

## DEVELOPMENT PLAN

### 45 CAREY ROAD, YEA

#### 1. INTRODUCTION

The 45 Carey Road, Yea Development Plan comprises this document and the accompanying plan. The plan has been prepared for 45 Carey Road, Yea, being Lot 2, PS 604590, this land being located on the northeast side of the Yea Township. The land is zoned Rural Living and has the Development Plan Overlay 3 (Rural Living Zone) applying to it.

The Development Plan has been prepared in accordance with the requirements of Clause 43.04, Development Plan Overlay, of the Murrindindi Planning Scheme and Schedule 3 to the Overlay. The Development Plan is consistent with the *Yea Structure Plan* (December 2014), a reference document to the Murrindindi Planning Scheme.



## **2. DEVELOPMENT PLAN, 45 CAREY ROAD, YEA AREA**

This development plan applies to 45 Carey Road, Yea. The subject land is located approximately 2.5 kilometres north east of the Yea Township via Killingworth Road.

The land is bound to the southwest by Carey Road and to the northwest by Williamsons Road.

The site has a total land area of hectares 123 hectares, comprising one land parcel (Vol.11591 Fol. 342) and is in one ownership.

Under the Murrindindi Planning Scheme, the subject land is zoned Rural Living with a Development Plan Overlay 3 (Rural Living Zone). The site also has a small portion of land in its northeast corner covered by the Erosion Management Overlay and is therefore subject to the requirements of Clause 44.01.

The subject land is not within the existing water or sewerage districts for Yea and will be serviced by water tanks and septic systems. Mains power is available.

Schedule 3 to the DPO requires that the Murrindindi Shire Council must approve a Development Plan prior to any planning permit being granted for the subdivision of the land.

## **3. PROPOSED USE AND DEVELOPMENT OF THE LAND**

This Development Plan outlines the form and conditions for the future use and development of the land for rural living purposes. The development plan for the land is attached.

Any application for the use, subdivision or development of land must:

- Consider the objectives and performance measures outlined in this development plan.
- Be generally in accordance with this development plan.

## **4. OBJECTIVES**

The planning objectives of this Development Plan are to:

- Achieve a rural residential outcome that respects and responds to the physical and environmental conditions and restraints.

- Provide a road network that affords good levels of accessibility and safety for vehicles and pedestrians.
- Provide an open space network along Williamsons Road and the main subdivision road.
- Provide servicing to the appropriate service authority standards.
- Provide access and drainage infrastructure in accordance with the *Infrastructure Design Manual*.
- Ensure bushfire risk and bushfire protection measures are considered.
- Ensure opportunities for future open space and linkages are considered.
- Protect existing native vegetation and provide landscaping and streetscape treatment.
- Provide for the staging of subdivision and development.
- Assess need for an open space contribution in accordance with the Subdivision Act 1988.

## 5. PERFORMANCE MEASURES:

### *Infrastructure:*

- Provide infrastructure to meet Murrindindi Shire Council and relevant service authority standards, including:
  - Upgrading and provision of roads, rural pathways, crossovers and drainage in accordance with the *Infrastructure Design Manual*;
  - Onsite water provision;
  - Electricity and telecommunications, including the undergrounding of electricity for new electricity supply.
- Roads to be designed and constructed to meet Country Fire Authority standards, including:
  - All-weather emergency and service vehicle access to all lots;
  - Road turning access and widths to meet Austroads standards;
  - All internal road terminations to have suitable provision for the turning and manoeuvring of emergency vehicles.

- Williamsons Road after the access to stage one is to be constructed as part of stage four unless otherwise required by the Responsible Authority for safety or servicing purposes.
- Preparation of a Traffic Impact Assessment Report (TIAR) prior to the issue of any planning permit for subdivision. This plan to determine general traffic impacts and additional traffic loads associated with the subdivision and development of the land subject to this development plan, in conjunction with Murrindindi Shire Council. Infrastructure upgrades on adjoining roads will be informed by the approved Traffic Impact Assessment Report, including upgrades for Williamsons Road and Carey Road.
- Drainage and stormwater infrastructure to achieve:
  - No increase to the current level of drainage discharge from the land;
  - Use of best practice integrated water management water sensitive urban design principles for water conservation, stormwater / drainage design, treatment and management and the treatment and management of existing waterways and dams.
- Provide onsite wastewater disposal systems are required for all lots in the development to meet relevant Australian standards and the *Code of Practice - onsite wastewater management*, Publication No 891.4, July 2016 (or as amended).

*Waterways and drainage lines:*

- Provide building exclusion zones from all waterways, ensuring a minimum 30 metre building setback from any waterway.
- Achieve a minimum setback of 60 metres for wastewater disposal systems from any waterway.
- Stabilise the drainage line running parallel with Williamsons Road, to be planted with native indigenous plants, in consultation with Goulburn Broken Catchment Management Authority requirements and guidelines.

*Public open space:*

Open space contributions may be required in accordance with the *Subdivision Act 1988* at the relevant subdivision stage.

*Bushfire risk:*

- New dwellings to be built to a minimum BAL 12.5 construction standard (the development plan area is area is within a designated bushfire prone area).

*Environment:*

- Any removal, destruction or lopping of native vegetation on the land and offsetting requirements as a result of vegetation loss is to meet the three-step approach under *Guidelines for the removal, destruction or lopping of native vegetation, DELWP, 2017*.
- Retain and enhance biodiversity and existing native vegetation in the future subdivision and development of the land through measures that include:
  - Siting of future development, roads and services to protect remnant native vegetation.
  - Consideration of the use of Section 173 Agreements to protect native vegetation on private lots and any native vegetation within 30 metres of a waterway.
  - Provide a biodiversity report prior to issue of any planning permit for subdivision that identifies remnant native vegetation and ongoing requirements for the protection and management measures for this vegetation and the control of weeds.
- Avoid future development on slopes greater than 15 percent.

*Design and siting:*

- Implement the *Rural Living Development Guidelines, Murrindindi Shire, 2004* (or as amended) to guide development of the site and achieve an environmental benefit from subdivision and development.
- As part of any application for planning permit for subdivision or development, consider the application of a Section 173 Agreement to implement design controls such as:
  - All roofing materials to be non-reflective and of muted tones;
  - Boundary fencing to be post and wire;
  - Building and effluent exclusion zones to protect waterways, slopes over 15% and setbacks to be a minimum of 20 metres from road boundaries and 5 metres from other lot boundaries;
  - Protection and management of land within internal drainage lines;
  - Protection of environmental features, such as mature paddock trees.

## **6. STAGING**

Unless otherwise approved by the responsible authority, any subdivision or development of land is to occur in stages identified in the approved development plan.

