



Proposed Works At The Village Green

Village Green Camp Site Pty Ltd.
26 Hannas Road, STRATH CREEK

264-21

TOWN PLANNING DRAWING SCHEDULE

Town Planning

TP00	Cover Sheet
TP01	Existing Site Context Plan
TP02	Existing Site Zone & Overlay Plan
TP03	Proposed Master Plan with Existing Zones & Overlays
TP04	Existing Pavilion
TP05	Proposed Lodge Cover Page
TP06	Proposed Lodge Plan & North Elevation
TP07	Proposed Lodge Elevations & Section
TP08	Proposed Lodge Roof Plan & Section
TP09	Proposed Lodge Material Schedule
TP10	Proposed Pool & Gymnasium Cover Page
TP11	Proposed Pool & Gymnasium Plan & North Elevation
TP12	Proposed Pool & Gymnasium Elevations
TP13	Proposed Pool & Gymnasium Sections
TP14	Proposed Pool & Gymnasium Artist Impressions
TP15	Proposed Pool & Gymnasium Material Schedule
TP16	Proposed Covered Shelter Cover Page
TP17	Proposed Covered Shelter Plan, Elevations & Sections
TP18	Proposed Multicourts Coverpage
TP19	Proposed Multipurpose Courts Ground Floor Plan
TP20	Proposed Multipurpose Courts Elevations (Sheet 01)
TP21	Proposed Multipurpose Courts Elevations (Sheet 02)
TP22	Proposed Solar/ Renewable Energy Details

Consultant Drawings

Land Surveyor
Rodney Aujard & Associates

Landscape Architects
Fitzgerald Frisby Landscape Architects

RACHCOFF VELLA

TOWN PLANNING

Rev # Revision:

Date

Project Details:
Proposed Works At The Village Green
At 26 Hannas Road, STRATH CREEK
FOR Village Green Camp Site Pty Ltd.

Drawn:

DC

Drawn Date:

FEB'22

Plot Date:

3/10/2022

Scale @ A1:

Drawing Details:

Cover Sheet

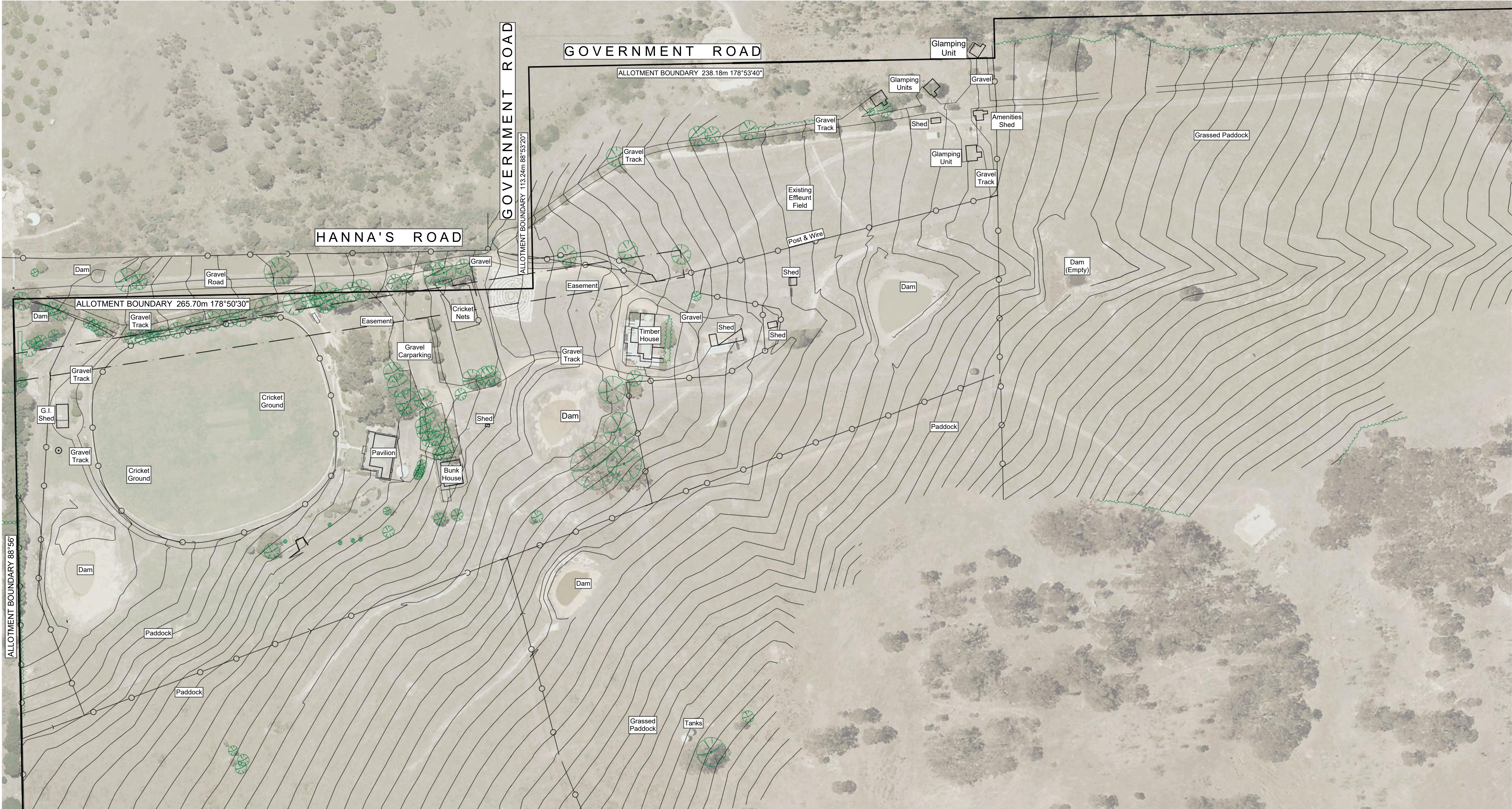
Drawing No:

TP00 - 264-21

Project No:

Revision No:

