listed in Clauses 42.02 2 and 42.02 3.~~
- The removal, destruction or lopping of any native or exotic tree below one metre in height.
- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or ~~the a Victorian Government Department of Environment, Land, Water and Planning or Agency.~~
- ~~- Removal of State Prohibited Weeds, Regionally Prohibited Weeds, Regionally Controlled Weeds and Restricted Weeds as defined in the *Catchment and Land Protection Act 1994*.~~

4.0 Application requirements

09/05/2019
C63muri

None specified.

5.0 Decision guidelines

09/05/2019
C63muri

None specified.

SCHEDULE 1 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

06/06/2022
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Shown on the planning scheme map as SLO1 .

CATHEDRAL RANGE

1.0 Statement of nature and key elements of landscape

06/06/2022
C66muri

The Cathedral Range is a significant feature in the south_eastern part of Murrindindi Shire. The area's landscape is classified by the National Trust of Victoria.

2.0 Landscape character objectives to be achieved

XX/XX/20XX
CXXmuri

~~PTo protect the nature~~natural, landscape conservation and scientific importance of the Cathedral Range with development that is consistent with sustainable rural land management.

~~PTo protect the rural landscape~~ and Cathedral Range from insensitively designed development, visual intrusion and inappropriate development and that tourism oriented activities complement the special nature of the Cathedral Range.

~~Maintain and protect~~To conserve the diversity of landscapes, native fauna, remnant vegetation and sites of historical, botanical and zoological significance.

~~Provide that the development of tourism-oriented activities complements the special nature of the Cathedral Range. Recognise and protect the landscape conservation and scientific importance of the Cathedral Range.~~

~~Protect the Cathedral Range and the surrounding landscapes from visual intrusion and inappropriate development. M~~To maintain passive recreational development of the land for the enjoyment of all visitors.

~~Encourage land development to be consistent with sustainable rural land management.~~

3.0 Permit requirement

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Requirements

All proposed buildings must be of muted tones and constructed in non-reflective materials, to the satisfaction of the responsible authority.

Exemptions

A permit is not required for:

- Any alterations or additions to an existing dwelling, provided the proposed floor area is not greater than 50 per cent of the existing floor area.
- Any outbuilding or extension to an outbuilding associated with an existing dwelling on the land when the outbuilding does not exceed 100 square metres.
- Works associated with timber production.
- Any agricultural development or activity, including cultivation and fencing. This does not include the construction of any dam above 2 megalitres in area.
- ~~Any~~ sign.
- A swimming pool.
- ~~A low impact telecommunications facility.~~
- Extensions or alterations to existing caravans, annexes and on site cabins used in conjunction with an existing ‘Camping and caravan park’.
- Any dead vegetation, exotic vegetation or native vegetation if that vegetation is seedlings or regrowth less than 10 years old and if the land is being re-established or maintained for cultivation or pasture.
- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or the relevant Victorian Government Department of Environment, Land, Water and Planning or Agency.

4.0

06/06/2022
C66muri

Application requirements

None specified.

5.0

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Assess the development of the Cathedral Ranges and surrounding land, taking into account:
 - The protection of the environment.
 - Visual and aesthetic qualities.
 - Long term use of the land for public purposes.
- Before deciding on an application for subdivision, use, development of works the responsible authority must consider:
 - Any relevant adopted policy.
 - The design, height, mass and scale of the proposed development and buildings.
 - The location of all buildings and including the exterior colour/finish of buildings.
- In considering any proposal, the responsible authority may consider the need for:
 - A site assessment plan that incorporates details of special landscape features or classified landscapes, contours, views within and outside of the site, vegetation, sites of value for flora and fauna, sites of geological significance and sites of archaeological or historical significance.
 - The need to forward the application for comment to the National Trust of Australia (Victoria) when land is a classified National Trust Landscape and it is considered that the proposal may adversely affect this landscape.

SCHEDULE 2 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

06/06/2022
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Shown on the planning scheme map as SLO2 .

LAKE EILDON AND SURROUNDS

1.0 Statement of nature and key elements of landscape

06/06/2022
C66muri

Lake Eildon is a significant water storage that is located within the Lake Eildon National Park. The lake is surrounded by prominent vegetated hills and ranges that form part of the Central Highlands.

2.0 Landscape character objectives to be achieved

06/06/2022
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XX/XX/20XX
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~~P~~To protect the visual quality and significance of the prominent hills, slopes and extensive open landscapes in the Shire, including those classified by the National Trust.

~~P~~To protect the ~~nature~~natural, landscape conservation and scientific importance of the rural areas surrounding Lake Eildon and its tributaries with development that is consistent with sustainable rural land management.

~~P~~To protect the rural landscape from insensitivity designed development, visual intrusion and inappropriate development and that tourism oriented activities complementing the special nature of Lake Eildon.

~~Maintain and protect~~To conserve the diversity of landscapes, native fauna, remnant vegetation and sites of historical, botanical and zoological significance.

~~Provide that the development of tourism oriented activities complementing the special nature of Lake Eildon. Recognise and protect the landscape conservation and scientific importance of the Lake Eildon.~~

~~Protect the lake and the surrounding landscapes from visual intrusion and inappropriate development.~~MTo maintain passive recreational development of the land for the enjoyment of all visitors.

~~Encourage development that is consistent with sustainable rural land management.~~

3.0 Permit requirement

06/06/2022
C66muri
XX/XX/20XX
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Requirements

All proposed buildings must be of muted tones and constructed in non-reflective materials, to the satisfaction of the responsible authority.

Exemptions

A permit is not required for:

- Any alterations or additions to an existing dwelling, provided the proposed floor area is not greater than 50 per cent of the existing floor area.
- Any outbuilding or extension to an outbuilding associated with an existing dwelling on the land when the outbuilding does not exceed 100 square metres.
- Works associated with timber production.
- Any agricultural development or activity, including cultivation and fencing. This does not include the construction of any dam above 2 megalitres in area.
- Any sign.
- A swimming pool.
- A low impact telecommunications facility.
- Extensions or alterations to existing caravans, annexes and on site cabins used in conjunction with an existing 'Camping and caravan park'.
- Any dead vegetation, exotic vegetation or native vegetation if that vegetation is seedlings or regrowth less than 10

years old and if the land is being re-established or maintained for cultivation or pasture.

- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or the relevant Victorian Government Department of Environment, Land, Water and Planning or Agency.

4.0

06/06/2022
C66muri

Application requirements

None specified.

5.0

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Assess the development of land surrounding the lake, taking into account:
 - Protection of the environment.
 - Visual and aesthetic qualities.
 - Long term development of the land for public purposes.
- Before deciding on an application for subdivision, use, development of works the responsible authority must consider:
 - Any relevant adopted policy.
 - The design, height, mass and scale of the proposed development and buildings.
 - The location of all buildings and including the exterior colour/finish of buildings.
 - Effluent disposal systems and measures to improve water quality.
- In considering any proposal, the responsible authority may consider the need for:
 - A site assessment plan that incorporates details of special landscape features or classified landscapes, contours, views within and outside of the site, vegetation, sites of value for flora and fauna, sites of geological significance and sites of archaeological or historical significance.
 - The need to forward the application for comment to the National Trust of Australia (Victoria) when land is a classified National Trust Landscape and it is considered that the proposal may adversely affect this landscape.

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SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0

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~~CXXmuri~~

Application requirements

The following application requirements apply to an application for a permit under Clause 43.01, in addition to those specified in Clause 43.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A report prepared by a suitably qualified heritage consultant, assessing the impact of the proposal upon the significance of the heritage place. This report should include:
 - A site analysis, including a description of the significant elements of the place, having regard to the relevant heritage place citation and how it has been considered in the preparation of the application;
 - If the application includes demolition, an assessment of whether the ~~fabric~~ heritage place proposed for demolition is significant and, if so, provide reasons why it is to be removed;
 - An assessment of how the application will affect the significance of the heritage place.
 - Information on the structural condition of a heritage place and whether or not any defects can be repaired or mitigated.
- For major proposals or part or full demolition of places that are of individual significance, a Conservation Management Plan prepared in accordance with the *Australian ICOMOS Charter for the Conservation of Places of Cultural Significance 2013* (the Burra Charter).
- An archaeological survey and assessment prepared by a suitably qualified consultant, which assesses the impact of the proposal upon potential archaeological deposits on the site.
- A report prepared by a suitably qualified consultant, that assesses the impact of the proposal upon any significant trees.
- Where the trees or gardens on the site have been identified as significant, a landscaping plan prepared by a suitably qualified consultant demonstrating how landscaping on the site will respond to the cultural landscape character and setting of the heritage place.

2.0

20/03/2023
VC229

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	Murrindindi Station 5620 Melba Highway, YEA	-	-	-	-	-	Yes Ref No. H0371	Yes	No
HO2	Yea Railway Station (former) Station Street, YEA	-	-	-	-	-	Yes Ref No. H0771	Yes	No
HO3	"Doogalook" Homestead	No	No	No	Yes	No	No	Yes	No
H04	Purcells General Store 20 High Street, YEA	-	-	-	-	-	Yes Ref No. H0740	Yes	No
HO5	St Lukes Church 1-5 Pelissier Street, YEA	No	No	No	Yes	No	No	Yes	No
HO6	Yea Shire Hall 7 High Street, YEA	No	No	No	Yes	No	No	Yes	No
HO7	Tallarook Mansfield Railway	No	No	No	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Cheviot tunnel structure and embankments								
HO8	Yea Post Office The Semi Circle, YEA	No	No	No	Yes	No	No	Yes	No
HO9	Yea High Street, Streetscape 2-118 and 3-119 High Street, 5-15 The Semi Circle, 1-7 The Crescent and 1-5 Whatton Place, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes	Yes	No	No	Yes	No
HO10	Killingworth Ruins KILLINGWORTH	No	No	No	Yes	No	No	Yes	No
HO11	Commercial Bank of Australia (former) 34 High Street, YEA	No	No	No	Yes	No	No	Yes	No
HO12 &	Alexandra Courthouse and Former Shire Offices	Yes	No	No	Yes	No	Yes	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO24	38A-40 Downey Street, ALEXANDRA						Ref No. H1654		
HO13	"The Hermitage" 161 Maroondah Highway, NARBETHONG	-	-	-	-	-	Yes Ref No. H0303	Yes	No
HO14	"The Oaks" Goulburn Valley Highway, ALEXANDRA	No	No	No	Yes	No	No	Yes	No
HO15	Shire Hall and Council Chambers Perkins Street, ALEXANDRA	No	No	No	Yes	No	No	Yes	No
HO16	Alexandra Library Perkins Street, ALEXANDRA	No	No	No	Yes	No	No	Yes	No
HO17	Rubicon Hydro-electric Scheme Off Rubicon Road, RUBICON	-	-	-	-	-	Yes Ref No. H1187	Yes	No
HO18	Robbie's Mill	-	-	-	-	-	Yes	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Anderson Lane, NARBETHONG						Ref No. H1823		
HO19	Grandstand, Yea Showgrounds and Recreation Reserve YEA	No	No	No	Yes	No	No	Yes	No
HO20	Glenmore Station	No	No	No	Yes	No	No	Yes	No
HO21	Fawcett Mechanics Institute FAWCETT	No	No	No	Yes	No	No	Yes	No
HO22	Alexandra Railway Station Station Street, ALEXANDRA	No	No	No	Yes	No	No	Yes	No
HO23	Police buildings (police residence, single men's quarters, stables and lockup) Bon Street, ALEXANDRA	No	No	No	Yes	No	No	Yes	No
HO25	Tallarook Mansfield Railway	No	No	Yes Mature	Yes	Yes Gates and	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
				Monterey Cypress, Pine and Pepper trees		fences at level crossing, goods shed			
HO26	Breakaway Bridge Breakaway Road, ACHERON	No	No	No	Yes	No	No	No	No
HO27	Albert Edward Masonic Lodge No. 59 24 Webster Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Post and wire cyclone fence	No	Yes	No
HO28	Dove Cottage 6 Paynes Avenue, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Laundry	No	Yes	No
HO29	House	No	No	Yes	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	27 Perkins Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011			Canary Island Palm					
HO30	House and stables 66-68 Nihil Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes	No	Yes	No
HO31	House 28 Grant Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Canary Island Palm	Yes	No	No	Yes	No
HO32	Oddfellows Hall (former) 174 Grant Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit	No	No	Yes Mature Oak tree	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Exemptions 2011								
HO33	Princess Alexandra Statue, Sheils Gardens 33 Perkins Street, ALEXANDRA	No	No	No	Yes	No	No	No	No
HO34	St Johns Anglican Church and Organ, Hall and Vicarage 39 Downey Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	Yes	No	Yes	Yes Entrance gate posts	No	Yes	No
HO35	Summerview Farm, house, barn and hut 199 Binns-McCrae Road, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Barn and hut	No	Yes	No
HO36	The Mount (former)	No	No	Yes	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	2456 Goulburn Valley Highway, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011			Mature oak trees					
HO37	Alexandra Dairy Company building 9 Downey Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO38	Athlone 6 Johnston Street, ALEXANDRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature exotic trees in front yard	Yes	No	No	Yes	No
HO39	Alexandra Main Street Precinct 35 Perkins Street and 43, 55, 57 and 60-97 Grant Street, ALEXANDRA	No	No	No	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>								
HO40	<p>Acheron Park, Homestead Complex 2335-2337 Maroondah Highway, BUXTON</p> <p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>	Yes	Yes	No	Yes	Yes Dairy, silos and piggery	No	Yes	No
HO41	<p>St Thomas Church of England 2275 Maroondah Highway, BUXTON</p> <p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>	No	No	Yes Mature exotic trees	Yes	No	No	Yes	No
HO42	<p>Cathkin (Molesworth) Cemetery Cremona Road, CATHKIN</p>	No	No	Yes Mature pines and eucalypts	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO43	Cathkin Hotel and Cathkin Post Office (former) 20 Maroondah Link Highway, CATHKIN	No	No	No	Yes	Yes Post office	No	Yes	No
HO44	Cremona Bridge 36 Ridds Road, CATHKIN	No	No	No	Yes	No	No	No	No
HO45	Caveat Church and grotto 479 Caveat-Dropmore Road, DROPMORE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Grotto	No	Yes	No
HO46	Dropmore Homestead 1320 Caveat-Dropmore Road, DROPMORE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Oak and elm avenue	Yes	Yes Barn, dairy and woolshed	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO47	Eildon Dam Goulburn Valley Highway, EILDON Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Lookout shelter	No	No	No
HO49	Juvena, Homestead complex 816 Back Eildon Road, EILDON Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature trees in garden	Yes	Yes Cottage, bush pole sheds	No	Yes	No
HO50	Elderslie 573 Spring Creek Road, FAWCETT Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Shearing shed, dairy	No	Yes	No
HO51	Log Cabin 825 Spring Creek Road, FAWCETT Incorporated Plan:	Yes	No	No	Yes	Yes Log Cabin	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Murrindindi Shire HO Permit Exemptions 2011								
HO52	Old Silo and Rabbiter's Hut 640 Spring Creek Road, FAWCETT Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Silo and hut	No	Yes	No
HO53	Topsy Vale Barn 147 Parsons Lane, FAWCETT Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	Yes	No	No	Yes	Yes Barn	No	Yes	No
HO54	Glenside 44 Ghin Ghin Road, GHIN GHIN Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Woolshed, stable	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO56	Glenburn Primary School No. 3344 (former) 3873 Melba Highway, GLENBURN Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	Yes	No	Yes	Yes Shelter shed	No	Yes	No
HO57	Allen Homestead (former) 1095 Yarck Road, GOBUR Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Monterey pines	Yes	Yes Sheds	No	Yes	No
HO58	Crathie 1 Frees Road, GOBUR Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Log cabin, barn	No	Yes	No
HO59	Gobur Cemetery Yarck Road, GOBUR	No	No	Yes Monterey	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
				pinus					
HO60	Kanumbra State School No. 1932 (former) Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO61	Kanumbra St Pauls Church of England and Methodist Church (former) 7390-7392 Maroondah Highway, KANUMBRA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO62	St Bee's and Old Kanumbra Estate Woolshed 7262 Maroondah Highway, KANUMBRA Incorporated Plan: Murrindindi Shire HO Permit	No	No	Yes Monterey pines, Cypresses	Yes	Yes Kanumbra Woolshed, St Bee's Silo and sheds	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Exemptions 2011								
HO63	Eothen Residence 3005 Heidelberg-Kinglake Road, KINGLAKE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature trees in front garden, cypress hedge	Yes	No	No	Yes	No
HO64	Kinglake State School No. 2188 and Kinglake Post Office (former) 6 McMahons Road, KINGLAKE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO65	National Park Hotel 28 Whittlesea-Kinglake Road, KINGLAKE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Cypress and mature exotic trees	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO66	Kinglake West Uniting Church 1050 Whittlesea-Kinglake Road, KINGLAKE WEST Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Cedrus deodar	Yes	No	No	Yes	No
HO67	Fairview Park 5759-5764 Maroondah Highway, KORIELLA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature oak trees	Yes	Yes Woolshed	No	Yes	No
HO68	Limestone Avenue of Honour Langs Road (at Limestone Road), LIMESTONE	No	No	Yes Oak trees	Yes	No	No	No	No
HO69	Crossways Country inn 4-6 Woods Point Road, MARYSVILLE Incorporated Plan:	Yes	No	No	Yes	Yes Cabins	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Murrindindi Shire HO Permit Exemptions 2011								
HO70	Marysville War Memorial 1 Murchison Street, MARYSVILLE	No	No	No	Yes	No	No	No	No
HO71	Oak Avenue Murchison Street (between Lyell Street and river), MARYSVILLE Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature oaks, elm and plane trees	Yes	No	No	No	No
HO72	Wilks Creek Bridge abutments 176 Marysville Road, MARYSVILLE	No	No	No	Yes	No	No	No	No
HO73	Balham Hill Homestead 1599 Whanregarwen Road, MOLESWORTH Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Well, stables	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO74	Christ Church 4559 Goulburn Valley Highway, MOLESWORTH Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature exotic trees	Yes	Yes Fence and gate	No	Yes	No
HO75	Molesworth Hall 4355 Goulburn Valley Highway, MOLESWORTH Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO76	St Fillan farm 723 Maroondah Highway, NARBETHONG	No	No	Yes	Yes	No	No	No	No
HO77	Chase Farm 55 Upper King Parrot Creek Road, STRATH CREEK Incorporated Plan:	No	No	Yes Remnant orchard near house	Yes	Yes Dairy	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Murrindindi Shire HO Permit Exemptions 2011								
HO78	Flowerdale Estate 2261-2285 Broadford-Flowerdale Road, STRATH CREEK Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature exotic trees	Yes	Yes Stables, meat store	No	Yes	No
HO79	Hume & Hovell Cairn 1204 King Parrot Creek Road, STRATH CREEK	No	No	No	Yes	No	No	No	No
HO80	Kerrisdale Race Paddock & Sheepwash Lagoon 1105 King Parrot Creek Road, STRATH CREEK (see below)	No	No	No	Yes	No	No	No	No
HO80	Kerrisdale Station & Woolshed, Farm Shearers' Quarters 1105 King Parrot Creek Road, STRATH CREEK (see above)	No	No	Yes Plane tree avenue, elms, oaks,	Yes	Yes 852 - dairy, meat store	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011			irish strawberry tree		880 - woolshed, shearers' quarters			
HO81	Strath Creek Public Hall 4 Ferguson Street, STRATH CREEK Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO82	Uniting Church 5 Fitzgerald Street, STRATH CREEK Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	Yes	No	Yes	No	No	Yes	No
HO83	War Memorial 4 Ferguson Street, STRATH CREEK	No	No	No	Yes	Yes Concrete post fence	No	No	No
HO84	Acheron Station site (Bunya pines)	No	No	Yes	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	85 Robertsons Road, TAGGERTY			Bunya pines (2)					
HO85	Mundroola (former) 3370 Maroondah Highway, TAGGERTY Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Cypress hedge, Italian cypresses, elms, Algerian Oak	Yes	Yes Silo	No	Yes	No
HO86	Taggerty Hall 5 Taggerty-Thornton Road, TAGGERTY Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO87	Taggerty House 2741 Maroondah Highway, TAGGERTY Incorporated Plan:	No	No	Yes Mature exotic trees in front garden	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Murrindindi Shire HO Permit Exemptions 2011								
HO88	Blondell Park 693 Back Eildon Road, THORNTON Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Entrance avenue, orchard, mature exotic trees in garden	Yes	No	No	Yes	No
HO89	Eildon Park (former) 1701 Goulburn Valley Highway, THORNTON Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Stable	No	Yes	No
HO90	Thornton State School No. 1371 9 Back Eildon Road, THORNTON Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature oak	Yes	Yes Shelter Shed	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO91	Toolangi State School (Cryptomeria japonica 'Elegans') 1756 Healesville-Kinglake Road, TOOLANGI	No	No	Yes Cryptomeria japonica 'Elegans'	Yes	No	No	No	No
HO92	Singing Gardens at Arden 1694 Kinglake-Healesville Road, TOOLANGI Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature exotic trees	Yes	No	No	Yes	No
HO93	Niagaroon Station Woolshed 4799-4849 Maroondah Highway, corner Whanregarwen Road, WHANREGARWEN Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	Yes Woolshed	No	Yes	No
HO94	Chaff house 87 Yarck Road, YARCK	No	No	No	Yes	Yes Chaff House	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>								
HO95	<p>Yarck Township Precinct 6573-6607 and 6586-6608 Maroondah Highway, YARCK</p> <p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>	No	No	Yes Mature oak, elm, plane, Monterey pine and eucalypt	Yes	No	No	No	No
HO96	<p>Belvoir 9 Whatton Place, YEA</p> <p>Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011</p>	No	No	Yes Mature exotic trees	Yes	No	No	Yes	No
HO97	<p>Cloney Grange 5784 Goulburn Valley Highway, YEA</p> <p>Incorporated Plan: Murrindindi Shire HO Permit</p>	No	No	Yes Matures elms to front drive	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Exemptions 2011								
HO98	Duke of Clarence Masonic Lodge No. 173 120b High Street, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO99	House 134 High Street, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	Yes	No
HO100	Old Yea Cemetery Allotment 6C Section A, Moyle Street, YEA	No	No	No	Yes	No	No	No	No
HO102	Sacred Heart Roman Catholic Church and Presbytery 9 The Parade, YEA	No	Yes	No	Yes	No	No	Yes	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011								
HO103	Scot's Presbyterian Church 31 Station Street, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	Yes	Yes	No	Yes	No	No	Yes	No
HO104	Yea Dairy Company building (former) 13 Rattray Street, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	Yes	No	No	Yes	No	No	Yes	No
HO105	Yea Station Street Precinct 1-35 Station Street, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	No	Yes	No	No	No	No