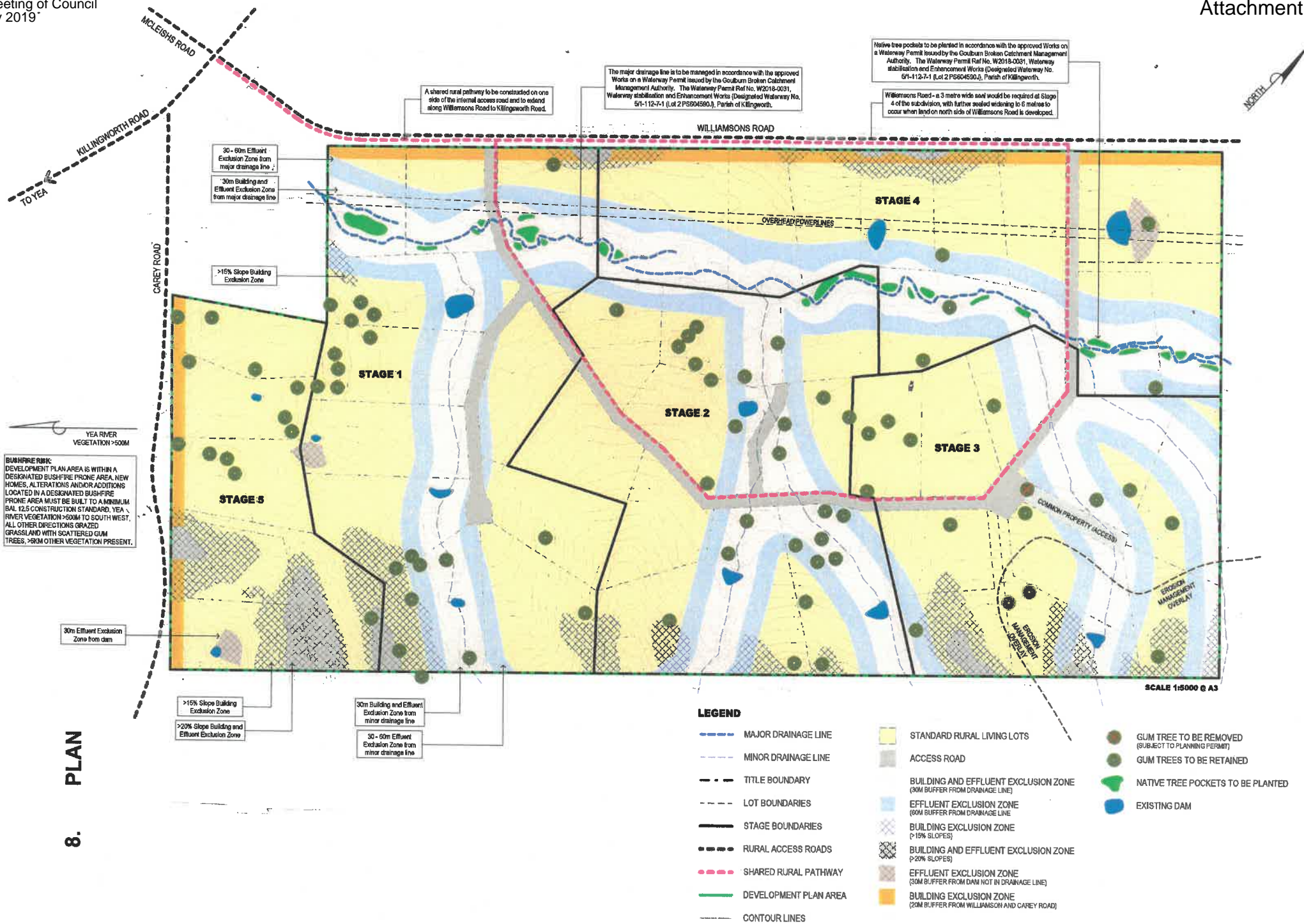
## **7. LIFE OF THE DEVELOPMENT PLAN AND PLAN REVIEW**

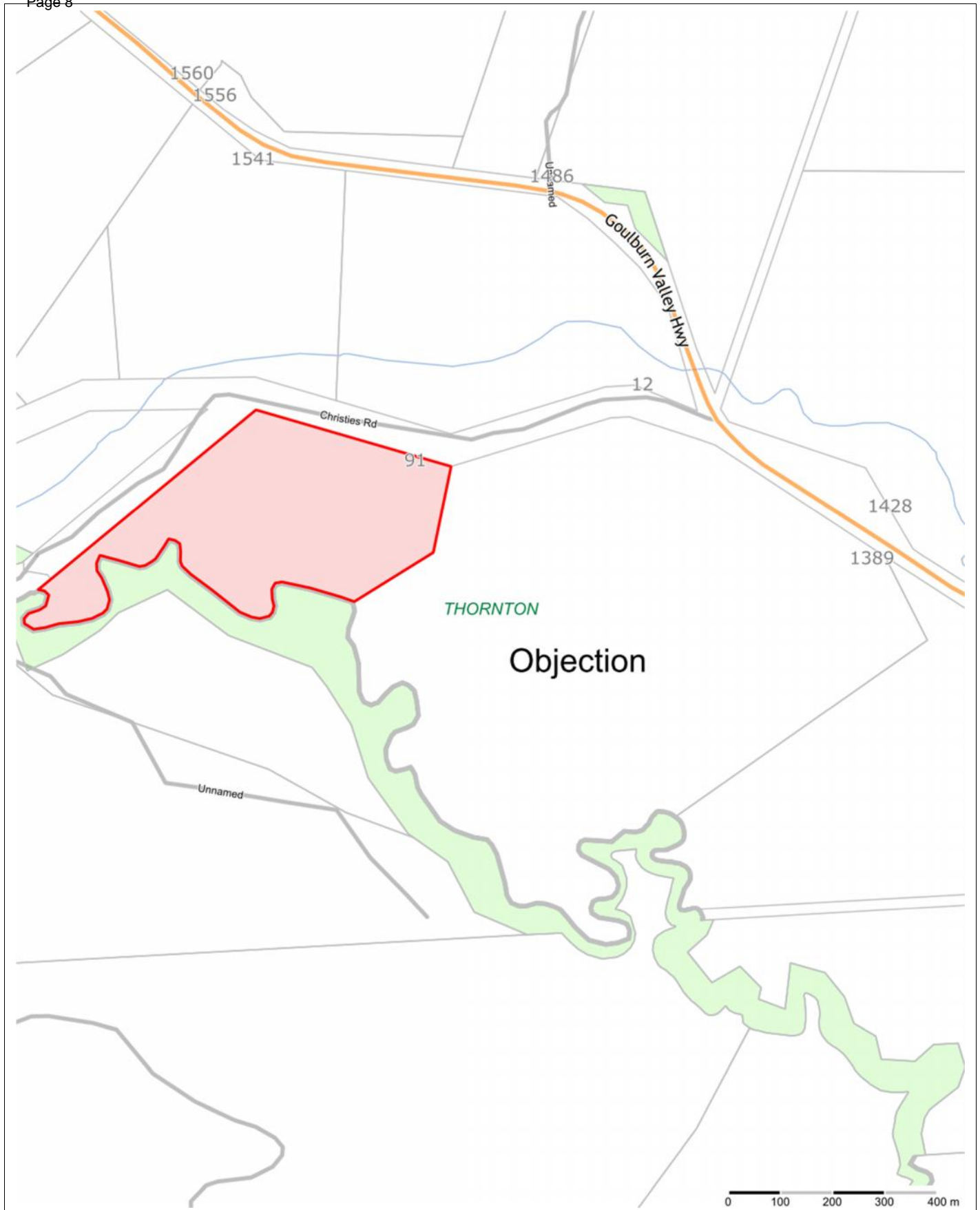
This plan will expire fifteen (15) years after the date that it is approved by Murrindindi Shire Council.



After the expiry of this development plan, the responsible authority may review and approve a new development plan. In considering any new proposal for development plan, notification may be given to potentially affected landowners, relevant service and government agencies and the general community.

In considering whether to amend this existing development plan, the responsible authority should consider the following:

- Whether the amendment meets the objectives, performance measures and provisions of the original development plan.
- Current Murrindindi Planning Scheme strategies, policies and controls for the use and development of the land.
- Relevant council directions, strategies and guidelines.
- Retention of the land for future use and development for rural living purposes.