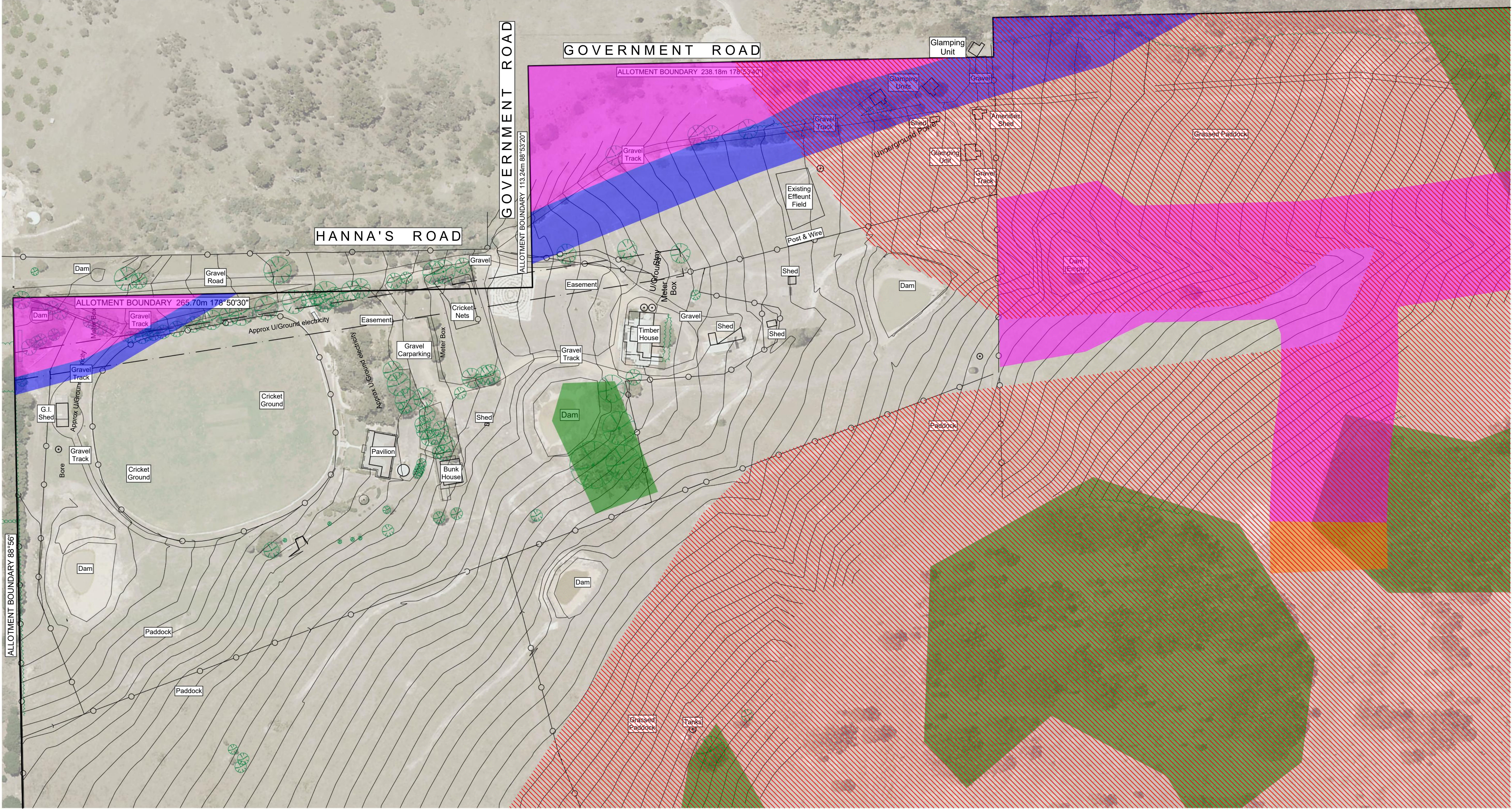
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E admin@rvrch.com.au
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Existing Site Plan