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO106	Yea, The Parade Precinct 1-9, 31-35, 4-20 and 34-38 The Parade, YEA Incorporated Plan: Murrindindi Shire HO Permit Exemptions 2011	No	No	Yes Mature oak at No. 8 and cedar at No. 14.	Yes	No	No	Yes	No
HO108	Part of Yea Showgrounds and Recreation Reserve Snodgrass Street, YEA	No	No	Yes Mature oak trees	Yes	No	No	No	No
HO109	Part of Yea River Parkland Southern side of Goulburn Valley Highway, YEA	No	No	Yes Mature elm and oak trees	Yes	No	No	No	No

Notes: *Insert Interim control Expiry Date: dd/mm/yyyy if interim controls apply.*

See 43.01 for relevant provisions and scope.

Where the heritage place is included on the Victorian Heritage Register under the Heritage Act 2017 other controls in the table are not applicable. Insert a "-" Dash instead of "No".

SCHEDULE 1 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Shown on the planning scheme map as DDO1 .

KING PARROT CREEK ENVIRONS

1.0 Design objectives

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

~~To~~ protect the existing bushland and natural character of the King Parrot Creek environs.

~~To~~ maintain the environmental integrity of the King Parrot Creek, waterway environs and general area with a strong emphasis on environmental sustainability.

~~To~~ ensure minimum setbacks for all buildings from the King Parrot Creek to meet the standards of Goulburn Murray Water and the *Water Quality Guidelines for Northeastern Victoria* .

~~Respect and To~~ maintain the King Parrot Creek and Flowerdale area as an important transport and tourism route between metropolitan Melbourne and the northern part of Murrindindi Shire and beyond.

~~Ensure a strong emphasis on environmental sustainability.~~

~~To~~ achieve the vision, objectives, strategic directions and actions of the *Kinglake Ranges, Flowerdale and Toolangi Plan and Design Framework, February 2014* .

2.0 Buildings and works

06/06/2022
C66muri

A permit is not required for buildings and works that are greater than 30 metres from the high water mark of King Parrot Creek.

New development must ensure and provide:

- Protection and enhancement of environmental and natural features of the King Parrot Creek and riparian zone, including remnant vegetation.
- Adequate setbacks for any building or works from King Parrot Creek.
- Sufficient building and effluent disposal system setbacks to allow the satisfactory disposal of effluent to the satisfaction of the responsible authority.
- Building siting and design to ensure protection of amenity from the King Parrot Creek environs, and adjoining and nearby land.
- Building and effluent disposal envelopes as required to ensure adequate siting and setback of future buildings in relation to King Parrot Creek.

3.0 Subdivision

06/06/2022
C66muri

A permit is not required for the subdivision of land that is greater than 30 metres from the high water mark of King Parrot Creek.

Any subdivision must ensure and provide:

- Protection and enhancement of environmental and natural features of the King Parrot Creek and riparian zone, including remnant vegetation.
- Lot design that allows adequate setbacks for future buildings, roads and other works from King Parrot Creek.
- Sufficient potential building setbacks to allow the satisfactory disposal of effluent to the satisfaction of the responsible authority.
- Building and effluent disposal envelopes as required to ensure adequate siting and setback of future buildings in relation to King Parrot Creek.
- Encouragement for the fencing of private land from the King Parrot Creek reserve.
- Potential for linked recreational and ecological trails along the King Parrot Creek, when appropriate, to meet the

objectives of any adopted strategy of Murrindindi Shire Council or relevant agency.

4.0 Signs

06/06/2022
C66muri

None specified.

5.0 Application requirements

06/06/2022
C66muri

None specified.

6.0 Decision guidelines

06/06/2022
C66muri
~~XX/XX/20XX~~
CXXmuri

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

~~Before deciding on a permit application, the responsible authority must consider and meet-~~

- ~~The~~ objectives, guidelines, standards and recommendations of:
 - Goulburn Murray Water.
 - *Kinglake Ranges, Flowerdale and Toolangi Plan and Design Framework, February 2014.*
 - *EPA publication 746.1 Land Capability Assessment for Onsite Domestic Wastewater Management, March 2003.*
 - *State Environment Protection Policy - Waters of Victoria.*
 - *Code of Practice - Onsite Wastewater Management, March 2003 .*
 - *Water Quality Guidelines for Northeastern Victoria.*
 - *Victoria Native Vegetation Management – A Framework for Action.*

SCHEDULE 2 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

Shown on the planning scheme map as DDO2 .

MARYSVILLE ~~BUSINESS 1 ZONE~~ TOWN CENTRE

1.0 Design objectives

06/06/2022
C66muri

To rebuild the town centre of Marysville in a manner that creates a new character that is memorable and functional for the community and visitors and reflects the landscape values of the town.

To ensure the built form of Marysville has a human scale.

To achieve an increased level of environmental sustainability.

To increase pedestrian accessibility.

2.0 Buildings and works

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

A permit is required for buildings and works.

Development ~~must, as applicable~~ should:

- Provide a variety of building setbacks to Murchison Street and allow for the use of the setbacks for publicly accessible courtyards and landscaping.
- Provide a variety of building forms in Murchison Street, Darwin Street, Pack Road and Falls Road as a reflection of the ~~eclectic~~ mixed character of the community.
- Provide architecture and roof forms that create interest in the streetscape.
- Reinstate side setbacks which provide for landscaping or pedestrian connection.
- Provide car parking areas, where required, screened from Murchison Street, to facilitate continuous, interesting and active use of the Murchison Street frontage.
- Increase the pedestrian accessibility, comfort and connection from Murchison Street to Darwin Street.
- Minimise the number of vehicle crossovers onto Murchison Street.
- Facilitate the re-establishment of the bio-swale, landscape treatment along Murchison Street and Pack Road and continue the treatment into Falls Road along the core activities area.
- Provide building forms that encourage active use of the frontage.
- Applications including dwellings must provide for the dwelling component to be above or behind an active building frontage. Where dwellings are the only development proposed the layout of the building must provide large rooms towards the frontage to facilitate flexible use for commercial purposes.
- Protect and enhance significant view lines, corridors and landmarks detailed in the Roberts Day 2009, Marysville and Triangle Urban Design Framework Report, September 2009.

An application is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

3.0 Subdivision

06/06/2022
C66muri

None specified.

4.0 Signs

06/06/2022
C66muri

None specified.

5.0

06/06/2022
C66muri

Application requirements

None specified.

~~**6.0 Exemption from notice and review**~~

~~An application is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.~~

76.0

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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

~~Before deciding on a permit application, the responsible authority must consider-~~

- Whether a proposal is the content of and the consistency with the Roberts Day 2009 Marysville and Triangle Urban Design Framework Report, September 2009 .

SCHEDULE 1 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

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Shown on the planning scheme map as DPO1 .

GENERAL RESIDENTIAL ZONE AREAS

1.0 Objectives

06/06/2022
C66muri

None specified.

2.0 Requirement before a permit is granted

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Before any new use, development or subdivision commences, a development plan must be prepared and approved by the responsible authority.

A permit may be granted before a development plan has been prepared for:

- Subdivision of the land into two allotments or re-subdivision of existing allotments.
- A single dwelling on a lot.
- Any buildings and works associated with any existing use or development of the land.

Before any planning permit is granted for any subdivision, use or development of land that the Development Plan Overlay 1 applies to, the responsible authority must consider the:

- Consistency of any proposal with any approved development plan.
- Design and provision of roads and road infrastructure in accordance with the *Infrastructure Design Manual* , in conjunction with the Department of Transport and Planning ~~VicRoads~~-on ~~VicRoads-state~~ arterial roads.
- Provision of servicing, including water, sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Need for a land or monetary contribution for open space in accordance with the *Subdivision Act 1988* .

3.0 Conditions and requirements for permits

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The following conditions or requirements apply to permits:

- A permit for subdivision, use or development must include conditions, as appropriate, to give effect to the provisions and requirements of an approved development plan and any specialist report prepared to support the development plan.
- A permit for subdivision, use or development may include a condition that requires the owner of the land to enter into an agreement with the responsible authority pursuant to Section 173 of the ~~the~~ Act to address any matter arising from the proposal, including contribution towards infrastructure or environmental management.

4.0 Requirements for development plan

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A development plan must include the following requirements:

MURRINDINDI PLANNING SCHEME

- Site assessment and response, including natural features, slope and orientation, drainage lines, native vegetation, heritage and archaeological significance, view lines and adjoining land.
- Proposed subdivision layout and density, indicating internal roads, external road linkages, pedestrian linkages and if appropriate, lot layout.
- All servicing, including water, sewerage, drainage and stormwater, electricity and telecommunications.
- Bushfire risk and bushfire protection measures, as appropriate for the site and area.
- Existing and future open space, including linkages to and between areas of open space.
- Proposed measures to address native vegetation, landscaping and streetscape treatment.
- The stages, if any, in which the land is to be subdivided and developed.
- Potential impact of the proposed development plan on neighbouring and nearby land.
- Compliance with the Murrindindi Planning Scheme, including strategic directions for the relevant location, the General Residential Zone and this overlay schedule.
- Compliance with any adopted structure plan, urban design framework or strategy relevant to the area.
- In the preparation of any development plan, consideration must be given, in conjunction with the Department of Transport and Planning, to the need for a Transport Impact Assessment report. The Transport Impact Assessment Report should be developed in accordance with the relevant guidelines to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning). This report must address the impact of proposed development on the Transport Zone (TRZ) in all relevant peak periods, and, if required, proposed mitigating works. All mitigating works identified in the Transport Impact Assessment Report must be constructed to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning).