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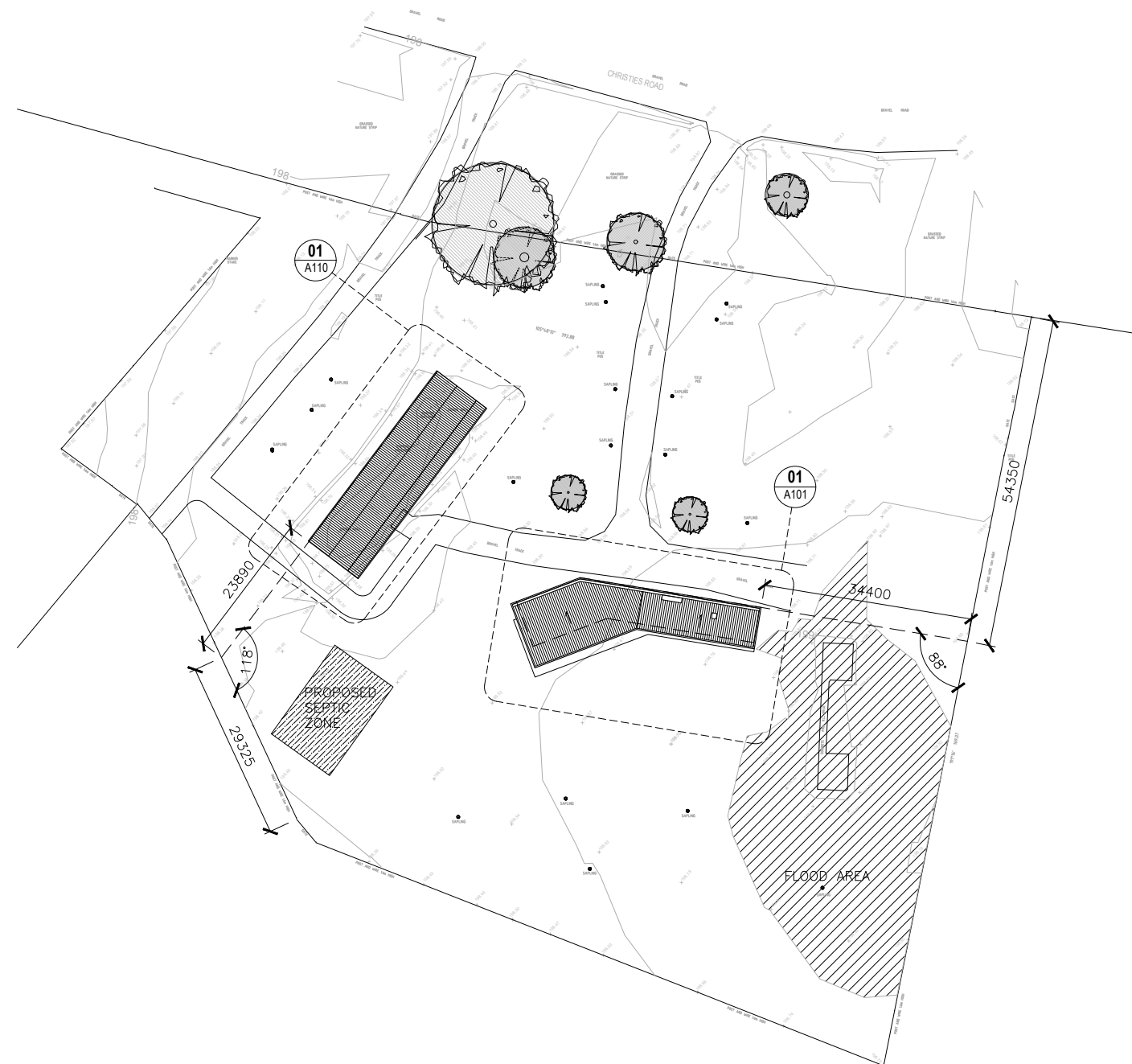


# NEW RESIDENCE & MACHINERY SHED

## 91 CHRISTIES ROAD, THORNTON, VIC 3712

### DRAWING REGISTER:

DRAWING #	DESCRIPTION	REV
A000	SITE PLAN AND DRAWING REGISTER	TP1
A100	GROUND FLOOR PLAN - RESIDENCE	TP1
A101	ROOF PLAN - RESIDENCE	TP1
A110	SHED LAYOUT PLAN	TP1
A200	ELEVATIONS - RESIDENCE	TP1
A210	ELEVATIONS - SHED	TP1
A300	MATERIALS REGISTER	TP1



**01 SITE PLAN**  
1:1000

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### MATERIAL FINISHES

MC1	METAL CLADDING
TD1	TIMBER DECKING
GL1	GLAZING

### ABBREVIATIONS

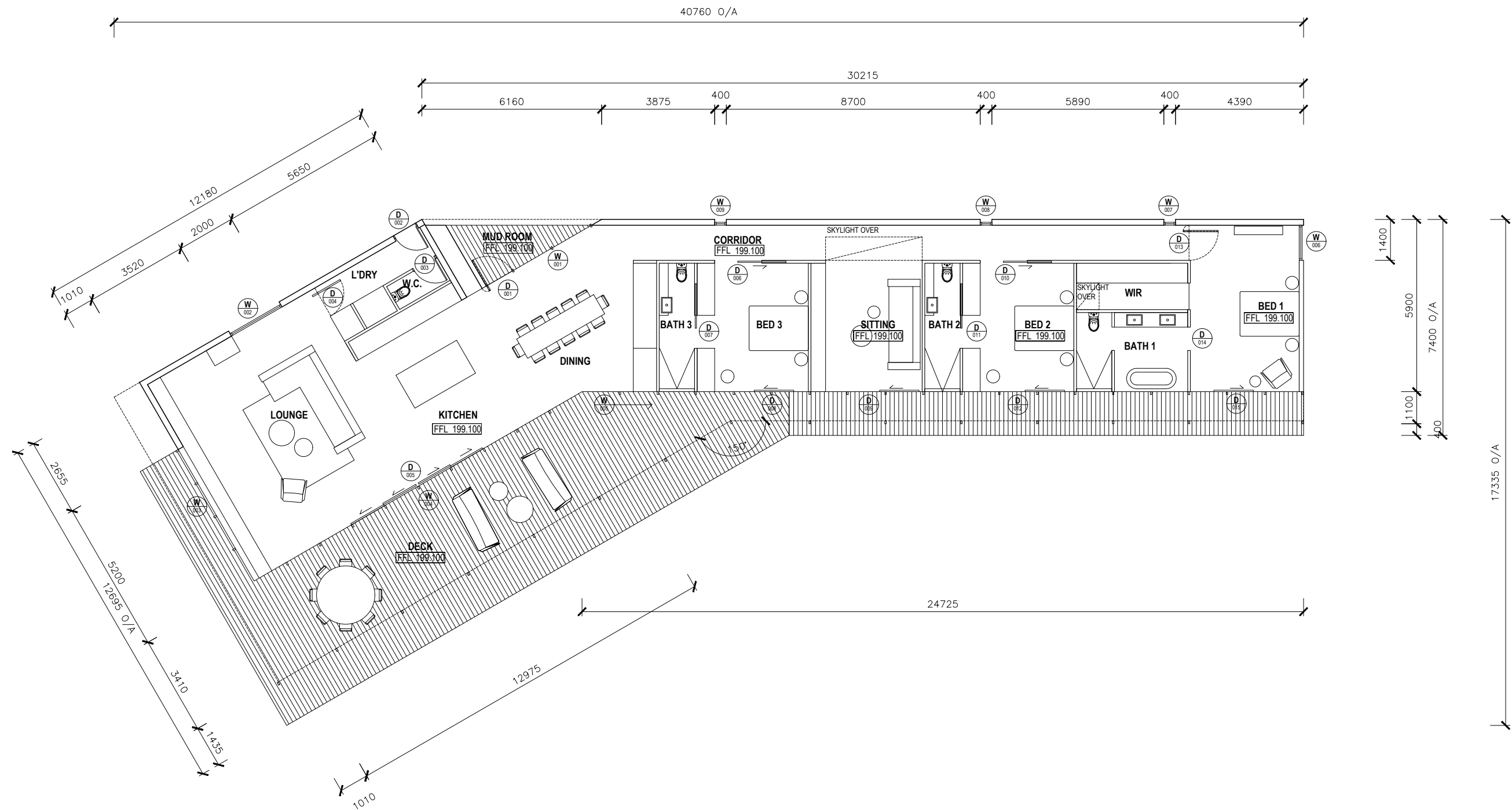
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ISSUE	DATE	COMMENTS
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SITE PLAN AND DRAWING REGISTER			
PROPOSED			
project			
NEW RESIDENCE			
at 91 CHRISTIES ROAD, THORNTON VIC 3712			
for JAMIE CROWE			
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**01 FLOOR PLAN**  
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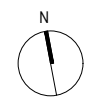
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MR1 METAL ROOF SHEET  
MSH MESH