1:1000

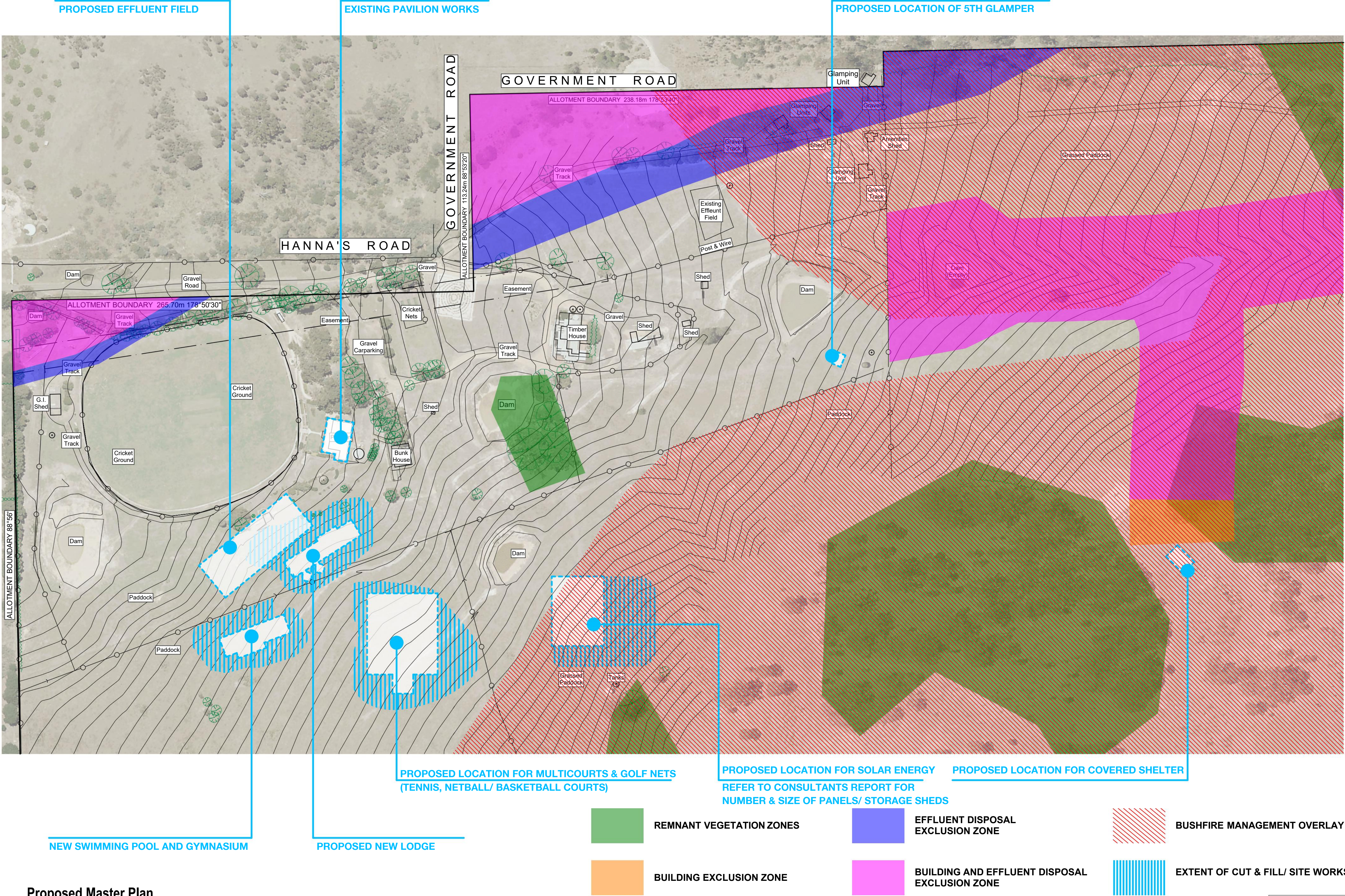
TOWN PLANNING



Existing Site Zone & Overlay Plan

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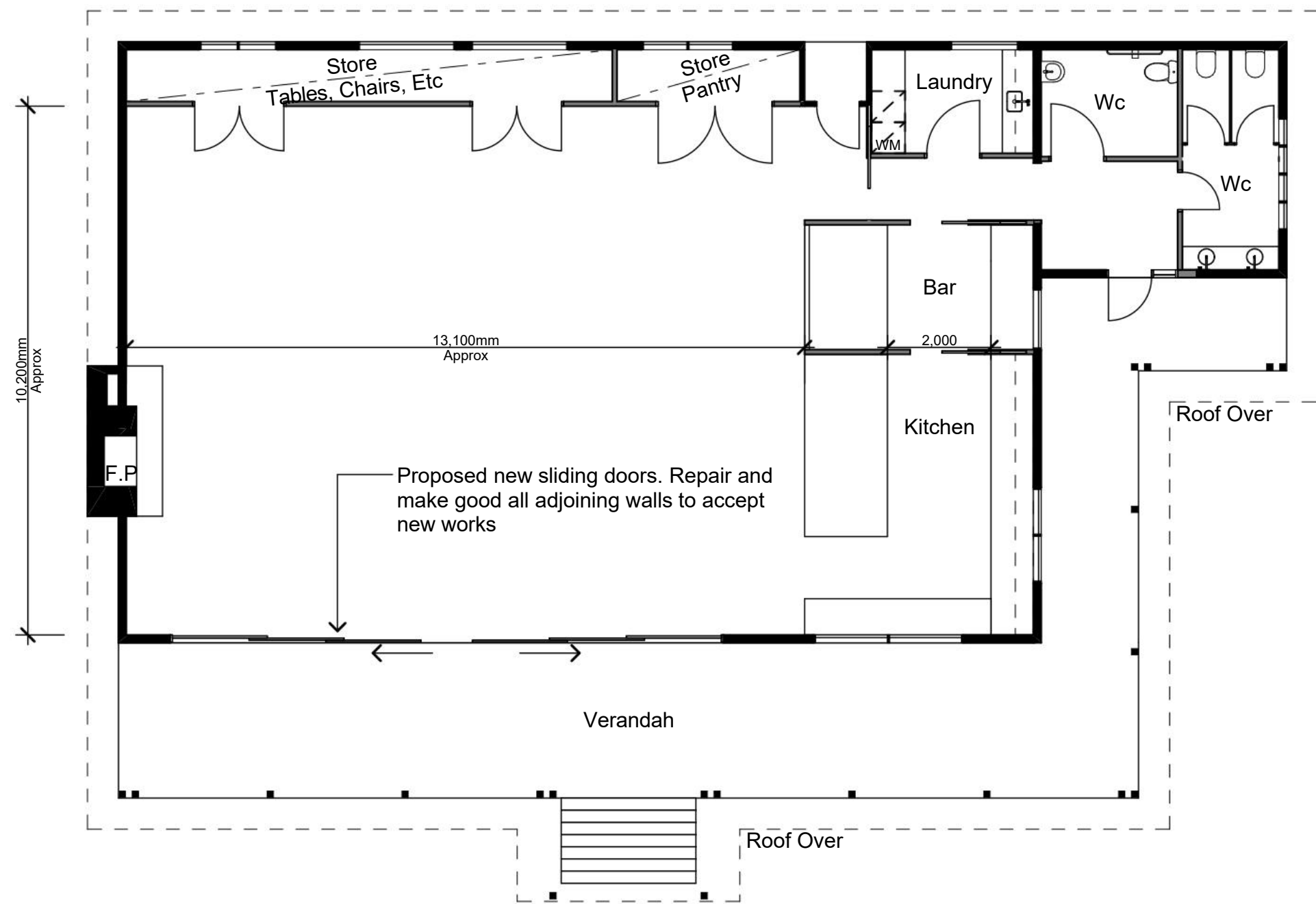
- REMNANT VEGETATION ZONES
- BUILDING EXCLUSION ZONE
- EFFLUENT DISPOSAL EXCLUSION ZONE
- BUILDING AND EFFLUENT DISPOSAL EXCLUSION ZONE
- BUSHFIRE MANAGEMENT OVERLAY