~~In the preparation of any development plan, consideration must be given, in conjunction with VicRoads, to the need for a Transport Impact Assessment Report when it is considered likely that there will be an effect on any declared arterial road. Any required Transport Impact Assessment Report will have regard to VicRoads Access Management Policies and determine the extent of mitigating works required on declared arterial roads in consultation with VicRoads.~~

An approved development plan may be amended to the satisfaction of the responsible authority.

SCHEDULE 2 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

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Shown on the planning scheme map as DPO2 .

LOW DENSITY RESIDENTIAL ZONE AREAS

1.0

06/06/2022
C66muri

Objectives

None specified.

2.0

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C66muri
XX/XX/20XX
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Requirement before a permit is granted

Before any new use, development or subdivision commences, a development plan must be prepared and approved by the responsible authority.

A permit may be granted before a development plan has been prepared for:

- Subdivision of the land into two allotments or re-subdivision of existing allotments.
- A single dwelling on a lot.
- Any buildings and works associated with any existing use or development of the land.

Before any planning permit is granted for any subdivision, use or development of land that the Development Plan Overlay 2 applies to, the responsible authority must consider the:

- Consistency of any proposal with any approved development plan.
- Design and provision of roads and road infrastructure in accordance with the *Infrastructure Design Manual*-, in conjunction with [the Department of Transport and Planning VicRoads](#) on [VicRoads-state](#) arterial roads.
- Provision of servicing, including water (for domestic and fire fighting purposes), onsite wastewater disposal or sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Need for a land or monetary contribution for open space in accordance with the *Subdivision Act 1988* .

3.0

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Conditions and requirements for permits

The following conditions or requirements apply to permits:

- A permit for subdivision, use or development must include conditions, as appropriate, to give effect to the provisions and requirements of an approved development plan and any specialist report prepared to support the development plan.
- A permit for subdivision, use or development may include a condition that requires the owner of the land to enter into an agreement with the responsible authority pursuant to Section 173 of the Act to address any matter arising from the proposal, including contribution towards infrastructure or environmental management.

4.0

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Requirements for development plan

A development plan must include the following requirements:

- Site assessment and response, including natural features, slope and orientation, drainage lines, native vegetation, heritage and archaeological significance, view lines and adjoining land.
- Proposed subdivision layout and density, indicating internal roads, external road linkages, pedestrian linkages and if appropriate, lot layout.
- All servicing, including roads, water, onsite wastewater disposal or sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.

- Bushfire risk and bushfire protection measures, as appropriate for the site and area.
- Existing and future open space, including linkages to and between areas of open space.
- Proposed measures to address native vegetation, landscaping and streetscape treatment.
- The stages, if any, in which the land is to be subdivided and developed.
- Potential impact of the proposed development plan on neighbouring and nearby land.
- Compliance with the Murrindindi Planning Scheme, including strategic directions for the relevant location, the Low Density Residential Zone and this overlay schedule.
- ~~Compliance with any adopted structure plan, urban design framework or strategy relevant to the area.~~
- In the preparation of any development plan, consideration must be given, in conjunction with the Department of Transport and Planning, to the need for a Transport Impact Assessment report. The Transport Impact Assessment Report should be developed in accordance with the relevant guidelines to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning). This report must address the impact of proposed development on the Transport Zone (TRZ) in all relevant peak periods, and, if required, proposed mitigating works. All mitigating works identified in the Transport Impact Assessment Report must be constructed to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning).

~~In the preparation of any development plan, consideration must be given, in conjunction with VicRoads, to the need for a Transport Impact Assessment Report when it is considered likely that there will be an effect on any declared arterial road. Any required Transport Impact Assessment Report will have regard to VicRoads Access Management Policies and determine the extent of mitigating works required on declared arterial roads in consultation with VicRoads.~~

An approved development plan may be amended to the satisfaction of the responsible authority.

SCHEDULE 3 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

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Shown on the planning scheme map as **DPO3** .

RURAL LIVING ZONE AREAS

1.0

06/06/2022
C66muri

Objectives

None specified.

2.0

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Requirement before a permit is granted

Before any new use, development or subdivision commences, a development plan must be prepared and approved by the responsible authority.

A permit may be granted before a development plan has been prepared for:

- Subdivision of the land into two allotments or re-subdivision of existing allotments.
- A single dwelling on a lot.
- Any buildings and works associated with any existing use or development of the land.

Before any planning permit is granted for any subdivision, use or development of land that the Development Plan Overlay 3 applies to, the responsible authority must consider the:

- Consistency of any proposal with any approved development plan.
- Design and provision of roads and road infrastructure in accordance with the *Infrastructure Design Manual* , in conjunction with [the Department of Transport and Planning](#) ~~VicRoads~~ on ~~VicRoads~~ [state](#) arterial roads.
- Provision of servicing, including water (for domestic, stock and fire fighting purposes), onsite wastewater disposal, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Need for a land or monetary contribution for open space in accordance with the *Subdivision Act 1988* for proposed subdivision in areas with a 2 hectares minimum lot size.

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Conditions and requirements for permits

The following conditions or requirements apply to permits:

- A permit for subdivision, use or development must include conditions, as appropriate, to give effect to the provisions and requirements of an approved development plan and any specialist report prepared to support the development plan.
- A permit for subdivision, use or development may include a condition that requires the owner of the land to enter into an agreement with the responsible authority pursuant to Section 173 of the Act to address any matter arising from the proposal, including contribution towards infrastructure or environmental management.

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Requirements for development plan

A development plan must include the following requirements:

- Site assessment and response, including natural features, slope and orientation, drainage lines, native vegetation, heritage and archaeological significance, view lines and adjoining land.
- Proposed subdivision layout and density, indicating internal roads, external road linkages, pedestrian linkages and if appropriate, lot layout.
- All servicing, including roads, water (for domestic, stock and fire fighting purposes), onsite wastewater disposal, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Bushfire risk and bushfire protection measures, as appropriate for the site and area.
- Existing and future open space, including linkages to and between areas of open space.
- Proposed measures to address native vegetation, landscaping and streetscape treatment.
- The stages, if any, in which the land is to be subdivided and developed.
- Potential impact of the proposed development plan on neighbouring and nearby land.
- Compliance with the Murrindindi Planning Scheme, including strategic directions for the relevant location, the Rural Living Zone and this overlay schedule.
- Compliance with any adopted structure plan, urban design framework or strategy relevant to the area.
- In the preparation of any development plan, consideration must be given, in conjunction with the Department of Transport and Planning, to the need for a Transport Impact Assessment report. The Transport Impact Assessment Report should be developed in accordance with the relevant guidelines to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning). This report must address the impact of proposed development on the Transport Zone (TRZ) in all relevant peak periods, and, if required, proposed mitigating works. All mitigating works identified in the Transport Impact Assessment Report must be constructed to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning).

~~In the preparation of any development plan, consideration must be given, in conjunction with VicRoads, to the need for a Transport Impact Assessment Report when it is considered likely that there will be an effect on any declared arterial road. Any required Transport Impact Assessment Report will have regard to VicRoads Access Management Policies and determine the extent of mitigating works required on declared arterial roads in consultation with VicRoads.~~

Any development plan proposal at the following location must address and provide:

Pheasant Creek Road, Pheasant Creek:

- Protection for and continued operation of the existing broiler farm on the eastern side of Pheasant Creek Road, to comply with the *Victorian Code for Broiler Farms 2009* . This protection and operation must be achieved through the provision of a 300 metre buffer from the farm operation and buildings where no dwellings are to be located.
- Building envelopes for proposed subdivision in the vicinity of the existing broiler farm on the eastern side of Pheasant Creek Road, indicating all future building sites to be a minimum of 300 metres from the broiler farm operations and buildings to comply with the *Victorian Code for Broiler Farms 2009* .

An approved development plan may be amended to the satisfaction of the responsible authority.

SCHEDULE 4 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

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Shown on the planning scheme map as DPO4 .

INDUSTRIAL 1 AND 2 ZONE AREAS

1.0 Objectives

06/06/2022
C66muri

None specified.

2.0 Requirement before a permit is granted

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C66muri
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Before any new use, development or subdivision commences, a development plan must be prepared and approved by the responsible authority.

A permit may be granted before a development plan has been prepared for:

- Subdivision of the land into two allotments or re-subdivision of existing allotments.
- A single building on a lot.
- Any buildings and works associated with any existing use or development of the land.

Before any planning permit is granted for any subdivision, use or development of land that the Development Plan Overlay 4 applies to, the responsible authority must consider the:

- Consistency of any proposal with any approved development plan.
- Design and provision of roads and road infrastructure in accordance with the *Infrastructure Design Manual* , in conjunction with [the Department of Transport and Planning VicRoads](#) on VicRoads arterial roads.
- Provision of servicing, including water, onsite wastewater disposal or sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Need for a land or monetary contribution for open space in accordance with the *Subdivision Act 1988* .

3.0 Conditions and requirements for permits

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The following conditions or requirements apply to permits:

- A permit for subdivision, use or development must include conditions, as appropriate, to give effect to the provisions and requirements of an approved development plan and any specialist report prepared to support the development plan.
- A permit for subdivision, use or development may include a condition that requires the owner of the land to enter into an agreement with the responsible authority pursuant to Section 173 of the Act to address any matter arising from the proposal, including a contribution towards infrastructure or environmental management.
- Any application for planning permit for subdivision, use or development at the following locations must address and provide:

5, 17 and 39 Binns McCraes Road and P386729, Alexandra:

- Design of buildings to include brick, stone or timber facades of a muted colour to enhance the amenity of the land and area.
- Landscaping along the frontages of all lots adjoining Maroondah Highway, Binns - McCraes Road and Hall Street to create a uniform and attractive appearance from these roads.
- Landscaping with suitable trees and shrubs of all other land in the subdivision that is indicated as a landscaping plantation to form an effective visual barrier between the land and adjoining land zoned Rural Living.
- Assessment of soil, water and native vegetation values.

Southwestern intersection of Maroondah Highway and Marysville Road, Narbethong:

- Protection of existing native vegetation.
- No buildings are to be constructed within 30 metres of the existing waterway/drainage line in the southwestern/southern section of the land.
- An assessment of fire risk and outline of proposed fire management program and fire protection measures, in consultation with the Country Fire Authority.

4.0

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Requirements for development plan

A development plan must include the following requirements:

- Site assessment and response, including natural features, slope and orientation, drainage lines, native vegetation, heritage and archaeological significance, view lines and adjoining land.
- Proposed subdivision layout and density, indicating internal roads, external road linkages, pedestrian linkages and if appropriate, lot layout.
- All servicing, including roads, water, onsite wastewater disposal or sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Existing and future open space, including linkages to and between areas of open space.
- Proposed measures to address native vegetation, landscaping and streetscape treatment.
- The stages, if any, in which the land is to be subdivided and developed.
- Potential impact of the proposed development plan on neighbouring and nearby land.
- Compliance with the Murrindindi Planning Scheme, including strategic directions for the relevant location, the applicable Industrial 1 or 2 Zone and this overlay schedule.
- Compliance with any adopted structure plan, urban design framework or strategy relevant to the area.
- In the preparation of any development plan, consideration must be given, in conjunction with the Department of Transport and Planning, to the need for a Transport Impact Assessment report. The Transport Impact Assessment Report should be developed in accordance with the relevant guidelines to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning). This report must address the impact of proposed development on the Transport Zone (TRZ) in all relevant peak periods, and, if required, proposed mitigating works. All mitigating works identified in the Transport Impact Assessment Report must be constructed to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning).

~~In the preparation of any development plan, consideration must be given, in conjunction with VicRoads, to the need for a Transport Impact Assessment Report when it is considered likely that there will be an effect on any declared arterial road. Any required Transport Impact Assessment Report will have regard to VicRoads Access Management Policies and determine the extent of mitigating works required on declared arterial roads in consultation with VicRoads.~~

Any development plan proposal at the following locations must address and provide:

5, 17 and 39 Binns McCraes Road and P386729, Alexandra:

- Landscaping along the frontages of all lots adjoining Maroondah Highway, Binns - McCraes Road and Hall Street and between the land and adjoining land zoned Rural Living.

Southwestern intersection of Maroondah Highway and Marysville Road, Narbethong:

- Protection of existing native vegetation.
- A minimum setback of at least 30 metres for all buildings from the existing waterway/drainage line in the southwestern/southern section of the land.

An approved development plan may be amended to the satisfaction of the responsible authority.

SCHEDULE 5 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

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Shown on the planning scheme map as DPO5 .

COMMERCIAL 1 ZONE AREAS

1.0 Objectives

06/06/2022
C66muri

None specified.

2.0 Requirement before a permit is granted

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C66muri
XX/XX/20XX
CXXmuri

Before any new use, development or subdivision commences, a development plan must be prepared and approved by the responsible authority.

A permit may be granted before a development plan has been prepared for:

- Subdivision of the land into two allotments or re-subdivision of existing allotments.
- A single building on a lot.
- Any buildings and works associated with any existing use or development of the land.

Before any planning permit is granted for any subdivision, use or development of land that the Development Plan Overlay 5 applies to, the responsible authority must consider the:

- Consistency of any proposal with any approved development plan.
- Design and provision of roads and road infrastructure in accordance with the *Infrastructure Design Manual* , in conjunction with [the Department of Transport and Planning](#) ~~VicRoads~~ on ~~VicRoads~~ [state](#) arterial roads.
- Provision of servicing, including water, sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Need for a land or monetary contribution for open space in accordance with the *Subdivision Act 1988* .

3.0 Conditions and requirements for permits

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The following conditions or requirements apply to permits:

- A permit for subdivision, use or development must include conditions, as appropriate, to give effect to the provisions and requirements of an approved development plan and any specialist report prepared to support the development plan.
- A permit for subdivision, use or development may include a condition that requires the owner of the land to enter into an agreement with the responsible authority pursuant to Section 173 of the Act to address any matter arising from the proposal, including a contribution towards infrastructure or environmental management.

4.0 Requirements for development plan

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A development plan must include the following requirements:

MURRINDINDI PLANNING SCHEME

- Site assessment and response, including buildings and works on adjoining land, slope and orientation, drainage lines, heritage and archaeological significance, natural features and view lines.
- Proposed subdivision and building layout, indicating internal roads, car parking and loading areas, external road linkages, pedestrian linkages and if appropriate, building envelopes identifying the location of future buildings.
- All servicing, including roads, water, sewerage, drainage and stormwater, electricity and telecommunications to meet the standards of the relevant service authority.
- Existing and future open space, including linkages to and between areas of open space.
- Proposed landscaping and streetscape treatment.
- The stages, if any, in which the land is to be subdivided and developed.
- Potential impact of the proposed development plan on neighbouring and nearby land.
- Compliance with any adopted urban design framework or structure plan.
- Compliance with the Murrindindi Planning Scheme, including strategic directions for the relevant location, the Commercial 1 Zone and this overlay schedule.
- ~~Compliance with any adopted structure plan, urban design framework or strategy relevant to the area.~~
- In the preparation of any development plan, consideration must be given, in conjunction with the Department of Transport and Planning, to the need for a Transport Impact Assessment report. The Transport Impact Assessment Report should be developed in accordance with the relevant guidelines to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning). This report must address the impact of proposed development on the Transport Zone (TRZ) in all relevant peak periods, and, if required, proposed mitigating works. All mitigating works identified in the Transport Impact Assessment Report must be constructed to the satisfaction of and at no cost to Head, Transport for Victoria (Department of Transport and Planning).