**ABBREVIATIONS**

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FR FRIDGE  
DWR DRAWER  
HK HOOK  
OV OVEN  
GS GLASS SHOWER SCREEN  
MX BASIN MIXER  
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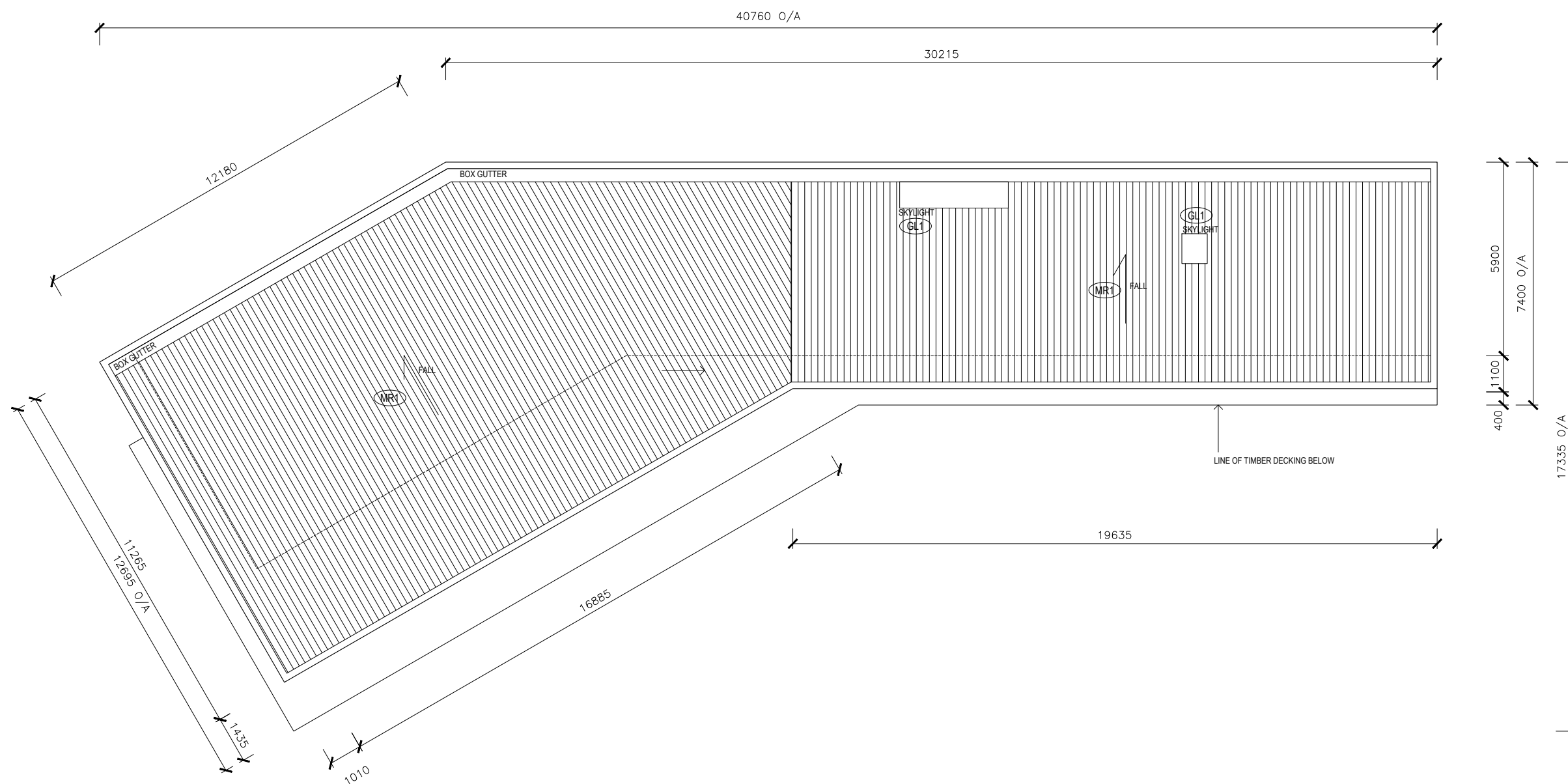
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**GROUND FLOOR PLAN**  
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**01 ROOF PLAN**  
1:150