Proposed Master Plan

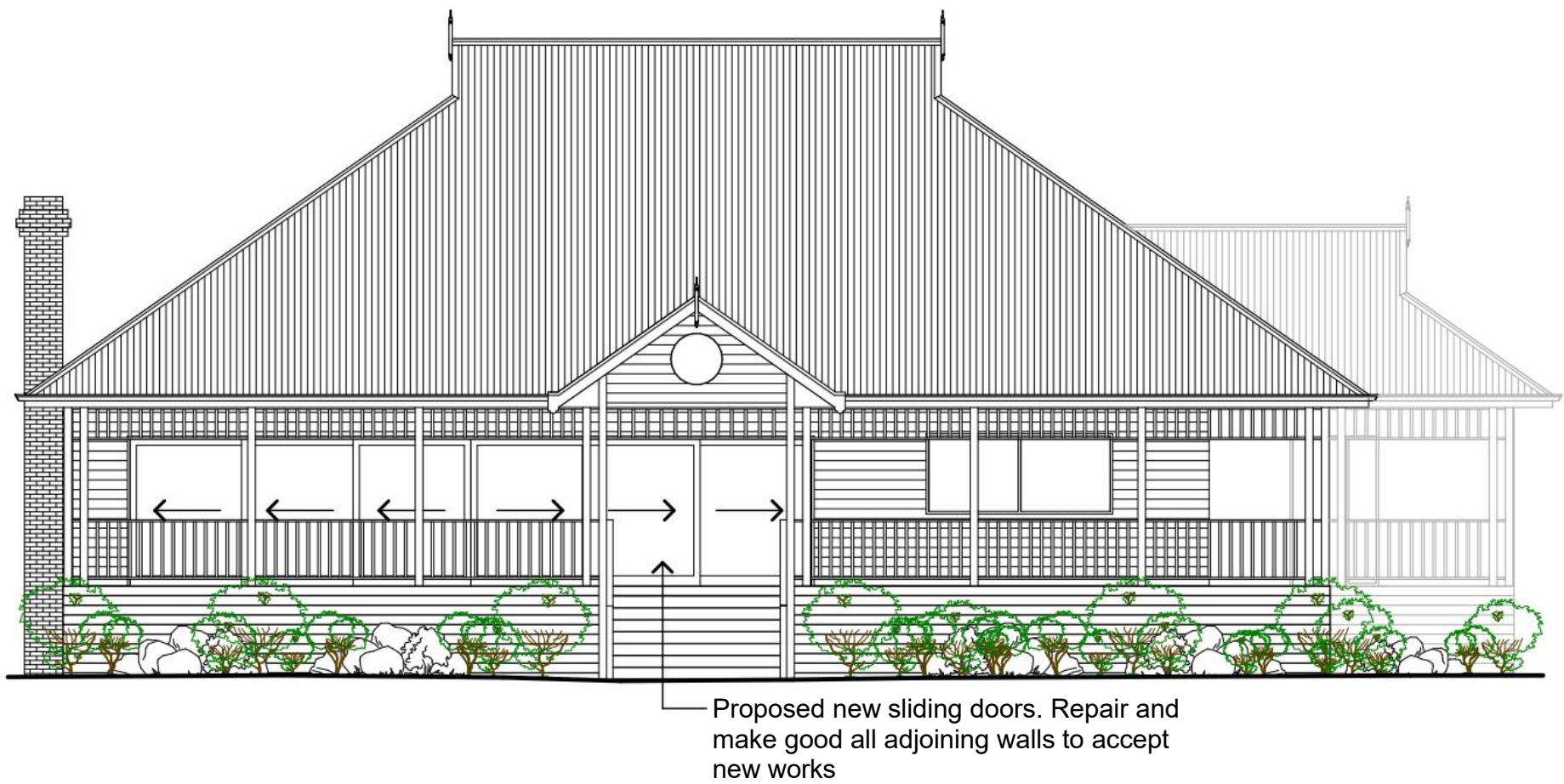
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TOWN PLANNING