~~In the preparation of any development plan, consideration must be given, in conjunction with VicRoads, to the need for a Transport Impact Assessment Report when it is considered likely that there will be an effect on any declared arterial road. Any required Transport Impact Assessment Report will have regard to VicRoads Access Management Policies and determine the extent of mitigating works required on declared arterial roads in consultation with VicRoads.~~

Any development plan proposal at the following locations must address and provide:

Darwin Street, Marysville:

- Opportunities for commercial, cultural, tourism, civic and community activities with potential for compatible residential use.
- Opportunities and certainty for new and expanding activities to locate nearby the Marysville township's most populated areas and main commercial area.
- Maintenance of the existing grid pattern of existing subdivision in the Marysville township.
- Strengthening of the Marysville township's urban design, built form, landscape, scenic views and townscape character.
- Pedestrian linkages between private land in the area with the Steavenson River to the north and east, Lyell Street to the west and Darwin Street to the south.
- A recreational, open space, ecological, civic and pedestrian corridor along Steavenson River to form part of a new riverside and wetlands park that links the northern and southern end of the Marysville township and extends the pedestrian trail adjacent to the Steavenson River on private land to the north.
- Open space to protect the Steavenson river frontage and ecological values, establish ecological corridors and native vegetation buffers, provide continuous pedestrian linkages, maintain township character and views, and provide recreation land and opportunities.
- Waterway setbacks and landscape qualities along the Steavenson River.

High Street, Yea:

- Maximisation of internal road and pedestrian linkages in north – south and east – west directions, including pedestrian linkages between High and Snodgrass Streets.
- Layout that allows for safe and efficient access to existing land and buildings, including frontage and rear access for a range of customer, staff, loading/unloading and servicing purposes.

An approved development plan may be amended to the satisfaction of the responsible authority.

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SCHEDULE 1 TO CLAUSE 44.01 EROSION MANAGEMENT OVERLAY

Shown on the planning scheme map as **EMO1**.

1.0 Erosion management objectives to be achieved

06/06/2022
C66muri

None specified.

2.0 Statement of risk

06/06/2022
C66muri

None specified.

3.0 Permit requirement

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

A permit is not required for:

- Any alterations or additions to an existing dwelling, provided the proposed floor area is not greater than 100 per cent of the existing floor area.
- Any alterations or additions to an existing dwelling, provided that any cut and fill of land for the proposal does not exceed a maximum height and depth of 1 metre.
- Any outbuilding or extension to an outbuilding associated with an existing dwelling on the land or the use of agriculture when the outbuilding does not exceed 200 square metres and provided that any cut and fill of land for the proposal does not exceed a maximum height and depth of 1 metre.
- Works associated with timber production.
- Any agricultural development or activity, including cultivation and fencing. This does not include the construction of any dam.
- **Any** sign.
- A swimming pool.
- ~~A low impact telecommunications facility.~~
- Extensions or alterations to existing caravans, annexes and on site cabins used in conjunction with an existing 'Camping and caravan park'.
- Any dead vegetation, exotic vegetation or native vegetation if that vegetation is seedlings or regrowth less than 10 years old and if the land is being re-established or maintained for cultivation or pasture.
- Any buildings, works or removal, destruction or lopping of any vegetation by any government department, public authority or Murrindindi Shire Council for the purposes of any public or local government utility, service, works or facility.
- Any development or works in accordance with any approved management plan adopted by the responsible authority or ~~the a Victorian Government Department of Environment, Land, Water and Planning~~ Agency.

4.0 Application requirements

06/06/2022
C66muri

None specified.

5.0 Decision guidelines

06/06/2022
C66muri

None specified.

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SCHEDULE 1 TO CLAUSE 44.03 FLOODWAY OVERLAY

Shown on the planning scheme map as **FO1**.

1.0 Floodway objectives to be achieved

06/06/2022
C66muri

None specified.

2.0 Statement of risk

06/06/2022
C66muri

None specified.

3.0 Permit requirement

06/06/2022
C66muri

A permit is not required to construct or carry out the following buildings or works:

- A single or multiple industrial, retail or office building extension where the combined ground floor area of the extension since 1st October 1998 is not greater than 100 square metres.
- A single or multiple dwelling extension where the combined ground floor area of the extension since 1st October 1998 is not greater than 20 square metres.
- An upper storey extension to an existing building within the existing building footprint.
- A pergola, veranda, decking, garage, carport or domestic shed associated with an existing dwelling.
- An in-ground swimming pool with open style security fencing associated with an existing dwelling.
- A pump shed.
- A wooden or metal paling fence or cyclone mesh fence in a residential, business or industrial zone (not including a brick, masonry, or concrete wall).
- An agricultural shed (other than one used for industrial, retail or office purposes) for the storage of farm machinery, farm vehicles and workshop associated with a rural use in a rural zone with a floor area not more than 100 square metres.
- A sportsground, racecourse or recreation area (with no permanent grandstand or raised viewing area), pathways and trails constructed at general natural surface elevation, playground, open picnic shelter, picnic table, drinking tap, rubbish bin, barbecue, works associated with an apiary or underground infrastructure.
- An outdoor sign/structure.
- A mast, antenna, lighting or telecommunications tower.
- An accessway constructed at general natural surface elevations.
- Roadworks carried out by a public authority.

4.0 Application requirements

06/06/2022
C66muri

None specified.

5.0 Decision guidelines

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~~In addition to the Decision Guidelines in Clause 44.03 7, before deciding on an application, the responsible authority must consider-~~

The following decision guidelines apply to an application for a permit under Clause 44.03, in addition to those specified in Clause 44.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- the Murrindindi Local Floodplain Development Plan, Precinct of Goulburn River, May 2008.

the following relevant local floodplain development plan, which has been incorporated at Clause 72.04 of this scheme, as indicated on Map 1 to this schedule:-

6.0 Referral of applications

An application is not required to be referred to the floodplain management authority pursuant to Section 55 of the Act if the application is in accordance with a local floodplain development plan that has been incorporated at Clause 72.04 of this scheme.

Map 1 to Schedule to Clause 44.03

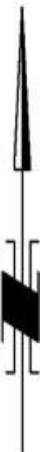
Murrindindi Local Floodplain Development Plan



LEGEND

-  Roads
-  Boundary
-  LSIO Region
-  FO Region

The above Murrindindi Local Floodplain Development Plan is an incorporated document at Clause 72.04 of the Murrindindi Planning Scheme which contains flood information and specific development requirements. This map showing FO & LSIO areas is indicative only and not to be used as a substitute over the planning scheme maps.



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SCHEDULE 1 TO CLAUSE 44.04 LAND SUBJECT TO INUNDATION OVERLAY

Shown on the planning scheme map as **LSIO1**.

1.0 Land subject to inundation objectives to be achieved

06/06/2022
C66muri

None specified.

2.0 Statement of risk

06/06/2022
C66muri

None specified.

3.0 Permit requirement

06/06/2022
C66muri

A permit is not required to construct or carry out the following buildings or works:

- A new dwelling within Residential 1 Zone (R1Z) of Yea where the floor level is at least 300 millimetres above the designated 100-year ARI flood level as shown on the Goulburn Broken Catchment Management Authority Plan No. 504256, or a higher level set by the responsible authority.
- A new industrial, retail, or office building within any industrial or business zone of Yea where the floor level is at least 300 millimetres above the designated 100-year ARI flood level as shown on the Goulburn Broken Catchment Management Authority Plan No. 504256, or a higher level set by the responsible authority.
- A replacement dwelling where the floor level is at least 300 millimetres above the 100-year ARI flood level, or a higher level set by the responsible authority.
- A single or multiple dwelling extension where:
 - The combined ground floor area of the extension since 6th May 1999 is not greater than 20 square metres; or
 - The owner can demonstrate to the satisfaction of the responsible authority that the floor height of the proposed dwelling extension/s is at least 300 millimetres above the 100-year ARI flood at the date of enquiry.
- An upper storey extension to an existing building within the existing building footprint.
- A pergola, veranda, decking, garage, carport, domestic shed or swimming pool associated with an existing dwelling.
- An extension to an existing industrial, retail or office building provided that the total ground floor area of the building is less than 130 square metres.
- A fence in a residential, business or industrial zone.
- Open type fencing (not including solid fences such as wooden or metal paling fences, cyclone mesh fences or brick, stone or concrete wall).
- An outdoor sign/structure.
- A pump shed.
- A hay shed with open sides.
- An agricultural shed (other than one used for industrial, retail or office purposes) for the storage of farm machinery, farm vehicles and workshop associated with a rural use in a rural zone with a floor area not more than 130 square metres.
- A sportsground, racecourse or recreation area (with no permanent grandstand or raised viewing area), pathways and trails constructed at general natural surface elevation, playground, open picnic shelter, picnic table, drinking tap, rubbish bin, barbecue, works associated with an apiary or underground infrastructure.
- A mast, antenna or telecommunications tower.
- An accessway constructed at general natural surface elevations.
- Roadworks carried out by a public authority.

4.0

06/06/2022
C66muri

Application requirements

None specified.

5.0 Decision guidelines

~~06/06/2022
C66muri
XX/XX/20XX
CXXmuri~~

~~In addition to the Decision Guidelines in Clause 44.04 8, before deciding on an application, the responsible authority must The following decision guidelines apply to an application for a permit under Clause 44.04, in addition to those specified in Clause 44.04 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:~~

~~consider the following relevant local floodplain development plan, which has been incorporated at Clause 72.04 of this scheme, as indicated on Map 1 to this schedule:~~

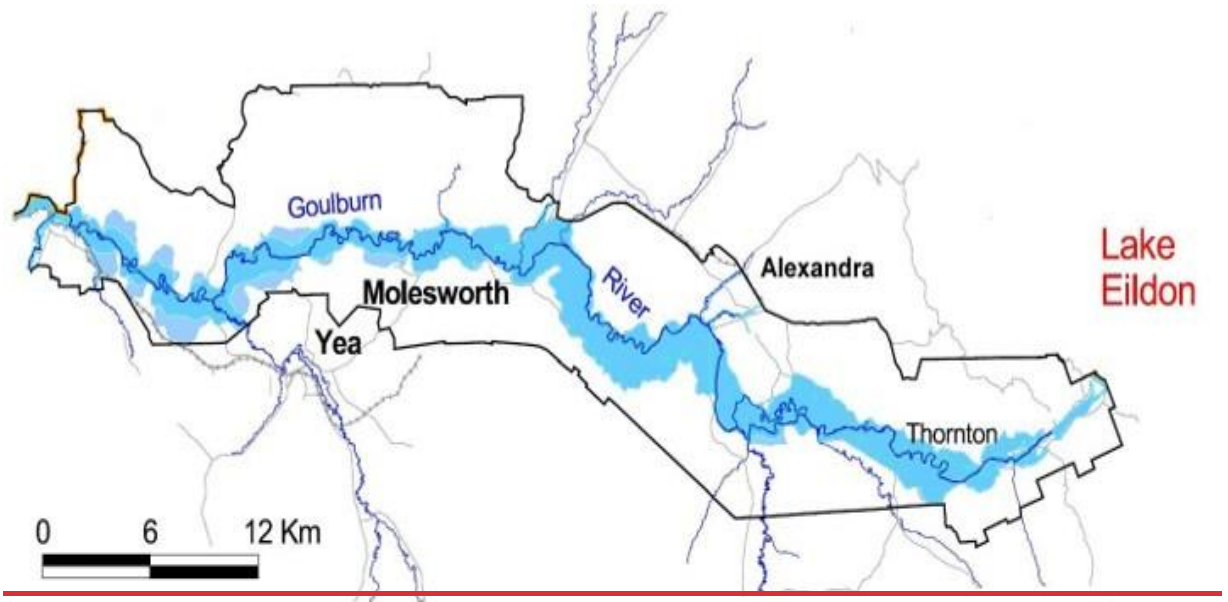
- ~~the~~ Murrindindi Local Floodplain Development Plan, Precinct of Goulburn River, May 2008.

6.0 Referral of applications

~~An application is not required to be referred to the floodplain management authority pursuant to Section 55 of the Act if the application is in accordance with a local floodplain development plan that has been incorporated at Clause 72.04 of this scheme.~~

~~Map 1 to Schedule to Clause 44.04~~

~~Murrindindi Local Floodplain Development Plan~~



PRECINCT OF GOULBURN RIVER

LEGEND

-  Roads
-  Precinct Boundary
-  LSIO Region
-  FO Region

The above Murrindindi Local Floodplain Development Plan is an incorporated document at Clause 72.04 of the Murrindindi Planning Scheme which contains flood information and specific development requirements. This map showing FO & LSIO areas is indicative only and not to be used as a substitute over the planning scheme maps.



06/06/2022
C66muri
XX/XX/20XX
CXXmuri

SCHEDULE 1 TO CLAUSE 44.06 BUSHFIRE MANAGEMENT OVERLAY

Shown on the planning scheme map as **BMO1** .

BUXTON, EILDON, KINGLAKE BAL-12.5 AREAS

1.0 Statement of the bushfire management objectives to be achieved

06/06/2022
C66muri

To specify bushfire protection measures to construct or extend one dwelling on a lot.

To specify referral requirements for applications to construct or extend one dwelling on a lot.

2.0 Application

06/06/2022
C66muri

The application to construct or extend one dwelling on a lot must include all the requirements set out in this schedule.

Clause 53.02 applies in all other circumstances.

3.0 Permit requirement

06/06/2022
C66muri

None specified.

4.0 Application requirements

06/06/2022
C66muri

The following application requirements apply to an application for a permit under Clause 44.06:

- A bushfire management plan that:
 - Shows all of the required bushfire protection measures specified in this schedule.
 - Includes written conditions that implement the required bushfire protection measures.
 - Identifies water supply including the location of any fire hydrant within 120 metres of the rear of the building.
 - Details vehicle access.

5.0 Requirements to be met

06/06/2022
C66muri

The following requirements apply to an application to construct a single dwelling on a lot:

- The dwelling must be constructed to BAL-12.5.
- Defendable space is to be provided for a distance of 30 metres around the dwelling or to the property boundary, whichever is the lesser and maintained in accordance with the vegetation management requirements of Clause 53.02 with the following variation:
 - The canopy of trees must be separated by at least 2 metres.
- A static water supply must be provided in accordance with Clause 53.02.
- Vehicle access must be provided in accordance with Clause 53.02.

If these requirements are not met, the requirements of Clause 53.02 apply.

6.0 Substitute approved measures for Clause 53.02

06/06/2022
C66muri

None specified.

7.0 Additional alternative measures for Clause 53.02

06/06/2022
C66muri

None specified.

8.0 Mandatory Condition

06/06/2022
C66muri
~~XX/XX/20XX~~
CXXmuri

~~An application must include the mandatory conditions as specified in Clause 44.06-5. None specified.~~

9.0 Referral of application not required

06/06/2022
C66muri

An application for a single dwelling on a lot meeting all of the required bushfire protection measures is not required to be referred under Section 55 of the Act to the person or body specified as the referral authority in Clause 66.03.

10.0 Notice and review

06/06/2022
C66muri

None specified.

11.0 Decision guidelines

06/06/2022
C66muri

The following decision guidelines apply to an application for a permit under Clause 44.06, in addition to those specified in Clause 44.06 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether all of the bushfire protection measures in this schedule have been met.

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

SCHEDULE 2 TO CLAUSE 44.06 BUSHFIRE MANAGEMENT OVERLAY

Shown on the planning scheme map as **BMO2** .

KINGLAKE, MARYSVILLE BAL-29 AREAS

1.0 Statement of the bushfire management objectives to be achieved

06/06/2022
C66muri

To specify bushfire protection measures to construct or extend one dwelling on a lot.

To specify referral requirements for applications to construct or extend one dwelling on a lot.

2.0 Application

06/06/2022
C66muri

The application to construct or extend one dwelling on a lot must include all the requirements set out in this schedule.

Clause 53.02 applies in all other circumstances.

3.0 Permit requirement

06/06/2022
C66muri

None specified.

4.0 Application requirements

06/06/2022
C66muri

The following application requirements apply to an application for a permit under Clause 44.06:

- A bushfire management plan that:
 - Shows all of the required bushfire protection measures specified in this schedule.
 - Includes written conditions that implement the required bushfire protection measures.
 - Identifies water supply including the location of any fire hydrant within 120 metres of the rear of the building.
 - Details vehicle access.