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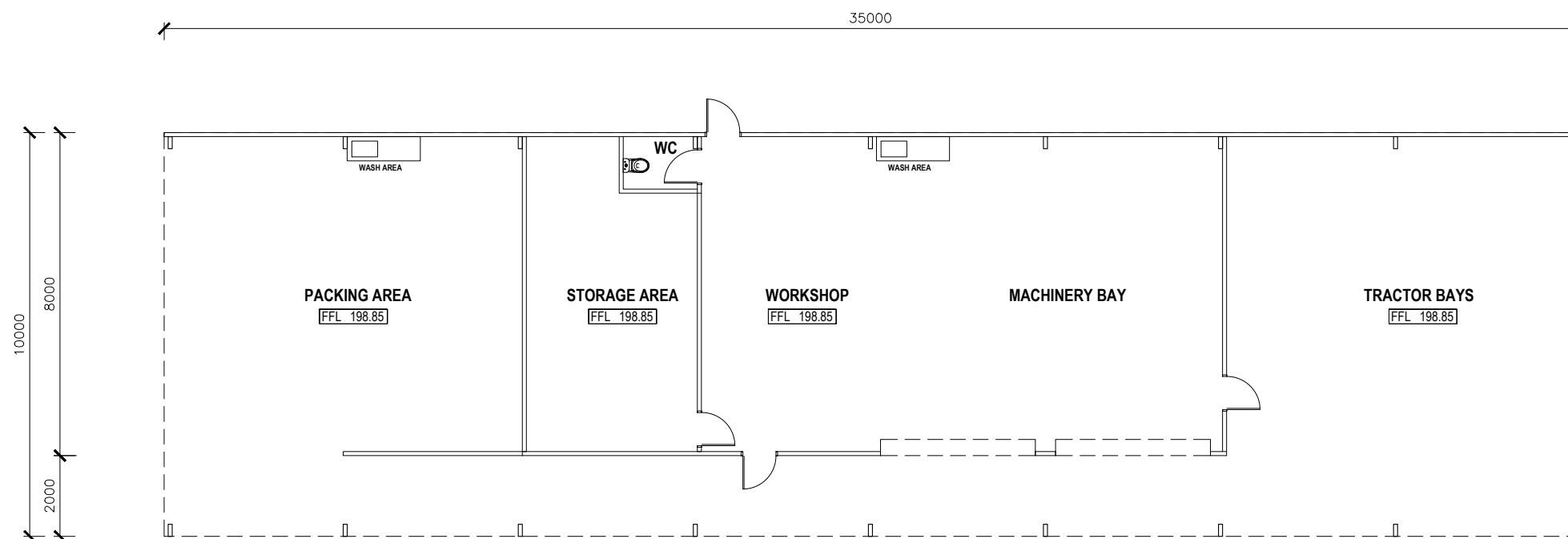
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**01 SHED FLOOR PLAN**  
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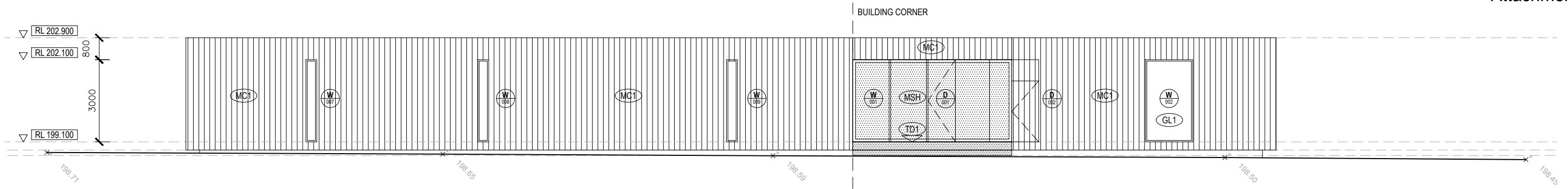
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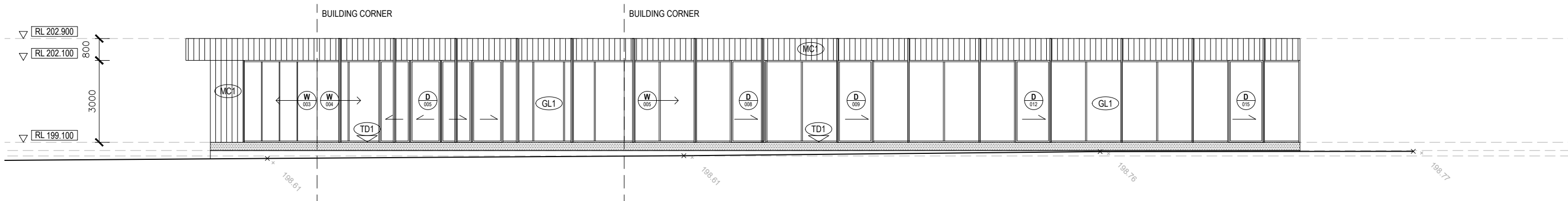
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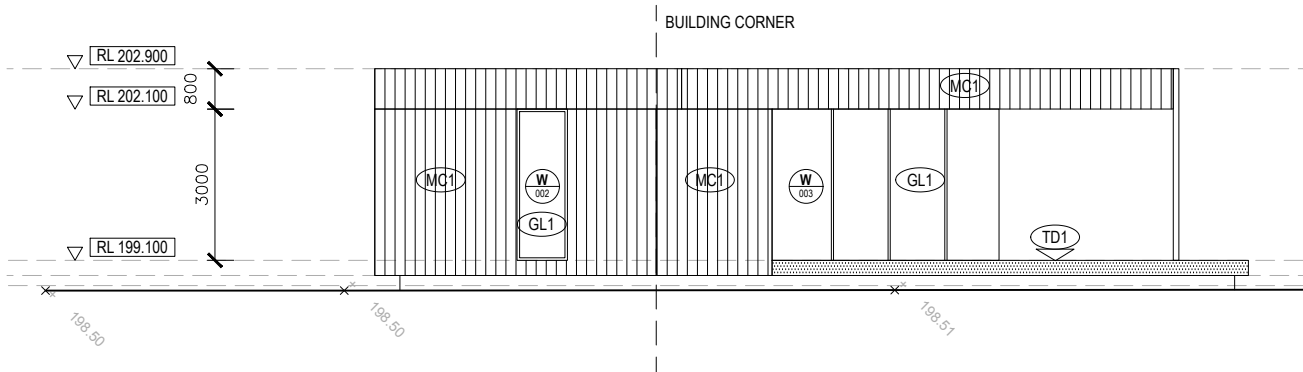
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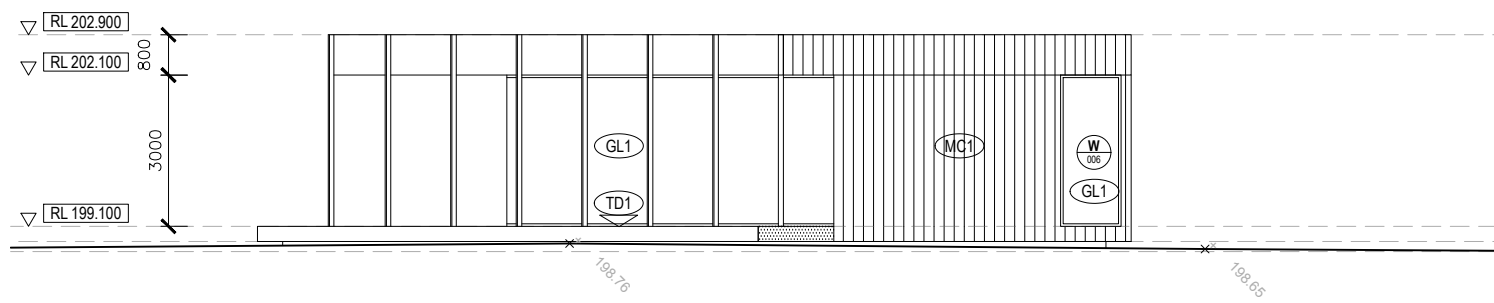
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**02 SOUTH ELEVATION**  
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**03 WEST ELEVATION**  
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**04 EAST ELEVATION**  
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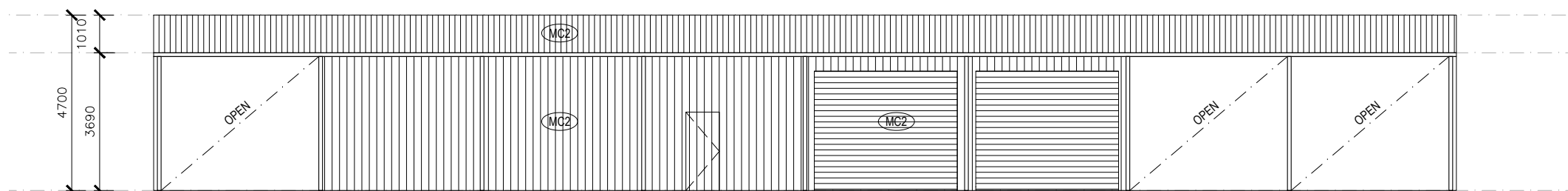
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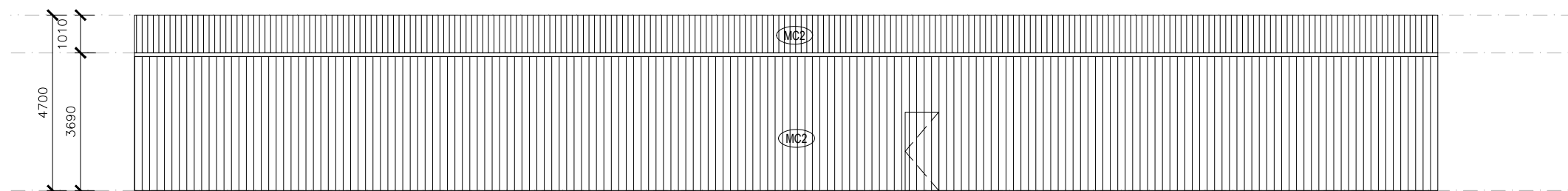
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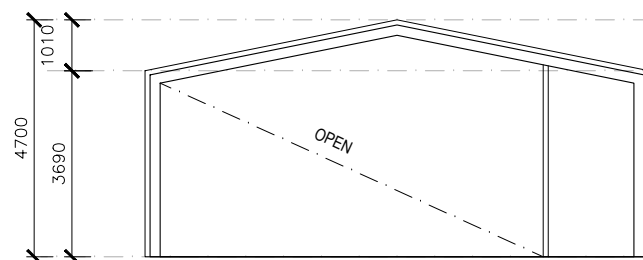
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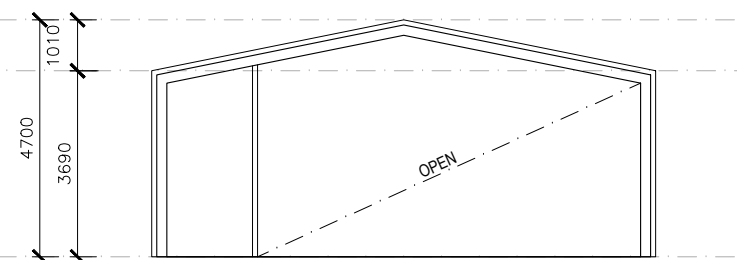
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**02 ELEVATION - NORTH WEST**  
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**03 ELEVATION - SOUTH WEST**  
1:150