Proposed Ground Floor Plan

1:100

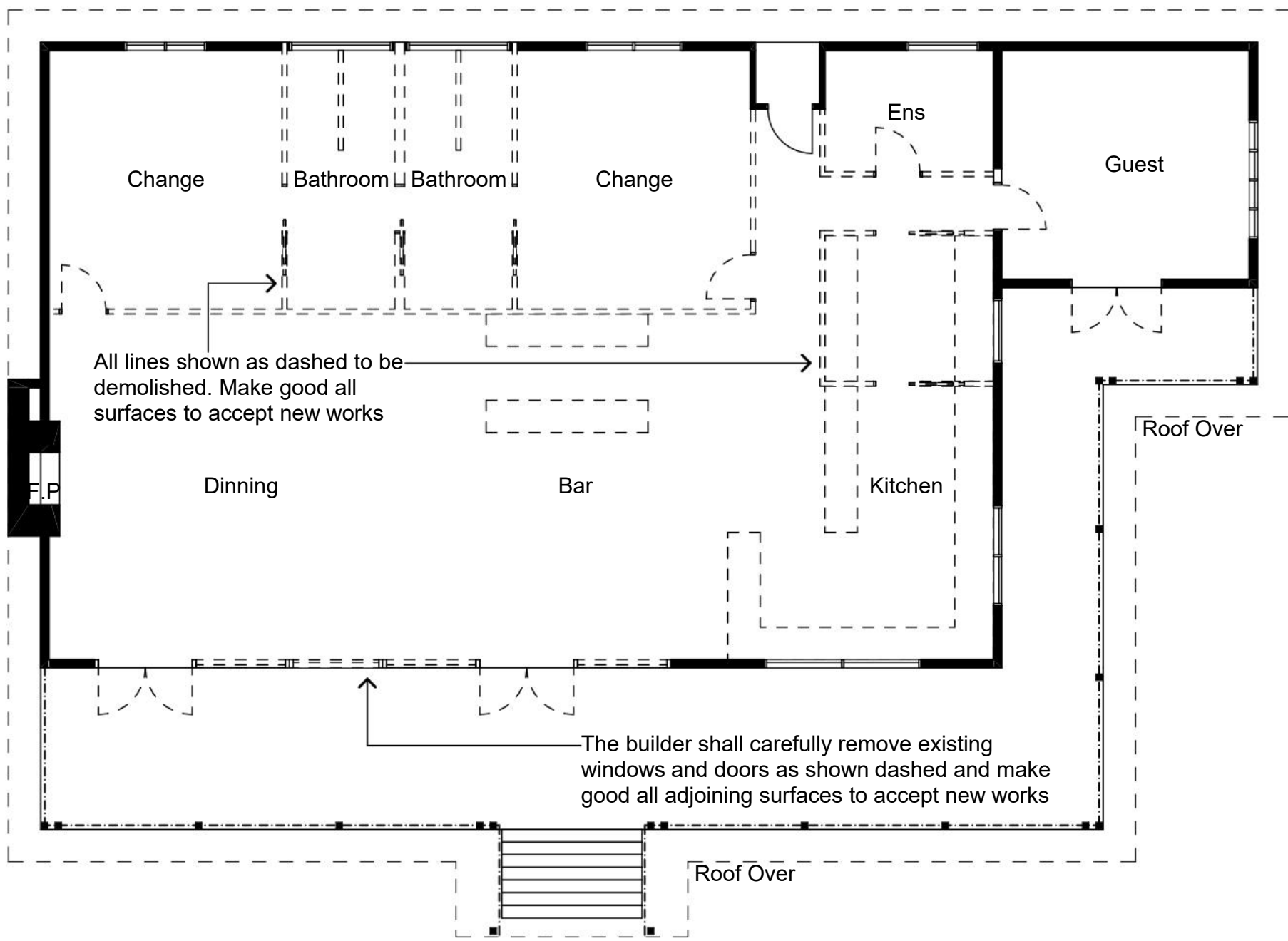


Proposed North Elevation

1:100

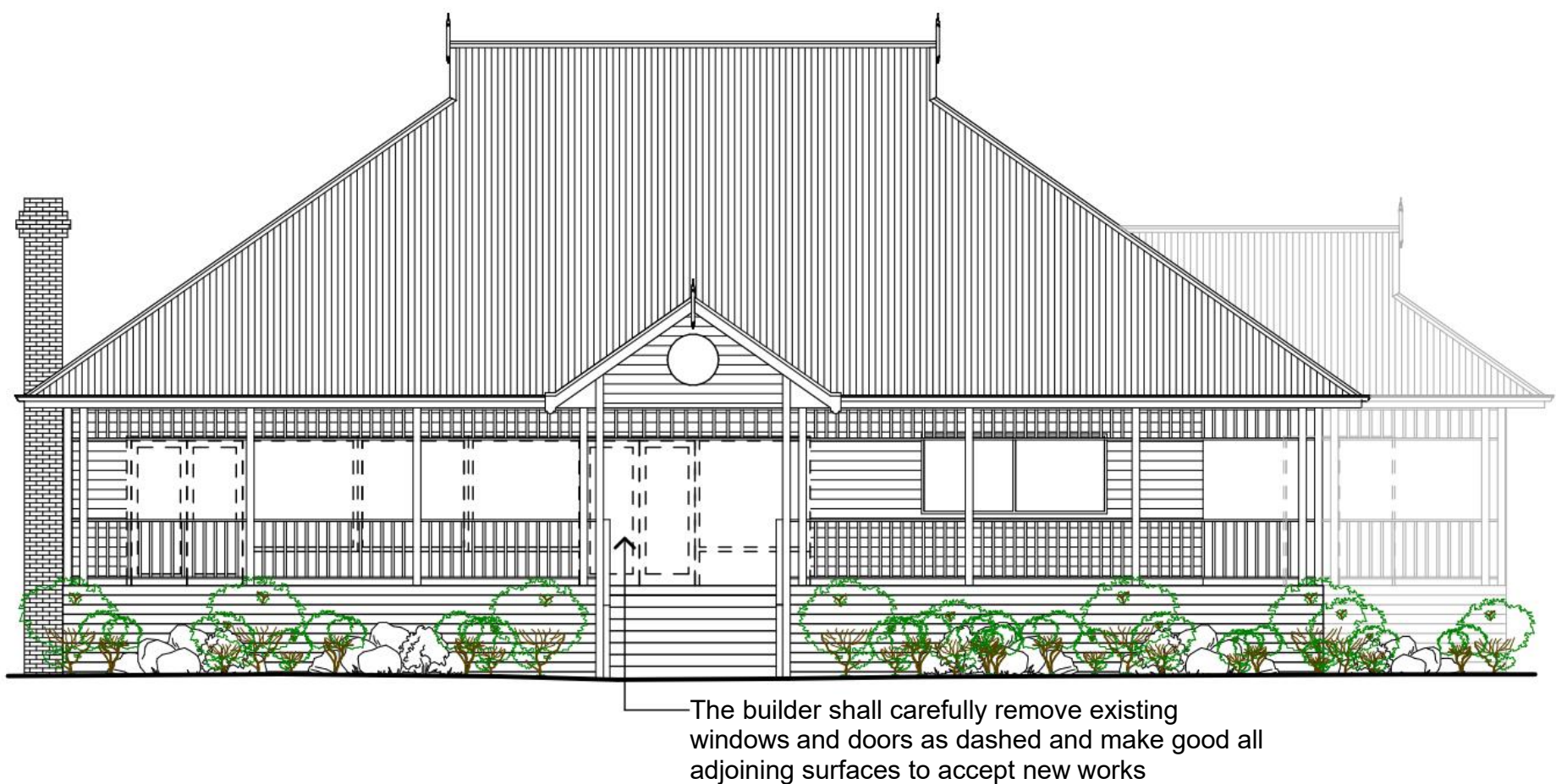


The builder shall carefully remove existing windows and doors as highlighted and make good all adjoining surfaces to accept new works