5.0 Requirements to be met

06/06/2022
C66muri

The following requirements apply to an application to construct a single dwelling on a lot:

- The dwelling must be constructed to BAL-29.
- Defendable space is to be provided for a distance of 30 metres around the dwelling or to the property boundary, whichever is the lesser and maintained in accordance with the vegetation management requirements of Clause 53.02 with the following variation:
 - The canopy of trees must be separated by at least 5 metres.
- A static water supply must be provided in accordance with Clause 53.02.
- Vehicle access must be provided in accordance with Clause 53.02.

If these requirements are not met, the requirements of Clause 53.02 apply.

6.0 Substitute approved measures for Clause 53.02

06/06/2022
C66muri

None specified.

7.0 Additional alternative measures for Clause 53.02

06/06/2022
C66muri

None specified.

8.0 Mandatory Condition

06/06/2022
C66muri
~~XX/XX/20XX~~
CXXmuri

~~An application must include the mandatory conditions as specified in Clause 44.06~~ None specified.

9.0 Referral of application not required

06/06/2022
C66muri

An application for a single dwelling on a lot meeting all of the required bushfire protection measures is not required to be referred under Section 55 of the Act to the person or body specified as the referral authority in Clause 66.03.

10.0 Notice and review

06/06/2022
C66muri

None specified.

11.0 Decision guidelines

06/06/2022
C66muri

The following decision guidelines apply to an application for a permit under Clause 44.06, in addition to those specified in Clause 44.06 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether all of the bushfire protection measures in this schedule have been met.

SCHEDULE TO CLAUSE 45.05 RESTRUCTURE OVERLAY

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

1.0

Restructure plan

06/06/2022
C66muri
XX/XX/20XX
CXXmuri

PS map ref	Land	Title of restructure plan
43R017R0	Land in the Long Gully Road area, south of Flowerdale, being land on the northern side of Long Gully Road, around Broome Road and along Goat Track, adjacent to the Whittlesea-Yea Road	Murrindindi Planning Scheme Restructure Plan Incorporated Document: Long Gully Road Area Restructure Plan
46R022R0	Land generally in the Torbreck Street area, south of Taggerty, being land in Torbreck Street and land to the south along Murrindindi, Acheron, Mohican Streets and Maroondah Highway	Murrindindi Planning Scheme Restructure Plan Incorporated Document: Torbreck Street Area Restructure Plan
49R026R0	Land generally adjoining National Park Road and Pine Ridge Road, Kinglake West as indicated in the restructure plan	Murrindindi Planning Scheme Restructure Plan Incorporated Document: National Park Road/Pine Ridge Road Restructure Plan
24R026R0	Land generally adjoining Bald Spur Road, Grandview Crescent and Whittlesea-Kinglake Road, Kinglake East, as indicated in the restructure plan	Murrindindi Planning Scheme Restructure Plan Incorporated Document: Grandview Crescent Restructure Plan
24R029R0	Land generally adjoining Fairview Road, Hill Street, Parkside Road and Whittlesea-Kinglake Road, Kinglake East as indicated in the restructure plan	Murrindindi Planning Scheme Restructure Plan Incorporated Document: Bayview Estate Restructure Plan

Part A: General Provisions

~~Part A of this schedule applies to all land in the Restructure Overlay and to all of the following restructure plans incorporated as part of this schedule.~~

Dwellings and other buildings

~~Any proposal for a dwelling or other building must be in accordance with a restructure plan for the land.~~

~~Only one dwelling may be developed on each restructure lot. This requirement does not include a dependent person's unit. A dependent person's unit requires a planning permit.~~

~~Before the responsible authority may grant any planning permit for a dwelling in accordance with a restructure plan, all lots within the relevant restructure lot on which the dwelling is proposed must be consolidated and a title issued for the consolidated lot (restructure lot).~~

~~A planning permit is required for an outbuilding. A maximum of one outbuilding may be allowed on~~

~~each restructure lot without a dwelling being located on the restructure lot. An outbuilding may be considered on an existing lot that is part of a proposed restructure lot on an approved restructure plan provided there is an existing dwelling on that lot.~~

~~In considering an application for an outbuilding, the responsible authority must be satisfied that the outbuilding is for domestic storage only. No outbuilding may be used for domestic occupation at any stage.~~

~~The responsible authority must forward any application for planning permit for a dwelling, other building or any other~~

~~development for comment under Section 52 of the Act to Goulburn Murray Water, Goulburn Broken Catchment Management Authority, Country Fire Authority, Department of Environment, Land, Water and Planning and VicRoads.~~

~~Any application for planning permit for dwelling, other building or any other development must include potential building and effluent disposal envelopes, to the satisfaction of the responsible authority. Any planning permit that is issued must designate satisfactory building and effluent disposal envelopes.~~

Subdivision

~~Any proposal for subdivision must be in accordance with a restructure plan for the land.~~

~~No subdivision of land may take place that creates a new lot or potentially creates an additional dwelling.~~

~~A permit is required to realign the boundaries of existing lots. An application may only be made and approved for the realignment of existing boundaries when the proposal is generally in accordance with an approved restructure plan.~~

~~The responsible authority must forward any application for planning permit for a dwelling, other building or any other development for comment under Section 52 of the Act to Goulburn Murray Water, Goulburn Broken Catchment Management Authority, Country Fire Authority, Department of Environment, Land, Water and Planning and VicRoads.~~

~~Any application for planning permit for subdivision must include potential building envelopes, to the satisfaction of the responsible authority. Any planning permit that is issued must designate satisfactory building envelopes.~~

Part B: Long Gully Road Area, Flowerdale

~~The following provisions apply to restructure lots on the approved Restructure Plan for the Long Gully Road area, Flowerdale, outlined in Part D of this schedule:~~

Restructure Lot	Lot No.	Vacant / Occupied	Effect of Restructure Plan
1	Lots 3-6, LP 41701	Vacant	Maximum of one new dwelling with a planning permit and consolidation of all lots
2	Lots 7 & 8, LP 41701	Existing dwelling	Existing dwelling with consolidated lots
3	Lot 20 & Part 19, LP 15799	Vacant	Maximum of one new dwelling with a planning permit and consolidation of all lots
4	Lot 18 & Part 19, LP 15799	Existing dwelling	Existing dwelling with consolidated lots
5	Lot 17 LP 15799 & Lot 50 LP 17989	Existing dwelling	Existing dwelling with consolidated lots
6	Lots 54-56 LP 17989	Existing dwelling	Existing dwelling with consolidated lots
7	Lot 57 LP 17989 (to be restructured with Part CA 45B, Parish of	Vacant	Provision of access to Part CA 45B Parish of Flowerdale

Restructure Lot	Lot No.	Vacant / Occupied	Effect of Restructure Plan
	Flowerdale)		
8	CP 160367 & Lot 11 LP 65968	Existing dwelling	Existing dwelling with consolidated lots
9	Lots 9 & 10, LP 42975	Existing dwelling	Existing dwelling with consolidated lots

Part C: Torbreck Street Area, Taggerty

The following provisions apply to restructure lots on the approved Restructure Plan for the Torbreck Street area, Taggerty, outlined in Part D of this schedule:

	Lot No.	Vacant / Occupied	Effect of Restructure Plan
1	CP165909	Existing dwelling	Existing dwelling with consolidated lots
	Lot 1 LP12294	Vacant	
	Lot 2 LP12294	Vacant	
	Lot 3 LP12294	Vacant	
2	Lots 38 & 39 LP 12294	Existing dwelling	Existing dwelling with consolidated lots
3	Lots 40, 41 & 42 LP 12294	Vacant	Maximum of one new dwelling with a planning permit and consolidation of lots
	Lot 43 LP 12294	Vacant	
	Lot 44 LP 12294	Vacant	
	Lot 45 LP 12294	Vacant	
4	Lots 4 & 5 LP 12294	Existing dwelling	Existing dwelling with consolidated lots
5	Lots 30 & 31 LP 12294	Existing dwelling	Existing dwelling with

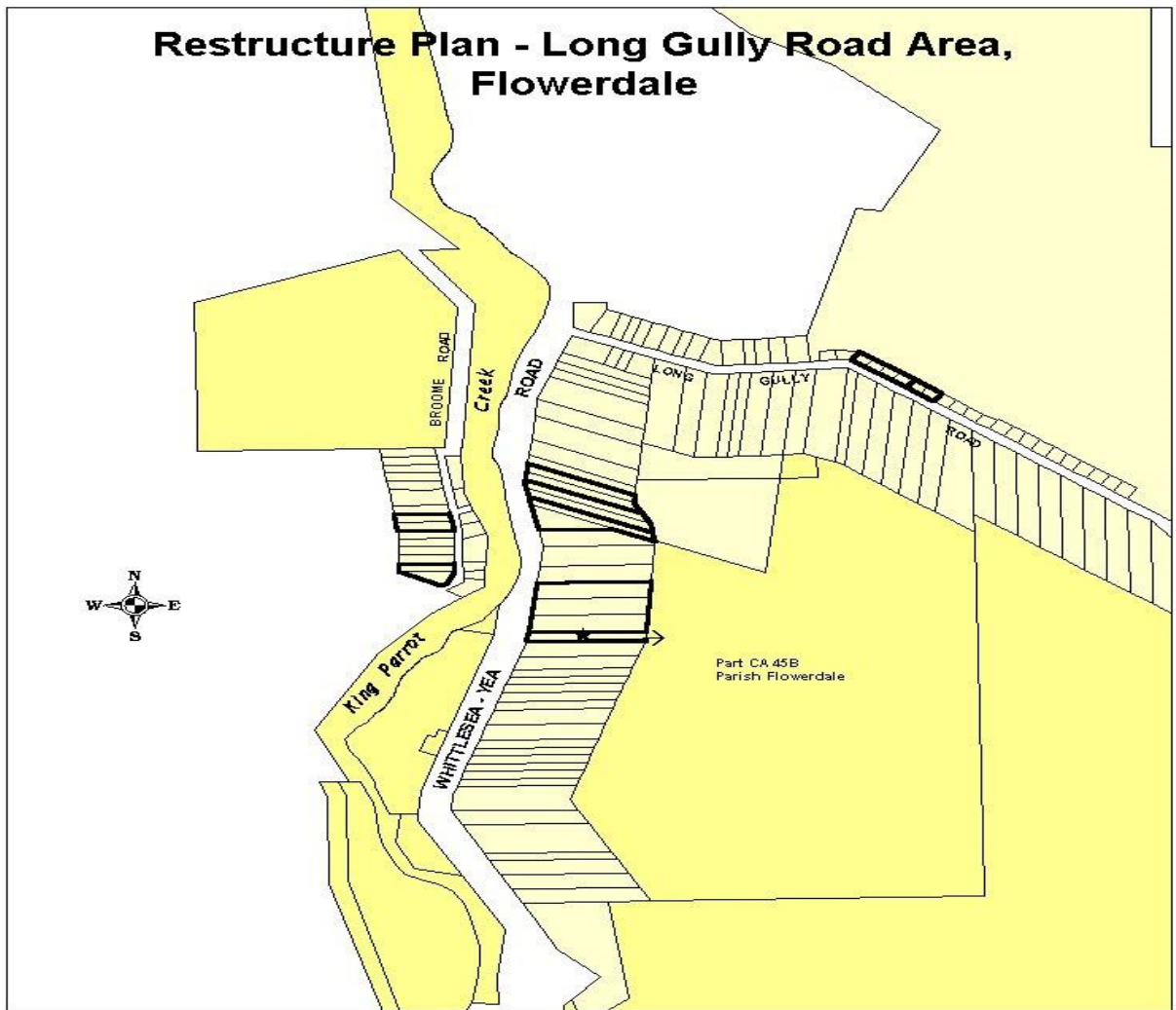
Lot No.	Vacant / Occupied	Effect of Restructure Plan
		consolidated lots
6	Lots 51 & 52 LP 12294	Vacant
		Maximum of one new dwelling with a planning permit and consolidation of lots
7	Lot 53 LP 12294	Vacant
		Existing dwelling with consolidated lots
	Lot 54 LP 12294	Existing dwelling
8	Lots 49 & 50 LP 12294	Existing dwelling
		Existing dwelling with consolidated lots
9	Lot 6 LP 12294	Vacant
		Existing dwelling with consolidated lots
	Lot 29 LP 12294	Existing dwelling
10	Lots 7 & 8 LP 12294	Vacant
		Maximum of one new dwelling with a planning permit and consolidation of lots
11	Lots 9, 10 & 11, LP 12294	Vacant
		Maximum of one new dwelling with a planning permit and consolidation of lots
12	Lots 12, 13, 14 & 23, LP 12294	Vacant
		Maximum of one new dwelling with a planning permit and consolidation of lots
13	Lots 24, 25 & 26, LP 12294	Vacant
		Maximum of one new dwelling with a planning permit and consolidation of lots
14	Lots 17, 18, 19, 20, 21 & 22, LP 12294	Existing dwelling
		Existing dwelling with consolidated lots

~~Lots 7 and 8, LP 12294 are indicated as being a restructure lot on the approved Restructure Plan for the Torbreck Street area, Taggerty, outlined in Part D of this schedule. These two lots may only be considered as a restructure lot, where a potential dwelling can be considered under a planning permit, if the restructure lot can be provided with suitable~~

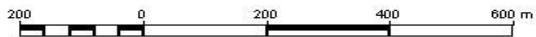
~~physical and legal access across the Maroondah Highway Road Reserve and/or adjoining private land, to the satisfaction of VicRoads and Murrindindi Shire Council.~~

Part D: Restructure Plans


Long Gully Road Area Restructure Plan




Scale 1:10,000



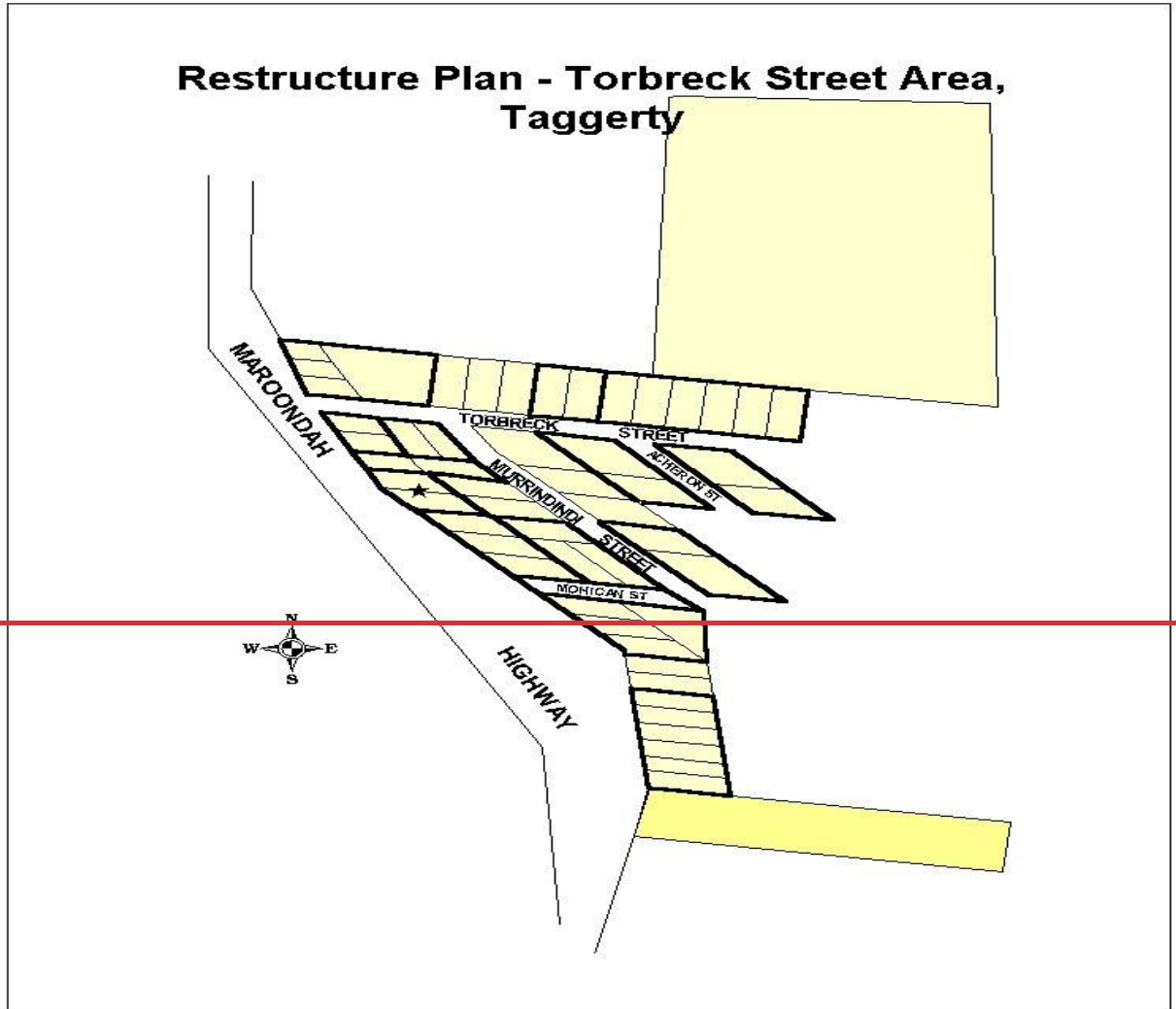
LEGEND

 Restructure lot
(refer to overlay and schedule for detailed requirements for development)