**04 ELEVATION - NORTH EAST**  
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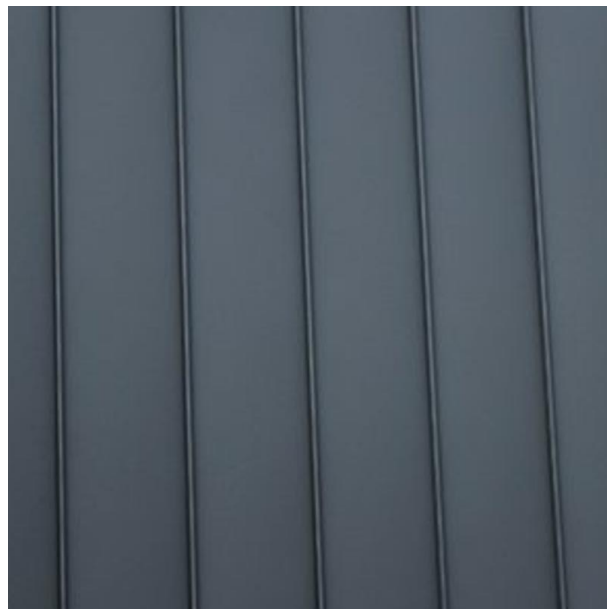
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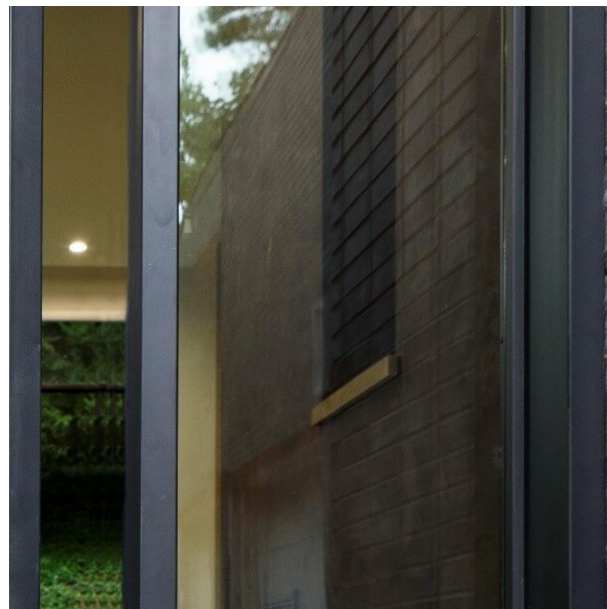
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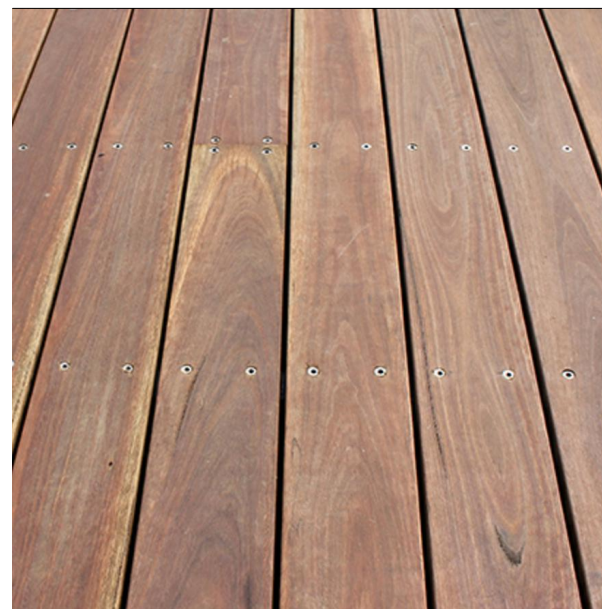
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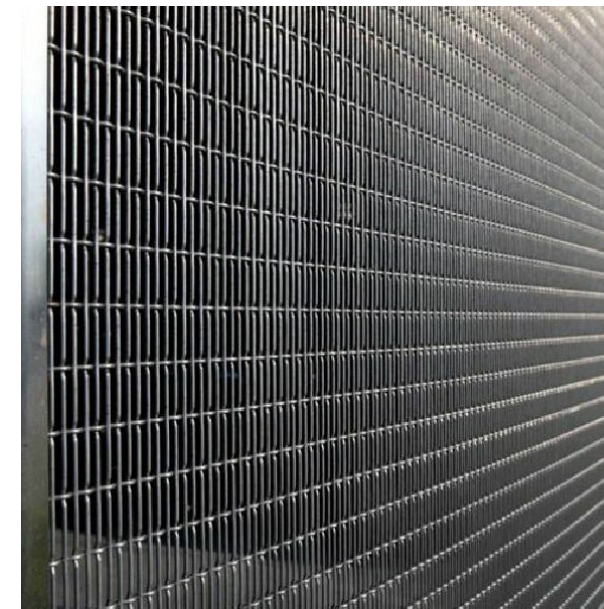
01 [MC1] BASALT METAL CLADDING



02 [GL1] GLAZING



03 [TD1] AUSTRALIAN SPECIES TIMBER DECKING



04 [MSH] ARCHITECTURAL MESH

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## **MURRINDINDI PLANNING SCHEME REVIEW**

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## **1. Introduction**

### **1.1 The requirement for review of the planning scheme:**

This report provides a review of the Murrindindi Planning Scheme (MPS). Section 12B of the *Planning and Environment Act 1987* requires a planning scheme to be reviewed within one year of the approval of a Council Plan (every four years). As the Murrindindi Shire *Council Plan 2017-2021* was approved in September 2017, the review report under section 12B of the Act is now due. This review also provides an audit of performance to inform the continuous improvement of the MPS.

The purpose of the review is to:

- Enhance the efficiency and effectiveness of the planning scheme in achieving objectives of planning in Victoria.
- Assess whether planning scheme policies and controls have been effective in achieving scheme objectives.

### **1.2 Continuous improvement principles:**

The *Continuous Improvement Kit* (Department of Sustainability and Environment, 2006) outlines responsibilities and a process for the review of planning schemes in Victoria. The kit complements other corporate and statutory reporting obligations. Council is required to ensure there are clear links between the review of the planning scheme and other Council planning and reporting obligations.

The components of a planning scheme review are summarised below:

- Identify the major planning issues facing the municipality.
- Demonstrate how the planning scheme implements State Planning Policy.
- Assess the strategic performance of the scheme.
- Document the strategic work that has been completed or carried out since the previous review of the scheme or Municipal Strategic Statement and any additional work required to strengthen the strategic direction of the planning scheme.
- Describe the monitoring and review process that has been carried out.
- Outline any consultation process and outcomes.
- Make recommendations arising from the review including:
  - Possible changes to the strategic objectives of the Local Policy Planning Framework (LPPF).
  - Possible changes to the implementation tools to achieve the strategic objectives.
  - Matters requiring further strategic work to strengthen the strategic objectives of the planning scheme.
- Streamline permit processes.
- Make recommendations for operational improvements to planning processes.

## **2. What has been achieved since the last review?**

### **2.1 Projects**

Completed projects since the last scheme review are:

- *Eildon Structure Plan 2016*. The plan was prepared with DELWP 'Flying Squad' program funding and adopted by Council in May 2016 to guide future land use and development in the Eildon township and environs. Recommendations made in relation to planning controls and policy have not yet been introduced into the planning scheme.