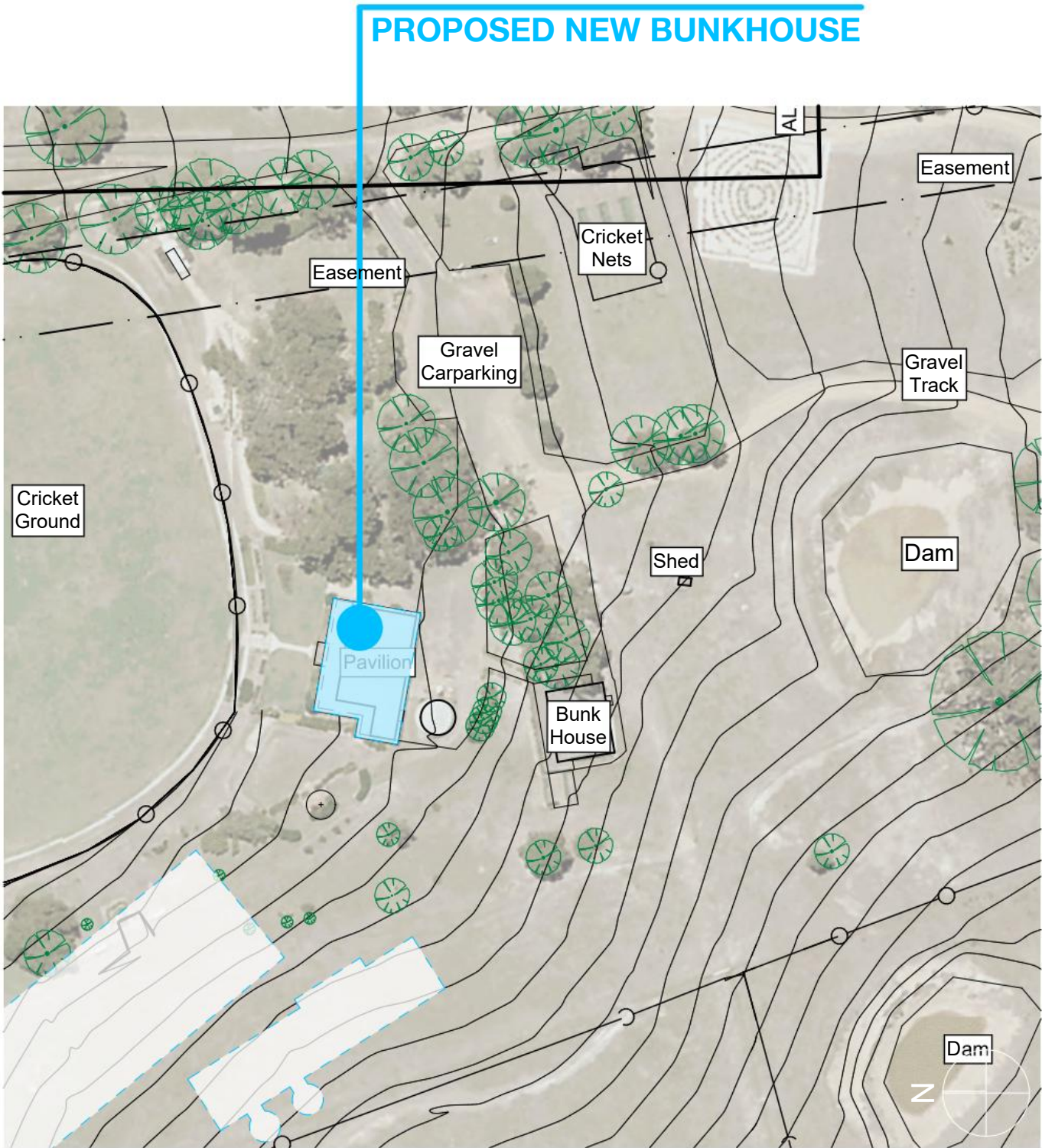
Existing/ Demolition Ground Floor Plan

1:100



Existing North Elevation

1:100



TOWN PLANNING



INDICATIVE ARTIST IMPRESSION FOR LODGE

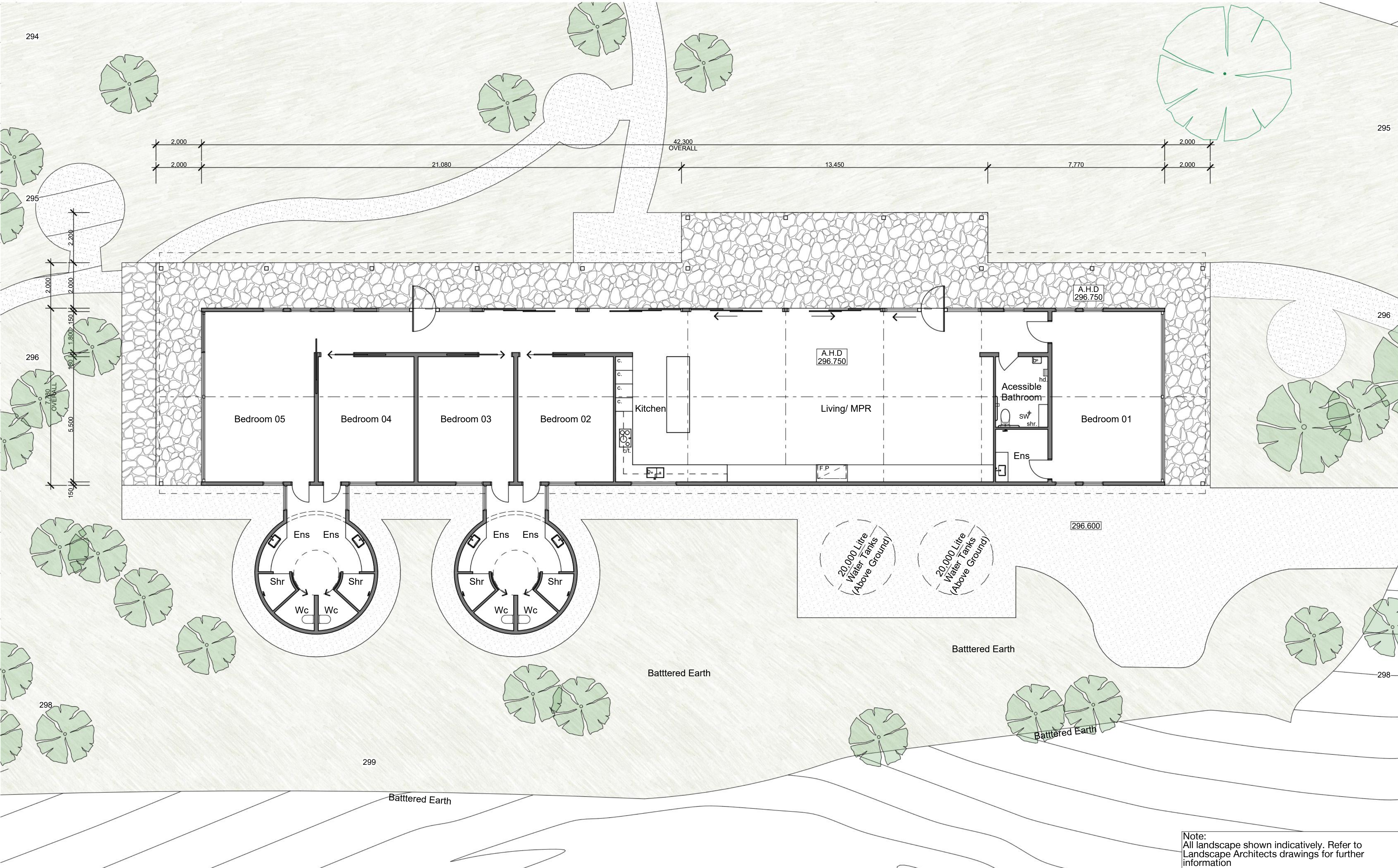


IINDICATIVE ARTIST IMPRESSION FOR LODGE

TOWN PLANNING



North Elevation



Proposed Lodge Ground Floor Level

BUSHFIRE PROTECTION MEASURES

MANDATORY CONDITION

THE BUSHFIRE PROTECTION MEASURES FORMING PART OF THIS PERMIT OR SHOWN ON THE ENDORSED PLANS, INCLUDING THOSE RELATING TO CONSTRUCTION STANDARDS, DEFENDABLE SPACE, WATER SUPPLY AND ACCESS, MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY ON A CONTINUING BASIS. THIS CONDITION CONTINUES TO HAVE FORCE AND EFFECT AFTER THE DEVELOPMENT AUTHORISED BY THIS PERMIT HAS BEEN COMPLETED.

A) DEFENDABLE SPACE

- DEFENDABLE SPACE IS PROVIDED FOR A DISTANCE AROUND THE BUILDING OF PAVILION 40M, LODGE & GYM/ POOL 45M AND MANAGED IN ACCORDANCE WITH THE FOLLOWING:
- GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
 - ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
 - WITHIN 10 METRES OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING.
 - PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3M OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
 - SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES.
 - INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 55Q. METRES IN AREA AND MUST BE SEPARATED BY AT LEAST 5 METRES.
 - TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING.
 - THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 5 METRES
 - THERE MUST BE A CLEARANCE OF AT LEAST 2 METRES BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