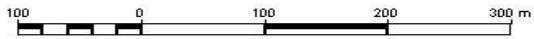
 To form a restructure lot with adjoining land to the east (Part CA 45B, Parish Flowerdale)

Torbreck Street Area Restructure Plan


Restructure Plan - Torbreck Street Area, Taggerty




Scale 1:5,000

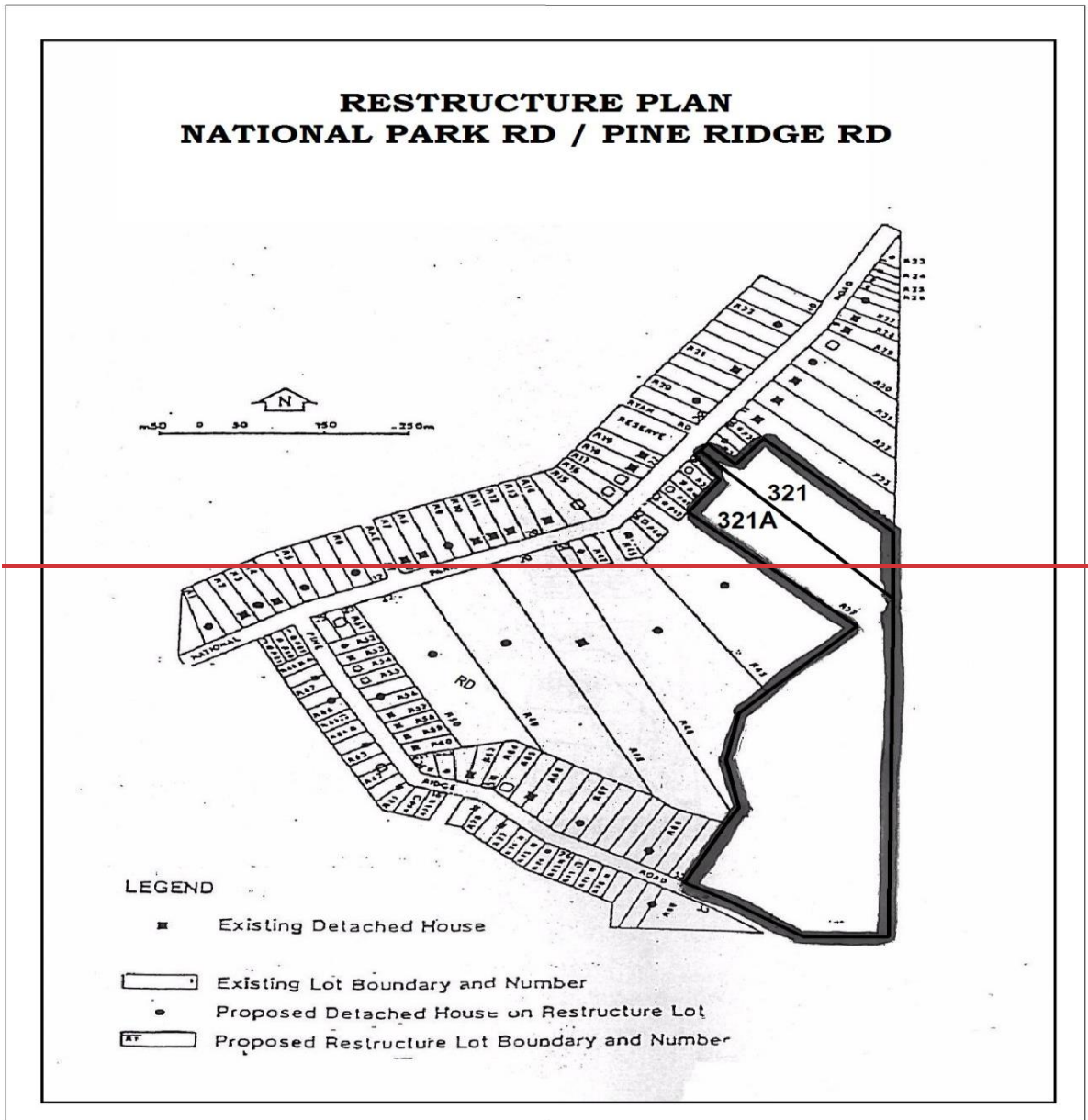


LEGEND

 Restructure lot
(refer to overlay and schedule for detailed requirements for development)

 Only to be considered as a restructure lot provided suitable physical and legal access can be gained across the Maroondah Highway Road Reserve and/or adjoining private land, to the satisfaction of Vic Roads and Murrindindi Shire Council

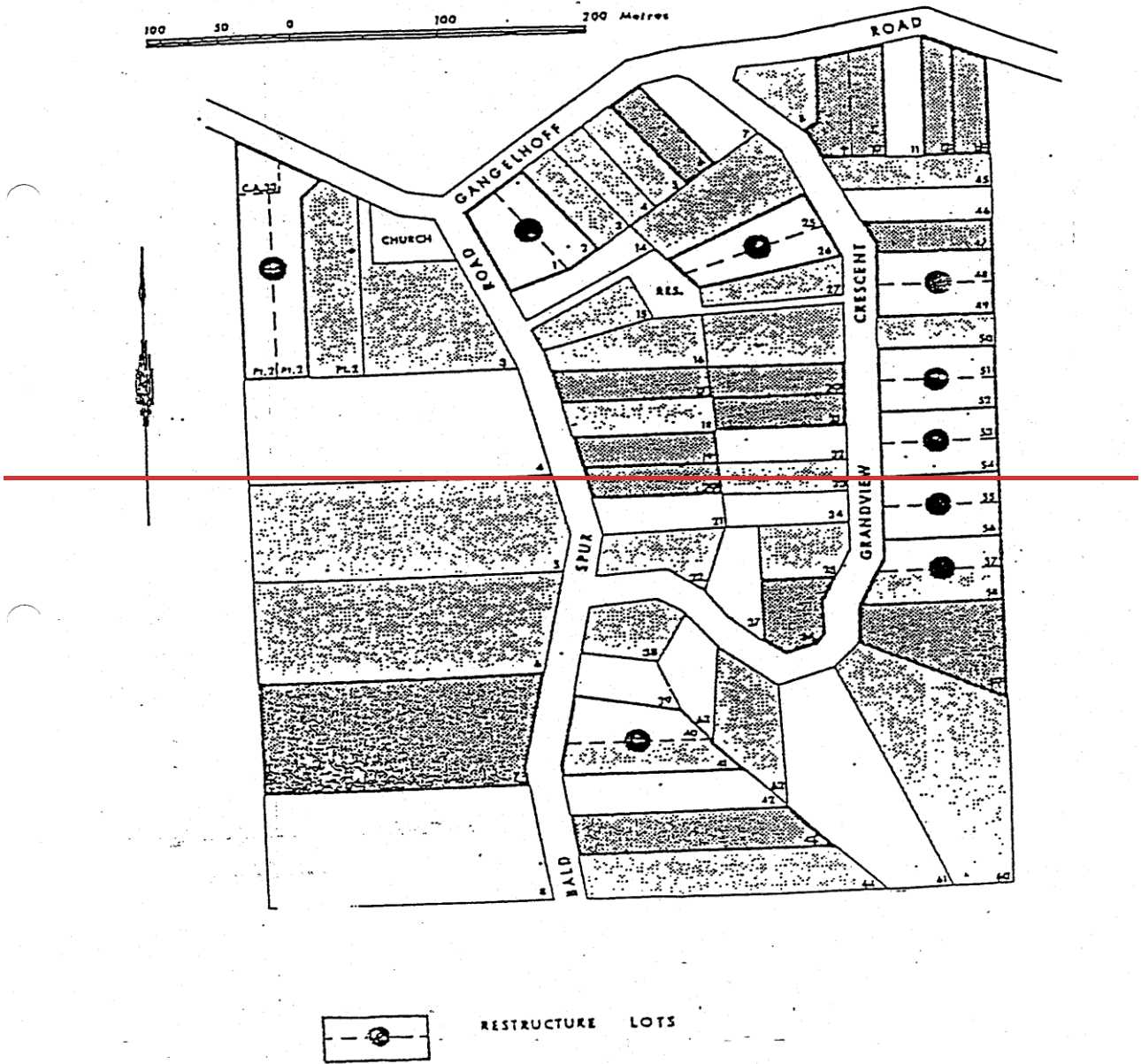
National Park Road / Pine Ridge Road Restructure Plan



Grandview Crescent Restructure Plan

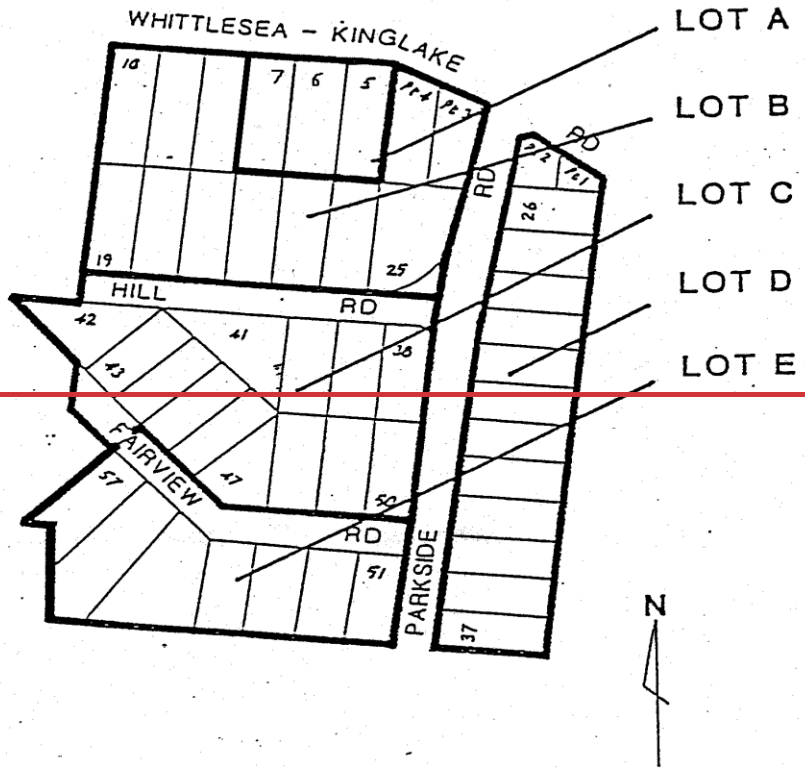
GRANDVIEW CRESCENT RESTRUCTURED ALLOTMENT PLAN

100 50 0 100 200 Metres



Bayview Crescent Restructure Plan

BAYVIEW ESTATE



LEGEND

- A Proposed Restructuring Lot
- 18 Existing Lot

SCALE:1:3600

08/07/2021
GC161

SCHEDULE TO CLAUSE 45.12 SPECIFIC CONTROLS OVERLAY

1.0
20/10/2022
C72muri

Specific controls

PS Map Ref	Name of incorporated document
SCO1	Pheasant Creek Supermarket and Service Station 1 Pheasant Creek Road, Pheasant Creek, July 2013
SCO2	969 Goulburn Valley Highway, Thornton (Tanglewood Music Festival)– September 2022
SCO3	Major Tourism Facility, Marysville, March 2012

31/07/2018
VC148

SCHEDULE TO CLAUSE 51.01 SPECIFIC SITES AND EXCLUSIONS

1.0
08/07/2021
GC161

Specific sites and exclusions

Address of land	Title of incorporated document
1731 Maroondah Highway, Buxton, VIC 3711	1731 Maroondah Highway, Buxton, March 2012.

06/06/2022
C66muri

SCHEDULE TO CLAUSE 52.02 EASEMENTS, RESTRICTIONS AND

1.0
06/06/2022
C66muri

Under Section 23 of the Subdivision Act 1988

Land	Easement or restriction	Requirement
None specified		

2.0
06/06/2022
C66muri

Under Section 24A of the Subdivision Act 1988

Land	Person	Action
None specified		

3.0
06/06/2022
C66muri

Under Section 36 of the Subdivision Act 1988

Land	Easement or right of way	Requirement
None specified		

06/06/2022
C66muri

SCHEDULE TO CLAUSE 52.05 SIGNS

1.0
06/06/2022
C66muri

Exemption from notice and review

Land	Condition
None specified	

06/06/2022
C66muri

SCHEDULE TO CLAUSE 52.16 NATIVE VEGETATION PRECINCT

1.0
15/09/2008
VC49

Native vegetation precinct plan

Name of plan

None specified

12/12/2017
VC138

SCHEDULE TO CLAUSE 52.17 NATIVE VEGETATION

1.0
06/06/2022
C66muri

Scheduled area

Area	Description of native vegetation for which no permit is required to remove, destroy or lop
------	--

None specified

2.0
06/06/2022
C66muri

Scheduled weed

Area	Description of weed
------	---------------------

None specified

06/06/2022
C66muri

SCHEDULE TO CLAUSE 52.27 LICENSED PREMISES

1.0
06/06/2022
C66muri

Permit not required

Land	Type of licence
------	-----------------

None specified

2.0
06/06/2022
C66muri

Permit may not be granted

Land	Type of licence
------	-----------------

None specified

11/07/2019
C65muri

SCHEDULE TO CLAUSE 52.28 GAMING

1.0 Objectives

11/07/2019
C65muri

- To minimise harm from gaming and the incidence of problem gambling.
- To discourage the location of gaming machines in and proximate to disadvantaged and vulnerable communities.
- To minimise opportunities for convenience and impulse gaming.
- To protect the amenity of surrounding uses from venues containing gaming machines.

2.0 Prohibition of a gaming machine in a shopping complex

11/07/2019
C65muri

Installation or use of a gaming machine as specified in Clause 52.28-4 is prohibited on land described in Table 1 below.

Table 1

Name of shopping complex and locality	Land description
None specified	None specified

3.0 Prohibition of a gaming machine in a strip shopping centre

11/07/2019
C65muri

A gaming machine as specified in Clause 52.28-5 is prohibited in all strip shopping centres on land covered by this planning scheme.