### **2.2 Planning scheme amendments**

Completed amendments since last scheme review include:

- C46 - Review of Development Plan procedures and removal of the Development Plan Overlay from areas where development has been completed.
- C55 - Implementation of *Yea Structure Plan 2014* to rezone land and update local planning directions for the Yea township.
- C57 - Rezoning of land in Kinglake West to facilitate a service station.
- C58 - Rezoning of land in the Yarck township area to Low Density Residential.
- C62 - Gaming policy implementation.
- C63 – Corrections relating to a range of zoning and overlay anomalies throughout the municipality (currently awaiting Ministerial approval).
- C64 – Rezoning of land to Farming to facilitate ongoing timber production.
- GC13 – Introduction of the Bushfire Management Overlay (BMO) and associated planning controls for the Buxton, Eildon, Kinglake and Marysville townships.

## **3. Where are we now?**

### **3.1 Murrindindi Planning Scheme projects**

Strategic work currently identified in the MPS (and its current status) is summarised below:

1. *Great Victorian Rail Trail extension from Alexandra to Eildon*. An assessment has now been completed. Further work to identify funding sources and project priority are still yet to occur. The project does not require an ongoing specific mention in the planning scheme.
2. *Yea, Eildon and Alexandra structure plans*. Work in relation to Yea has been completed. The *Eildon Structure Plan* has also been adopted by Council but requires further implementation within the planning scheme. No work has yet commenced in relation to preparing a structure plan for the Alexandra township.
3. *Streetscape Masterplans for Kinglake Ranges, Flowerdale and Toolangi*. High level masterplans were completed but are now in need of a refresh. An updated streetscape masterplan for Kinglake has been prepared and will shortly be the subject of further community consultation. Council has also recently resolved to commence a streetscape masterplan for the Pheasant Creek and Kinglake West areas.
4. *Structure plans for smaller townships*. Plans and guidelines for these areas have not yet commenced but are recommended for further consideration as part of this review.

5. *Investigate lifestyle settlement opportunities in hamlets and former settlements.* While some of this work has been undertaken as part of previous investigations, no new or recent work has occurred in relation to this particular action. This issue is further discussed in Section 3.4 (Planning issues) and section 4.2 (Potential future projects).
6. *Review of planning controls for declared catchment areas north of Eildon.* Identified for further investigation as part of this review.
7. *Complete and implement bushfire protection measures and controls.* Now completed. Bushfire measures and controls have been progressively implemented through various State planning scheme amendments, including the recent approval of revised Bushfire Management Overlay (BMO) mapping under Amendment GC13 (October 2017).
8. *Review of significant landscapes (review of previous 2005 report):* This work has not commenced but recommended for further investigation in this report.
9. *Prepare and implement a recreation and open space strategy.* A draft strategy is currently being prepared for community consultation over the next few months.

While some previously identified planning work has been completed, other items are still in progress or yet to commence. Given the need to respond flexibly to planning issues and projects that may arise, it is recommended that the list of further specific planning projects be removed from the planning scheme. Future actions and projects can be identified, budgeted and resourced without specific mention in the planning scheme.

### **3.2 Murrindindi Shire Council Plan 2017-2021:**

Objectives and strategies set out in the current *Council Plan* relating to the themes of 'Our Place' and 'Our Prosperity' are summarised below:

#### Objectives

*We will maintain and enhance places to be attractive and liveable, in balance with our natural environment.*

*In partnership with the community we will promote an environment in which business and community can thrive.*

#### Strategies relating to 'Our Place':

1. *Support recreation opportunities for our residents and visitors that encourage participation and community connections.*
2. *Improving links and making Murrindindi Shire easier to navigate and its services and destinations easy to find.*
3. *Through good land use planning enhance the liveability, prosperity and the rural character of our Shire.*
4. *Strengthen the environmental sustainability of our communities, protect our natural environment and reduce resource consumption.*
5. *Recognise and embrace the history, culture and identity of our towns and communities.*
6. *Enhance community safety, resilience and liveability through improved planning, community engagement, and a fair and transparent approach to compliance.*

#### Strategies relating to 'Our Prosperity':

1. *Use a fresh approach to attract new and existing business investment.*

2. *Work with our businesses, regional partners and communities to support a diverse visitor experience that promotes our natural assets, and a vibrant range of events.*
3. *Support and encourage local businesses to work together, thrive and grow, through networking, start-up assistance, mentoring, and access to skills.*
4. *Advocate for and support high quality opportunities for education and training to meet community and business needs.*
5. *Advocate for improved infrastructure and access to public land to realise social and economic opportunities.*

The MPS Scheme is generally consistent with the current Council Plan. The implementation of strategies and projects over the next four-year period, as set out in this report, and subject to further budgeting and prioritisation, will continue to accord with the plan.

In relation to the *Eildon Structure Plan 2016* further work is required to review and update the plan and implement the findings and recommendations into the MPS.

### **3.3 Economic development and tourism opportunities:**

A number of economic development and tourism opportunities have been identified for further investigation as part of this review including:

- The *Activating Eildon* initiative (further discussed in this report)
- Investigation of the Yea Saleyards precinct
- Rationalisation of the existing Pheasant Creek industrial precinct
- Opportunities for infill development within existing township areas
- Eildon pondage
- Facilitation of aged care and retirement accommodation.

The current planning scheme provides an adequate strategic and statutory framework for the further consideration of these initiatives. Other than for revisions to the MPS to better reflect the *Eildon Structure Plan* (existing or as revised), no specific further changes to the scheme are required at this stage.

### **3.4 Planning issues for further policy development:**

The following planning issues have been identified for further assessment and policy direction as part of an internal officer review:

- *Building on hills/ protection of significant landscapes*

The existing planning scheme vision generally recognises the importance of landscapes and the need for their protection (Clause 21.05-1), however it does not set out any specific guidance. Clauses 21.03 (Economic Development and 21.04 (Housing) also do not specifically address these issues.

Although the existing Significant Landscape Overlay applies to high value landscape areas in the Lake Eildon and Cathedral Ranges areas, it was introduced in 1999 without the benefit of a detailed assessment. An updated and more extensive assessment of significant landscapes and ridgelines (particularly around township areas and along visually sensitive road corridors) is now considered warranted. This assessment would be required to support further planning scheme changes and can draw on previous landscape assessments completed by DELWP in 2006.

- *Implementation of Eildon projects and the Eildon Structure Plan 2016:*

A number of major development and infrastructure initiatives have been identified for Eildon including further utilisation of Goulburn Murray Water land; Eildon pondage; assisting the houseboat industry through the provision of additional space for manufacturing and maintenance spaces, boat ramps, road widening and the undergrounding of power; redevelopment of the Eildon Hotel and identification of sites for convention facilities. Some of these projects have recently received funding. Furthermore, Regional Development Victoria, Goulburn Murray Water, Goulburn River Valley Tourism and Murrindindi and Mansfield Shire councils are working together on an 'Activating Eildon' project to develop a blueprint and business case for key development opportunities.

Although the adopted *Eildon Structure Plan 2016* generally outlines these initiatives, further work is required in relation to the Goulburn Murray Water land. Accordingly, a further review of the adopted structure plan is recommended as a future project.

- *Agritourism and niche agriculture in rural areas*

The rural areas of the municipality continue to be the focus for a range of functions and events. Glamping, farm gate sales and new business enterprises are also seeking to establish within these areas. The planning scheme currently provides limited guidance on these emerging issues. While these uses and activities can complement rural areas and provide valuable tourism, care is needed to protect productive values and amenity. Although no changes are immediately required to the planning scheme to address these issues, it will be appropriate to prepare a further strategy and policy response over the forthcoming four-year period. These matters will also need to be considered as part of the *Tourism and Events Strategy* now under preparation.

- *Protection of significant vegetation in and around township areas*

Significant trees contribute to the character, amenity and heritage of our townships. Further work is required to determine what planning provisions are necessary to ensure protection and retention of these values as townships further develop.

- *Identification of industrial needs*

Council as its meeting on 23 January 2019 resolved to commence investigations to address the future viability and function of the Pheasant Creek industrial area. A broader Municipal-wide industrial needs analysis is also warranted to determine if there is an adequate level of land supply within and around other township areas.