B) CONSTRUCTION STANDARD

BUILDING DESIGNED AND CONSTRUCTED TO MINIMUM BUSHFIRE ATTACK LEVEL OF BAL 12.5

C) WATER SUPPLY

THE FOLLOWING REQUIREMENTS APPLY:

- AN EFFECTIVE CAPACITY OF 10,000 LITRES
- BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
- GAVE ALL FIXED ABOVE GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIREFIGHTING PURPOSE MADE OF CORROSIVE RESISTANT METAL.
- INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
- BE READILY IDENTIFIABLE FROM THE BUILDING OR APPROPRIATE IDENTIFICATION SIGNAGE TO THE SATISFACTION OF THE RELEVANT FIRE AUTHORITY.
- BE LOCATED WITHIN 60METRES OF THE OUTER EDGE OF THE APPROVED BUILDING
- THE OUTLET/S OF THE WATER TANK MUST BE WITHIN 4 METRES OF THE ACCESSWAY AND UNOBSTRUCTED.
- INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP 65 MILLIMETRE) AND COUPLING (64-MILLIMETRE CFA 3 THREAD PER INCH MALE FITTING).
- ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 65 MILLIMETRES (EXCLUDING THE CFA COUPLING)

D) ACCESS

ACCESS REQUIRED: YES

THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY

- ALL-WEATHER CONSTRUCTION
- A LOAD LIMIT OF AT LEAST 15 TONNES
- PROVIDE A MINIMUM TRAFFICABLE WIDTH OF 3.5 METRES.
- BE CLEAR OF ENCROACHMENTS FOR AT LEAST 0.5METRES ON EACH SIDE AND AT LEAST 4 METRES VERTICALLY
- CURVES MUST HAVE A MINIMUM INNER RADIUS OF 10 METRES
- THE AVERAGE GRADE MUST BE NO MORE THAN 1 IN 7 (14.4%) (8.1") WITH A MAXIMUM GRADE OF NO MORE THAN 1 IN 5 (20%) (11.3") FOR NO MORE THAN 50 METRES.
- DIPS MUST HAVE NO MORE THAN A 1 IN 8 (12.5%) (7.10") ENTRY AND EXIT ANGLE.