4.0 Locations for gaming machines

11/07/2019
C65muri

Gaming venues and machines should be located:

- Where tourism is strongly evident and supported in policy and where large numbers of persons pass through the region and are inclined to stop.
- Where the population is growing or expected to grow. In these areas gaming machines should not be established ahead of the provision of non-gambling entertainment, recreation facilities and social infrastructure.
- Where they will make a positive contribution to the redistribution of gaming machines away from relatively disadvantaged areas, as defined by the latest SEIFA index of relative socio-economic disadvantage.
- Where there is a choice of non-gaming entertainment and recreation facilities operating in the vicinity at the times that the proposed gaming venue will operate including hotels, clubs, cinemas, restaurants, bars and indoor recreation facilities.
- On sites that minimise the likelihood of people passing the venue in the course of their usual business or every day activities.
- At the periphery of activity centres and removed from land zoned for a commercial purpose or at a sports or recreation club or course.
- On sites that could reasonably be perceived as a destination in its own right. This would be achieved by separation from strip shopping centres, shopping complexes, railway stations and community facilities involving a high concentration of people undertaking daily activities.
- In venues that are greater than 400 metres walking distance of a Statistical Area (SA1) that is in the 20% most disadvantaged SA1 in Murrindindi Shire, as set out in the latest SEIFA Index of relative socio-economic disadvantage.
- Outside of areas :
 - Where a proposed venue would reasonably be considered to be convenient to uses of strip shopping centres identified in Section 3.0 of this Schedule.

- Proximate to where convenience services are provided and where no or limited alternative attractions are offered.
- Within 400 metres walking distance of a concentration of social (public and community) housing. This means housing for people on lower incomes that is owned or leased by the Department of Human Resources, registered housing associations or not-for-profit housing organisations. A concentration of social (community and public) housing will generally be said to exist if there are 50 or more dwellings of that type within a circle with a 150 metre radius.
- Within line of sight of a social support agency or gamblers help centre.
- Proximate to areas where local convenience services are provided and where no or limited alternative attractions are offered.
- Convenient to concentrations of shops, major community facilities or key public transport nodes where large numbers of pedestrians are likely to pass in the course of their daily activities.
- Abut, are adjacent to, are opposite or are in the direct line of sight of a strip shopping centre.

5.0

11/07/2019
C65muri

Venues for gaming machines

Gaming machines should be located in venues:

- That have a range of entertainment and leisure options and offer social and recreational opportunities other than gaming as the primary purpose of the venue.
- Where the premises and associated uses are compatible with the predominant surrounding land uses.
- That already have gaming machines (in preference to the establishment of a new gaming venue).
- Where the design and operation will not detrimentally affect the amenity of the surrounding area.
- That do not operate 24 hours a day.
- That have a gaming floor area of 25% or less of the total floor area accessible by the public.

6.0

11/07/2019
C65muri

Application requirements

The following application requirements apply to an application for a permit under Clause 52.28, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A statement detailing how the application is consistent with the broader Planning Policy Framework, including policies on recreation and entertainment, economic development, tourism and town development.
- A venue management plan identifying mitigating strategies to manage patron behaviour and minimise problem gambling in relation to the design and management of the venue, including the venue operator's responsible gaming practices.
- Detailed plans of the design and layout of the premises including the location of all existing and proposed gaming machines, signage, external lighting and evidence of compliance with any relevant gaming regulations for premises layout, design and operation of the gaming venue.
- Social and economic impact assessment prepared by a suitably qualified and experienced person that provides a robust assessment of the social and economic impacts (positive and negative) of the proposed EGMs. The social and economic impact assessment should address but not necessarily be limited to the following:
 - Details on the proposed number of gaming machines and associated forecast gaming expenditure (player losses).
 - Details about the existing and proposed distribution and density of gaming machines in the municipality and local area, any proposed reallocation of gaming machines in the municipality, and the proposal's expected impact on patronage.
- If the applicant contends that gaming expenditure is likely to be transferred from other venues, the applicant is to provide:

- Particulars as to how the level of transfer has been calculated (including, but not limited to comparison per machine expenditure at the venue prior to and then after the additional machines, current usage levels of machines at the venue, and projected usage of machines at the venue after the additional machines).
- The amount of transfer expenditure anticipated.
- Details of the nature and extent of community benefits expected from the proposal and how the benefits are to be secured and distributed to the broader local community.
- A detailed social profile of the population within the catchment area of the venue, including:
 - The relative socio-economic disadvantage of the local neighbourhood and suburb and broader 5 kilometre catchment of the venue.
 - The latest SEIFA index of relative socio-economic disadvantage.
 - The projected growth, housing affordability and housing stress, income levels, unemployment rates, educational retention and attainment levels, and the percentage of social security recipients.
 - Details of existing and proposed gambling and non-gambling entertainment and recreation facilities at the venue and within a 5 kilometre radius of the venue including existing and proposed electronic gaming machine density and location of other gambling venues.
 - Details of the venue's distance to shopping complexes, strip shopping centres, major areas of community congregation, proximity to areas of normal daily activity such as public transport, shops, community facilities, schools, early childhood centres, community facilities and proximity to welfare and counselling services.
 - Details of currently available social support services including: specific problem gambling services, financial counselling services, and material and financial aid services; the location of these services in relation to both the revenue and patron catchment area; and the level of current demand for these services.
 - Pedestrian counts for venues which are within close proximity to places where large numbers of pedestrians are likely to pass in the course of their daily activities. Pedestrian counts should be taken on different days and at a variety of times.
 - A detailed overall assessment, which shows and summarises the economic and social impacts of the proposal and their effect on community wellbeing and health.

7.0

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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 52.28, in addition to those specified in Clause 52.28 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposal will positively respond to harm minimisation.
- Whether the proposal will be proximate to areas of socio-economic disadvantage.
- Whether the proposal will facilitate convenience and impulse gambling.
- In the terms of Clause 71.02-3, whether there is to be a net community benefit derived from the application, aside from any community contribution scheme.
- Whether users of the gaming venue will have a genuine choice of gaming and non-gaming entertainment in the local area and in the venue itself.

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SCHEDULE TO CLAUSE 52.32 WIND ENERGY FACILITY

1.0
31/07/2018
VC148

Wind energy facility prohibition

Land where a Wind energy facility is prohibited

None specified

31/07/2018
VC148

SCHEDULE TO CLAUSE 52.33 POST BOXES AND DRY STONE WALLS

1.0
31/07/2018
VC148

Permit requirement for dry stone walls

Land

None specified

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SCHEDULE TO CLAUSE 53.01 PUBLIC OPEN SPACE CONTRIBUTION AND SUBDIVISION

1.0

Subdivision and public open space contribution

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Type or location of subdivision	Amount of contribution for public open space
None specified All rural living zone land	2 percent
All residential zoned land	None specified 5 percent
All commercial zoned land	5 percent
All industrial zoned land	5 percent

18/02/2021
GC175**SCHEDULE TO CLAUSE 53.06 LIVE MUSIC ENTERTAINMENT VENUES****1.0**04/05/2022
VC210**Areas to which Clause 53.06 does apply**

Name of area	Description
None specified	

2.004/05/2022
VC210**Areas to which Clause 53.06 does not apply**

Name of area	Description
None specified	

3.004/05/2022
VC210**Other venues to which Clause 53.06 applies**

Name of venue	Address	Condition or limitation
None specified		

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SCHEDULE TO CLAUSE 53.15 STATEMENT OF UNDERLYING PROVISIONS

1.0
31/07/2018
VC148

Incorporated statement

Land	Incorporated Document
None specified	None specified

SCHEDULE TO CLAUSE 59.15 LOCAL VICSMART APPLICATIONS

31/07/2018
VC148
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1.0 Table 1 Classes of VicSmart application under zone provisions

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Name of zone or class of zone	Class of application	Permit requirement provision	Information requirements and decision guidelines
None specified			

2.0 Table 2 Classes of VicSmart application under overlay provisions

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Name of overlay or class of overlay	Class of application	Permit requirement provision	Information requirements and decision guidelines
<u>None specified</u> <u>Clause 42.01</u> <u>Environmental</u> <u>Significance</u> <u>Overlay –</u> <u>Schedule 1</u> <u>(ESO1)</u>	<u>Alterations and additions to an existing dwelling if the proposed floor area is less than 100 percent of the existing floor area</u>	<u>Clause 42.01-2</u>	<u>Clause 59.05</u>
<u>Clause 42.01</u> <u>Environmental</u> <u>Significance</u> <u>Overlay –</u> <u>Schedule 1</u> <u>(ESO1)</u>	<u>Any outbuilding or extension to an outbuilding associated with existing dwelling on land or the use of agriculture when the outbuilding is less than 200 square metres</u>	<u>Clause 42.01-2</u>	<u>Clause 59.05</u>
<u>Clause 44.06</u> <u>Bushfire</u> <u>Management</u> <u>Overlay –</u> <u>Schedule 1</u> <u>(BMO1)</u>	<u>Construction or extension of an extension or outbuilding greater 100 square metres where only a Bushfire Management Statement is required and no referral of the application is necessary</u>	<u>Clause 44.06-2</u>	<u>Clause 59.05</u>
<u>Clause 44.06</u> <u>Bushfire</u> <u>Management</u> <u>Overlay –</u> <u>Schedule 1</u> <u>(BMO2)</u>	<u>Construction or extension of an extension or outbuilding greater 100 square metres where only a Bushfire Management Statement is required and no referral of the application is necessary</u>	<u>Clause 44.06-2</u>	<u>Clause 59.05</u>
<u>Clause 45.05</u> <u>Restructure</u> <u>Overlay –</u> <u>Schedule 1</u> <u>(BMO1)</u>	<u>Construction or extension of an outbuilding in association with an existing dwelling</u>	<u>Clause 45.05-2</u>	<u>Clause 59.05</u>

3.0 Table 3 Classes of VicSmart application under particular provisions

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Name of particular provision	Class of application	Permit requirement provision	Information requirements and decision guidelines
None specified <u>Clause 52.05 Signs</u>	<u>Home based business sign greater than 0.2 square metres but less than 0.4 square metres</u>	<u>Clause 52.05-13</u>	<u>Clause 59.09</u>
<u>Clause 52.05 Signs</u>	<u>Home based business sign greater than 0.2 square metres but less than 0.4 square metres</u>	<u>Clause 52.05-14</u>	<u>Clause 59.09</u>
<u>Clause 52.17 Native Vegetation</u>	<u>Remove, destroy or lop native vegetation, including dead native vegetation of between 2 and 3 trees</u>	<u>Clause 52.17-1</u>	<u>Clause 59.06</u>
<u>Clause 52.27 Licensed premises</u>	<u>Use land to sell or consume liquor on the premises in association with a Food and drink premises (other than Bar and Hotel) in the Commercial 1 Zone where the hours of trading allowed under the licence are within the hours of 7.00 am and 11.00 pm.</u>	<u>Clause 52.27</u>	<u>Clause 59.16-Schedule 1</u>

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SCHEDULE 1 TO CLAUSE 59.16 INFORMATION REQUIREMENTS AND DECISION GUIDELINES FOR LOCAL VICSMART APPLICATIONS

LICENSED PREMISES

1.0

Information requirements

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VC148
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None specified

An application must be accompanied by the following information as appropriate:

- A copy of title for the subject land and a copy of any registered restrictive covenant.
- A site and layout plan, drawn to scale and fully dimensioned showing:
 - The site shape, size and orientation.
 - The location of the existing building, car parking area, driveways and storage areas.
 - The internal layout of the building.
 - A red line showing the area proposed to be licenced.
 - The adjoining land uses.
- A written statement that describes:
 - The existing use, hours of operation and licenced area.
 - The proposed use of the land, nature of the proposed license sought to sell or consume liquor with the intended liquor licence trading hours, number of staff employed, patrons and seats available to the public.
 - Any proposed entertainment.
 - Any proposed noise attenuation measures to protect sensitive interfaces.
 - A copy of any current liquor licence and plans for the premises if applicable.

2.0

Decision guidelines

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None specified

In assessing an application the responsible authority must consider as appropriate:

- The impact of the sale or consumption of liquor permitted by the liquor licence on the amenity of the surrounding area.
- The impact of the hours of operation on the amenity of the surrounding area.
- The impact of the number of patrons on the amenity of the surrounding area.
- The impact on the amenity of the surrounding area as a result of any licensed area external to the premises.

SCHEDULE TO CLAUSE 66.04 REFERRAL OF PERMIT APPLICATIONS UNDER LOCAL PROVISIONS

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1.0

Referral of permit applications under local provisions

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Clause	Kind of application	Referral authority	Referral authority type
Clause 3.0 of Schedule 1 to Clause 42.03 (SLO)	All applications	Secretary to the Department of Energy, Environment, Land, and Climate Action <u>Water and Planning</u>	Determining referral authority
Clause 3.0 of Schedule 2 to Clause 42.03 (SLO)	All applications	Secretary to the Department of Energy, Environment, Land, and Climate Action <u>Water and Planning</u>	Determining referral authority
<u>Clause 2.0 of Schedule 1 to 43.04 (DPO)</u>	<u>All applications</u>	<u>Head, Transport for Victoria (Department of Transport and Planning)</u>	<u>Determining referral authority</u>
<u>Clause 2.0 of Schedule 2 to 43.04 (DPO)</u>	<u>All applications</u>	<u>Head, Transport for Victoria (Department of Transport and Planning)</u>	<u>Determining referral authority</u>
<u>Clause 2.0 of Schedule 3 to 43.04 (DPO)</u>	<u>All applications</u>	<u>Head, Transport for Victoria (Department of Transport and Planning)</u>	<u>Determining referral authority</u>
Clause 2.0 of Schedule 4 to 43.04 (DPO)	Any subdivision proposal for the whole of the land described as 32 McKenzie Street, or any development proposal on any lot to be created adjacent to the UT Creek reserve	Secretary to the Department of Environment, Land, Water and Planning <u>Head, Transport for Victoria (Department of Transport and Planning)</u>	Determining referral authority
<u>Clause 2.0 of Schedule 5 to 43.04 (DPO)</u>	<u>All applications</u>	<u>Head, Transport for Victoria (Department of Transport and Planning)</u>	<u>Determining referral authority</u>
<u>Clause 5 of Schedule 1 to 44.03 (FO)</u>	<u>Any application other than an application that is not in accordance with the Murrindindi Local Floodplain Development Plan, Precinct of Goulburn River, May 2008.</u>	<u>Goulburn Broken Catchment Management Authority</u>	<u>Determining referral authority</u>

Clause 5 of
Schedule 1 to
44.04 (LSIO)

Any application other
than an application that is
not in accordance with
the Murrindindi Local
Floodplain Development
Plan, Precinct of
Goulburn River, May
2008.

Goulburn Broken
Catchment
Management Authority

Determining referral authority

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SCHEDULE TO CLAUSE 66.06 NOTICE OF PERMIT APPLICATIONS UNDER LOCAL PROVISIONS

1.0
11/07/2019
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Notice of permit applications under local provisions

Clause	Kind of application	Person or body to be notified
13.02-1	An application to use or develop land affected by the Bushfire Management Overlay or located in a designated bushfire prone area	Murrindindi Municipal Fire Management Planning Committee
<u>43.02-Schedule 1</u>	<u>An application for buildings and works that are less than 30 metres from the high water mark of King Parrot Creek</u>	<u>Goulburn Murray Water</u>

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SCHEDULE TO CLAUSE 72.01 RESPONSIBLE AUTHORITY FOR THIS PLANNING SCHEME

1.0
31/07/2018
VC148

Responsible authority for administering and enforcing this planning scheme:

The Murrindindi Shire Council is the responsible authority for administering and enforcing the planning scheme, except for matters specified in Clause 72.01-1 and matters listed in this schedule.

2.0
31/03/2022
GC192

Responsible authority for administering and enforcing a provision of this planning scheme:

The Minister for Planning is the responsible authority for administering and enforcing the planning scheme for the land at:

- 4 Murchison Street, Marysville, described as Lot 1, Plan of Subdivision LP221571M and contained in Certificate of Title Volume 10007 Folio 536.

3.0
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Person or responsible authority for issuing planning certificates:

Minister for Planning.

4.0
06/05/2020
VC179

Responsible authority for VicSmart and other specified applications:

The Chief Executive Officer of Murrindindi Shire Council is the responsible authority for considering and determining VicSmart applications to which Clause 71.06 applies, in accordance with Divisions 1, 1A, 2 and 3 of Part 4 of the Act.

The Chief Executive Officer of Murrindindi Shire Council is the responsible authority for considering and determining any application that the notice and review exemption in Clause 52.10-2 applies to, in accordance with Divisions 1, 1A, 2 and 3 of Part 4 of the Act.