- *Settlement patterns, including new development in rural areas*

Clause 21.04-3 (Other townships and settlements) currently sets out the following strategies:

- *Facilitate new and expanded residential and rural living development in smaller townships and settlements where appropriate.*
- *Investigate lifestyle settlement opportunities in rural hamlets and former settlement locations having regard to natural environmental hazards / constraints.*

Both the present state and local planning policy frameworks (to be consolidated under the current state government reformatting project) direct new development to established serviced settlement areas.

The next four-year period will provide an opportunity to review existing structure plans and settlement objectives and determine if further policy support or change is required. Further clarification and guidelines on dwellings in the Farming Zone and in proximity to areas of intensive animal husbandry can also be investigated as part of this work.

Other potential policy and project needs have been identified below:

1. Identification of contaminated land and associated development constraints.
2. Asset protection particularly in relation to landfill and buffer areas.
3. Outdoor signage policy.
4. Policy provisions relating to animal industries, outdoor advertising and forestry areas.
5. Planning provisions to reduce the visual and amenity impacts of shipping containers.
6. Ongoing review of the suitability of existing zones and overlays.
7. Strengthening planning provisions relating to neighbourhood character township entrances

Recommendations for potential future projects based on these strategic policy areas are discussed further in this report.

#### **4. Where to from here?:**

##### **4.1 Existing projects:**

New projects and studies that are presently underway are listed below:

- *Strategic Implementation Plan*

Utilising funding from the Victorian Planning Authority's *Streamlining for Growth* program, Council officers have recently engaged SED Regional Advisory to prepare a Strategic Implementation Plan. This work will document all existing strategies plans and actions adopted by Council relating to land use planning, development, tourism and economic growth together with the outcomes of this review. These will be prioritised into short, medium and longer term frameworks which will inform decision making, further planning scheme reforms, budget prioritisation, capital works and grant funding opportunities. Council input into this process will be sought at the relevant stage.

- *Domestic Wastewater Management Plan*

A wastewater management plan is being prepared to provide assistance is determining general land capability for effluent disposal across the municipality and guide how future detailed land capability assessments for individual proposals will be undertaken. The plan is being prepared by external consultants and once completed and adopted it can be referenced in the planning scheme as a policy document.

- *Murrindindi Shire Tourism and Events Strategy*

Council officers are currently preparing a tourism and events strategy (scheduled for completion in mid-2019). The strategy will include land use planning related directions and actions for tourism and events. Once completed and adopted, the final strategy should be referenced in the planning scheme as a policy document.

##### **4.2 Potential future projects:**

Potential future projects and implementation measures are listed below

- *Refinement of the Eildon Structure Plan 2016:*

Although adopted by Council, the structure plan has not yet been incorporated and integrated into the MPS. The adopted plan does not set out provisions for the future rezoning of land and related controls and does not set out planning options for substantial land currently under the control of Goulburn Murray Water (GMW). The completion of

this further work is considered necessary prior to any incorporation or inclusion of the plan within the planning scheme.

- *Alexandra Structure Plan*

A structure plan for all the Alexandra township was previously prepared and adopted in 2006, however a planning scheme amendment (Amendment C17) to include the plan into the MPS was not adopted and did not proceed. The next four-year period will provide an opportunity to consider the progression or recommencement of this work.

- *Small Towns Structure Plan*

A structure plan for all of the smaller townships and settlement area was previously prepared and adopted in 2005 (Amendment C17) but did not proceed. Further work is required to review and update this earlier initiative and determine policy and character objectives for these areas.

- *Lake Eildon catchment controls*

A review of planning controls for the Eildon catchment in both Mansfield and Murrindindi Shires was undertaken in 2016 using DELWP Flying Squad funding. The affected area in Murrindindi relates to areas around Taylor Bay. Amendment C48 was prepared at that time to apply the Environmental Significance Overlay. A further review and update of this proposal is recommended.

- *Assessment of significant landscapes and ridgelines*

A detailed assessment of significant landscapes and ridgelines is required, with associated recommendations for the protection of significant areas. A review of this nature is required to assess and justify any potential changes to landscape policies and controls in the planning scheme.

- Review of environmental overlays:

A review of environmental overlays was prepared using DELWP Flying Squad funding. The final review (April 2014) recommended changes to maps and controls for the Significant Landscape Overlay (SLO), Environmental Significance Overlay (ESO) and Erosion Management Overlay (EMO), with the replacement of the Vegetation Protection Overlay (VPO) in the Maryville township area with the SLO. Further assessment of the report is required to determine the feasibility and resources required for implementation. Potential new SLO mapping could be undertaken in conjunction with the previous proposal.

- *Industrial needs study*

A municipal approach to industrial issues, needs and future provision is required. Emphasis in this study should be given to the priority areas of Pheasant Creek, Yea, Narbethong and Alexandra.

- *Restructure Plan Overlay review*

A review of the Restructure Overlay was previously prepared using DELWP Flying Squad funding. The final review (February 2013) recommended changes to maps and controls relating to the Restructure Overlay. Further assessment of the review report is required.

It is intended that new projects (and the reactivation of previous projects) be further prioritised through the Strategic Implementation Plan currently under preparation. The plan will be an appropriate mechanism to identify short, medium and longer term actions to facilitate growth and jobs in the municipality, protect environmental values and establish the context for future land use and development.



#### **4.3 Planning scheme administration:**

Effectiveness and efficiency gains may be made through the further refinement of planning administration procedures and processes. Potential improvements that require investigation include:

1. Better utilisation of scheduling provisions in zones and overlays to reduce permit requirements.
2. Refine planning controls using VicSmart to reduce permit requirements for specified minor buildings and works.

##### *Development plans*

Council has previously approved a range of development plans for strategic sites within the municipality over the past 5-15-year period. However, a number of these plans have either expired or are nearing expiry. Other plans will require a full review and new approvals.

##### *Expired plans:*

- Racecourse Road area, Yea – expired 22/1/2013.
- Racecourse Road area, Marysville – expired 3/11/2014.
- High Street, Yea – expired 10/9/2017.
- Dyes Lane, Buxton – expired 3/6/2018.

##### *Plans due to expire in the current 4 year planning period:*

- Pheasant Creek – to expire 28/4/2020.
- Darwin and Lyell Streets, Marysville – to expire 23/6/2020.
- Land to the south of Alexandra between Halls Flat Road and Plantation Lane – to expire 27/10/2020.
- Meadow Road, Yea – to expire 27/7/2021.

#### **Conclusion**

A comprehensive review of the MPS was completed as part of the previous review undertaken in 2016. The current review has found that the scheme remains generally consistent with state policy and planning objectives. The current Victorian State Government initiative to implement a new structure for all Victorian planning schemes will further enhance the policy effectiveness and efficiency of the scheme and its format and usability.

Subject to further work relating to the Eildon Structure Plan, the MPS adequately implements and complements the *Council Plan*. The overall strategic performance of the scheme is considered effective.

Although the strategic performance of the planning scheme is relatively sound, it can be improved over the next four-year period through the further investigations and projects identified in this report. A Strategic Implementation Plan is currently being prepared to prioritise this future work into short, medium and longer term frameworks which can then inform decision making, further planning scheme reforms and grant funding opportunities.

#### **Summary of recommendations:**

1. Remove the list of further strategic and project works from the planning scheme (identifying and resourcing these items outside the formal structure of the scheme).

2. Review and update the adopted *Eildon Structure Plan 2016* and further implement the findings and recommendations into the Murrindindi Planning Scheme.
3. Complete a Strategic Implementation Plan to prioritise the outcomes of this report in relation to:
  - a. Economic development and tourism opportunities (Section 3.3)
  - b. Planning issues for further policy development (Section 3.4)
  - c. Existing projects (Section 4.1)
  - d. Potential future projects (Section 4.2)
  - e. Planning scheme administration improvements (section 4.3)

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