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VC148

SCHEDULE TO CLAUSE 72.02 WHAT AREA IS COVERED BY THIS PLANNING SCHEME?

1.0
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VC148

Area covered by this planning scheme:

Murrindindi Shire Council municipal area.

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VC148

SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?

1.0

Maps comprising part of this planning scheme:

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~~XX/XX/20XX~~
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Map numbers:

- 1, 1BMO, 1EMO, 1HO, ~~1BMO~~
- 2, 2BMO, 2HO, 2LSIO-FO, ~~2BMO~~
- 3, 3HO, 3LSIO-FO
- 4, 4BMO, 4HO, ~~4BMO~~
- 5, 5BMO, 5EMO, 5ESO, 5HO, 5LSIO-FO, ~~5BMO~~
- 6, 6BMO, 6DPO, 6EMO, 6ESO, 6HO, 6LSIO-FO, ~~6BMO~~
- 7, 7DPO, 7EMO, 7ESO, 7HO, 7LSIO-FO
- 8, 8BMO, 8EMO, 8ESO, 8HO, 8LSIO-FO, ~~8BMO~~
- 9, 9DPO, 9ESO, 9HO, 9LSIO-FO
- 10, 10BMO, 10DPO, 10ESO, 10HO, 10LSIO-FO, 10SCO, 10SLO, ~~10BMO~~, ~~10SCO~~
- 11, 11BMO, 11DPO, 11ESO, 11HO, 11LSIO-FO, ~~11BMO~~
- 12, 12BMO, 12ESO, 12HO, 12LSIO-FO, ~~12BMO~~
- 13, 13BMO, 13ESO, 13HO, 13LSIO-FO, 13SLO, ~~13BMO~~
- 14, 14BMO, 14LSIO-FO, 14SLO, ~~14BMO~~
- 15, 15BMO, 15DPO, 15ESO, 15HO, 15LSIO-FO, 15SLO, ~~15BMO~~
- 16, 16BMO, ~~16EMO~~, 16ESO, 16EMO, 16LSIO-FO, ~~16BMO~~
- 17, 17BMO, 17EMO, 17LSIO-FO, 17RO, ~~17BMO~~
- 18, 18BMO, ~~18EMO~~, 18DDO, 18EMO, 18LSIO-FO, ~~18BMO~~
- 19, 19BMO, ~~19EMO~~, 19DDO, 19EMO, 19LSIO-FO, ~~19BMO~~
- 20, 20BMO, 20EMO, 20ESO, 20HO, 20LSIO-FO, ~~20BMO~~
- 21, 21BMO, 21EMO, 21LSIO-FO, ~~21BMO~~
- 22, 22BMO, 22ESO, 22HO, 22LSIO-FO, 22RO, 22SCO, 22SLO, ~~22BMO~~, ~~22SCO~~
- 23, 23BMO, 23ESO, 23HO, 23LSIO-FO, 23SLO, ~~23BMO~~
- 24, 24BMO, 24DPO, 24HO, 24LSIO-FO, 24SLO, ~~24BMO~~
- 25, 25BMO, 25HO, 25LSIO-FO, ~~25BMO~~
- 26, 26BMO, ~~26ESO~~, 26DPO, 26ESO, 26RO, ~~26BMO~~
- 27, 27BMO, ~~27ESO~~, 27DPO, 27ESO ~~27BMO~~
- 28, 28BMO, 28DPO, 28ESO, ~~28DPO~~, 28HO, ~~28BMO~~, 28SCO
- 29, 29BMO, 29ESO, 29HO, 29RO, ~~29BMO~~
- 30, 30BMO, 30ESO, 30LSIO-FO, ~~30BMO~~
- 31, 31BMO, 31ESO, 31HO, ~~31BMO~~
- 32, 32BMO, 32HO, 32LSIO-FO, 32VPO, ~~32BMO~~
- 33, 33BMO, 33HO, 33DPO, ~~33BMO~~
- 34, 34BMO, 34LSIO-FO, ~~34BMO~~

- 35, 35BMO, 35DDO, 35DPO, 35EAO, 35HO, ~~35VPO~~, 35LSIO-FO, ~~35BMO~~, 35SCO, 35VPO,
- 36, 36BMO, 36VPO, ~~36BMO~~

SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME

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VC148
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1.0

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Incorporated documents

Name of document	Introduced by:
Goulburn-Murray Water Native Vegetation Code of Practice, February 2011	C40
Murrindindi Local Floodplain Development Plan, Precinct of Goulburn River, May 2008	C22
Pheasant Creek Supermarket and Service Station 1 Pheasant Creek Road, Pheasant Creek, July 2013	C36
1731 Maroondah Highway, Buxton, March 2012	C37
Major Tourism Facility, Marysville, March 2012	C39
Murrindindi Shire Heritage Overlay (HO) Permit Exemptions, 2011	C43(Part 1)
Powerline Bushfire Safety Program - Native Vegetation Removal Code of Practice, August 2016	GC57
Advisory list of environmental weeds of the ranges bioregions of Victoria, Department of Sustainability and Environment, 2009 (as amended)	C63muri
969 Goulburn Valley Highway, Thornton (Tanglewood Music Festival) – September 2022	C72muri
Murrindindi Planning Scheme Restructure Plans	CXXmuri

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VC148

SCHEDULE TO CLAUSE 72.05 WHEN DID THIS PLANNING SCHEME BEGIN?

1.0
31/07/2018
VC148

Date this planning scheme began:

6 May 1999

SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

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1.0

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Background documents

Name of background document	Amendment number - clause reference
<i>Australia ICOMOS Charter for Places of Cultural Heritage Significance 1999 (the Burra Charter)</i>	02.03; 43.01s
<i>Eildon Urban Design Framework (Urban Enterprise Pty Ltd, 2003)</i>	02.03
<i>Goulburn Broken Regional Catchment Management Strategy 20132021-20192027</i> (Goulburn Broken Catchment Management Authority, 2013 2021)	02.03
<i>Goulburn River Tourism Destination Management Plan (Urban Enterprise Pty Ltd, 2017)</i>	02.03
<i>Infrastructure Design Manual (Local Government Infrastructure Design Association, 20182019)</i>	02.03; 19.03-2L
<i>Kinglake Ranges, Flowerdale and Toolangi Plan and Design Framework (AECOM, 2014)</i>	02.03
<i>Lake Eildon Land and On-water Management Plan (Goulburn Murray Water, 2012)</i>	02.03
<i><u>Management of Significant Landscapes in Murrindindi and Baw Baw, Draft Character Analysis Paper (Planisphere, 2004)</u></i>	<u>02.03, 12.05-2L, 42.03 – Schedule 1, 42.03 – Schedule 2</u>
<i><u>Management of Significant Landscapes in Murrindindi and Baw Baw, Murrindindi Shire Toolkit (Planisphere, 2004)</u></i>	<u>02.03, 12.05-2L, 42.03 – Schedule 1, 42.03 – Schedule 2</u>
<i>Marysville and Triangle Urban Design Framework Report (Roberts Day, 2009)</i>	02.03
<i><u>Murrindindi Planning Scheme Review (Plan2Place Consulting, 2023)</u></i>	<u>02.03, 02.04, 12.05-2L, 17.04-1L, 59.16</u>
<i>Murrindindi Shire Council and Lake Mountain Alpine Resort Municipal Emergency Management Plan (2014)</i>	02.03
<i>Murrindindi Shire Council and Lake Mountain Alpine Resort Municipal FireManagement Plan (2016)</i>	02.03
<i><u>Murrindindi Shire Council Recreation & Open Space Strategy 2018-2028 (Murrindindi Shire Council, 2018)</u></i>	<u>02.03</u>
<i><u>Murrindindi Shire Domestic Wastewater Management Plan (Decentralised Water Consulting, 2022)</u></i>	<u>14.02-1L</u>
<i>Murrindindi Shire Gaming Policy Review (10 Consulting Group Pty Ltd, 2015)</i>	02.03; 52.28

Name of background document	Amendment number - clause reference
<i>Murrindindi Shire Heritage Study</i> (Context Pty Ltd, 2011)	02.03
<u><i>Murrindindi Shire Housing and Settlement Strategy</i> (Navy Blue Planning Pty Ltd, 2022)</u>	<u>02.03, 02.04, 11.01-1L</u>
<i>Murrindindi Shire Rural Roadside Management Plan 2014-2018</i>	02.03
<u><i>Murrindindi Shire Tourism and Events Strategy 2019-2025</i> (Urban Enterprise, 2019)</u>	<u>17.04-1L</u>
<i>Rural Living Development Guidelines</i> (Regional Planning Services and Ellen Hogan and Associates, 2004)	02.03
<u><i>Taungurung Land and Waters Council Strategic Plan 2021-2025</i> (Taungurung Land and Waters Council, 2021)</u>	<u>02.03</u>
<i>The Heritage Overlay: Guidelines for Assessing Planning Permit Applications</i> (Public draft 2007)	02.03
<i>Yea Structure Plan</i> (PLANIT Urban Design and Planning, 2014)	02.03
<i>Yea Urban Design Framework</i> (Urban Enterprise Pty Ltd, 2003)	02.03

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SCHEDULE TO CLAUSE 74.01 APPLICATION OF ZONES, OVERLAYS AND PROVISIONS

1.0 Application of zones, overlays and provisions

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This planning scheme applies the following zones, overlays and provisions to implement the Municipal Planning Strategy and the objectives and strategies in Clauses 11 to 19:

- Settlement objectives at 02.03-1 and 11.01-1L through the use of the General Residential Zone, Mixed Use Zone, Township Zone and Low Density Residential Zone within townships and settlements and the Low Density Residential Zone and Rural Living Zone on the edge and outside of townships and settlements.
- Environment and landscape values objectives at 02.03-2 and 12.05-2L through the use of the Public Park and Recreation Zone, Public Conservation and Resource Zone, and Rural Conservation Zone, the application of the Significant Landscape Overlay to significant landscapes and the Vegetation Protection Overlay to areas of identified significant native and exotic vegetation.
- Environmental risks and amenity at 02.03-3, 13.02-1L and 13.07-1L through the use of the Bushfire Management Overlay to land in the municipality that may be subject to extreme bushfire risk, the Urban Floodway Zone, Flooding Overlay Land Subject to Inundation Overlay to recognise and protect flood prone areas, the Erosion Management Overlay to areas subject to significant soil erosion and Restructure Overlays to various areas to facilitate the restructure of old and inappropriate subdivisions.
- Natural resource management at 02.03-4, 14.01-1L and 14.02-1L through the use of the Farming Zone and the Rural Activity Zone with a 40 hectare minimum lot size for subdivision and the application of the Environmental Significance Overlay Schedule 1 around Toolangi, Kinglake Ranges and the Goulburn River to protect high quality agricultural land and water quality.
- Built environment and heritage at 02.03-5, 15.02-1L and 15.03-1L through the use of the Heritage Overlay to heritage places incorporating sites, buildings, objects, landmarks, gardens, and trees of identified heritage significance, the use of the Design and Development Overlay Schedules 1 - 2 to protect land in the King Parrot Creek environs and the Marysville town centre and the Development Plan Overlay Schedules 1 – 5 to outline future development patterns for roads, lots, services and recreation land and corridors.
- Housing objectives at 02.03-6, 16.01-2.01L and 16.01-2.02L through the use of a range of residential zones outlined for Settlement to encourage a diversity of housing types across the municipality and to reflect residential development expectations in serviced and non-serviced towns.
- Economic development objectives at 02.03-7, 17.03-2L and 17.04-1L and the use of the Industrial 1 Zone and Industrial 2 over land for industrial use in Alexandra, Eildon, Pheasant Creek and Yea, the Commercial 1 Zone over town centres to create vibrant mixed use commercial centres for retail, office, business, entertainment, community uses and residential uses, the Commercial 2 Zone in Alexandra, and the Special Use Zone for infrastructure and tourism facilities.
- Transport objectives at 02.03-8 through the use of the Transport Zone Category 1 and Category 2 to identify significant roads.
- Infrastructure objectives at 02.03-9 and 19.03-2L through the use of Public Use Zones to protect public land used for public utility and infrastructure and community services and facilities.
- ~~A 40 hectare minimum lot size for subdivision in the Farming Zone and a requirement above which no planning permit is required for a dwelling.~~
- ~~The Environmental Significance Overlay to areas of high quality agricultural land around Toolangi, Kinglake Ranges and the Goulburn River.~~
- ~~The Low Density Residential and Rural Living Zones in proximity to established townships and settlements.~~
- ~~The Restructure Overlay and restructure plans to facilitate the restructure areas of old and inappropriate subdivisions in identified locations.~~
- ~~The Development Plan Overlay in some areas with larger parcels of Low Density Residential or Rural Living zoned land to outline future development patterns for roads, lots, services and recreation land and corridors.~~
- ~~The Vegetation Protection Overlay to areas with identified significant native or exotic vegetation.~~

- ~~• The Bushfire Management Overlay to all land in the municipality that may be subject to extreme bushfire.~~
- ~~• The Erosion Management Overlay to areas subject to significant soil erosion.~~
- ~~• The Urban Floodway Zone, Flood Overlay and Land Subject to Inundation Overlay to recognise and protect floodprone areas.~~
- ~~• The Significant Landscape Overlay to areas with identified significant landscape.~~
- ~~• The Heritage Overlay to sites, buildings and trees of identified heritage significance in the *Murrindindi Shire Heritage Study*, 2011.~~

SCHEDULE TO CLAUSE 74.02 FURTHER STRATEGIC WORK

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1.0 Further strategic work

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~~Prepare development plans under the Development Plan Overlay to guide the future design, subdivision, servicing, use and development of larger residential, low density residential and rural living zoned lots.~~

~~Complete and implement structure plans for the Eildon and Alexandra townships.~~

~~Complete and implement structure plans for all small townships.~~

~~Investigate lifestyle settlement opportunities in rural hamlets and former settlement locations having regard to natural environmental hazards and constraints.~~

~~Identify high quality agricultural land.~~

~~Complete and implement a review of planning requirements and controls for the declared water supply catchment area north of Eildon.~~

~~Review *Management of Significant Landscapes in Murrindindi and Baw Baw* (Planisphere, 2005).~~

~~Prepare and implement a recreation and open space strategy, including needs for recreational facilities and the provision of open space contributions and requirements through the subdivision of land. Prepare and implement a structure plan for the Alexandra township.~~

~~Partner with Agriculture Victoria to identify and review high quality agricultural land, the significance of horticultural and agricultural land and how to best manage bio-security issues.~~

~~Support and partner with Goulburn Murray Water to undertake a review of planning requirements and controls for the declared water supply catchment area north of Eildon.~~

~~Implement the report *Management of Significant Landscapes in Murrindindi and Baw Baw* (Planisphere, 2005) and introduce new SLO mapping, policy and provisions.~~

~~Implement the review of the Restructure Overlay through revisions to the Restructure Overlay schedule and update and review the Bayview Estate restructure plan.~~

~~Undertake a municipal Industrial and Commercial Land (Employment) Strategy.~~

~~Implement the review of environmental overlays with changes to maps and controls for the Significant Landscape Overlay (SLO), Environmental Significance Overlay (ESO) and Erosion Management Overlay (EMO), with the replacement of the Vegetation Protection Overlay (VPO) in the Maryville township area with the SLO.~~

~~Implement the Eildon Structure Plan, 2016.~~

~~Implement the Housing and Settlement Strategy, 2022 and provide a better understanding of the relationship of rural living and low density residential zoned land to housing provision and housing affordability.~~

~~Undertake a review of the Yea Saleyards Precinct and consider the appropriate planning response, such as applying the SUZ and BAO to the area.~~

~~Review the schedule to Clause 43.01 - Heritage Overlay to insert statements of significance for all sites not included in the Victorian Heritage Register.~~

~~Undertake an audit of social infrastructure assets and provision and the future needs of the municipality's population.~~

~~Review Schedule 1 to Clause 59.16 - information requirements and decision guidelines for local VicSmart applications to incorporate additional local classes of minor applications.~~