LENGTH OF ACCESS IS GREATER 100 METRES: YES

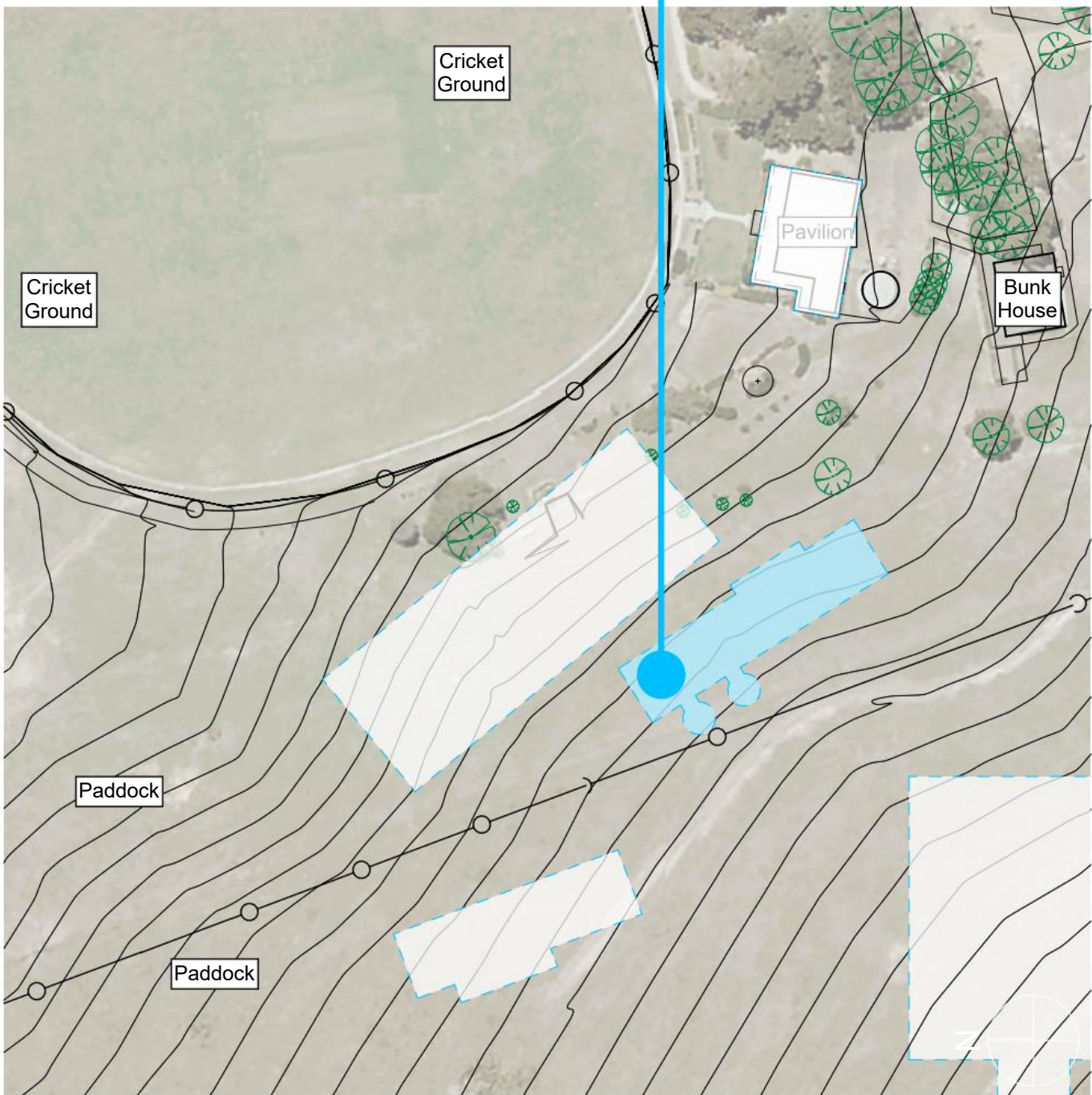
- A TURNING CIRCLE WITH A MINIMUM RADIUS OF EIGHT METRES, OR
- A DRIVEWAY ENCIRCLING THE BUILDING, OR
- THE PROVISION OF OTHER VEHICLE TURNING HEADS - SUCH AS A T OR Y HEAD-WHICH MEET THE SPECIFICATION OF AUSTRAD DESIGN FOR AN 8.5 METRE SERVICE VEHICLE.

LENGTH OF ACCESS IS GREATER 200 METRES: YES

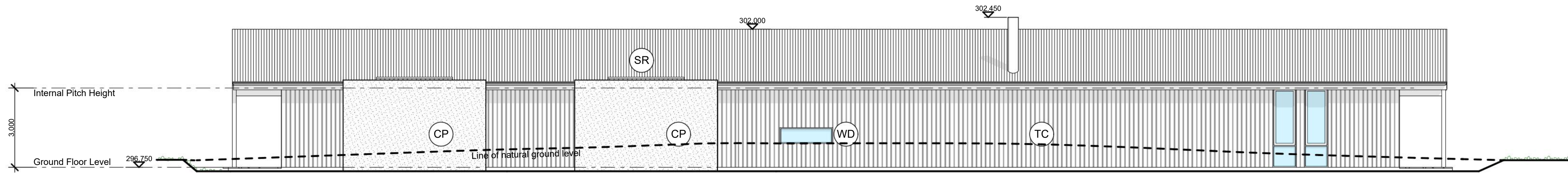
WHERE LENGTH OF ACCESS IS GREATER THAN 100METRES THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY:

- PASSING BAYS ARE REQUIRED AT LEAST EVERY 200 METRES THAT ARE A MINIMUM 20METRES LONG AND A MINIMUM TRAFFICABLE WIDTH OF 6 METRES.

PROPOSED NEW LODGE

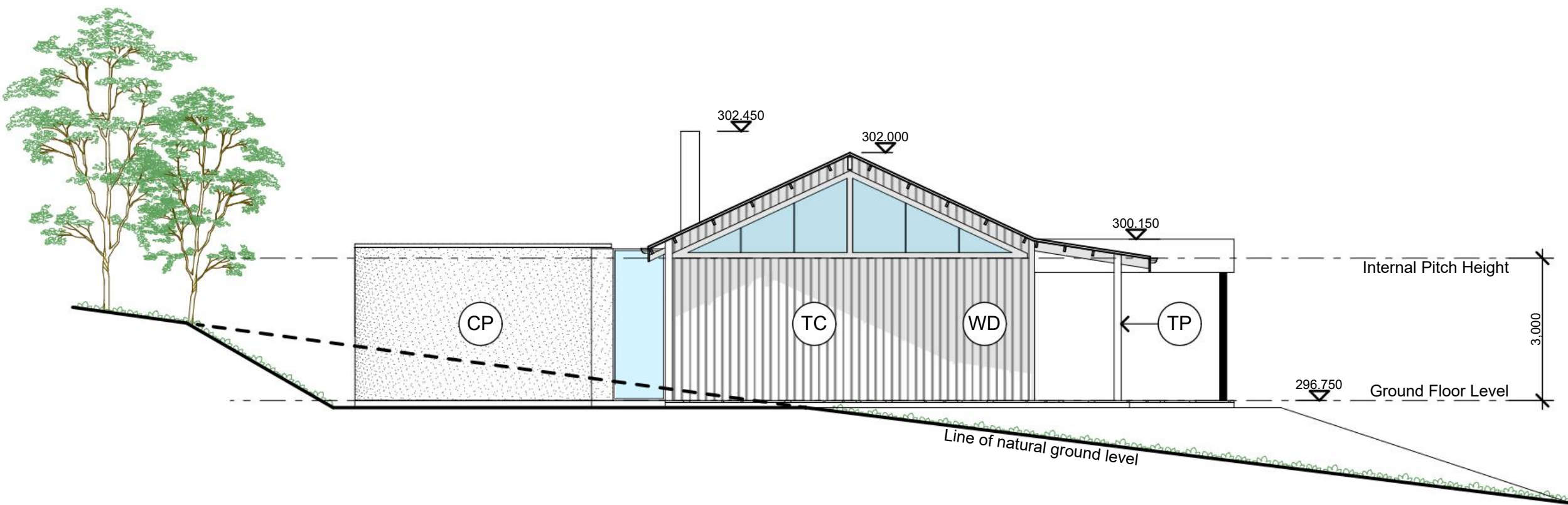


TOWN PLANNING



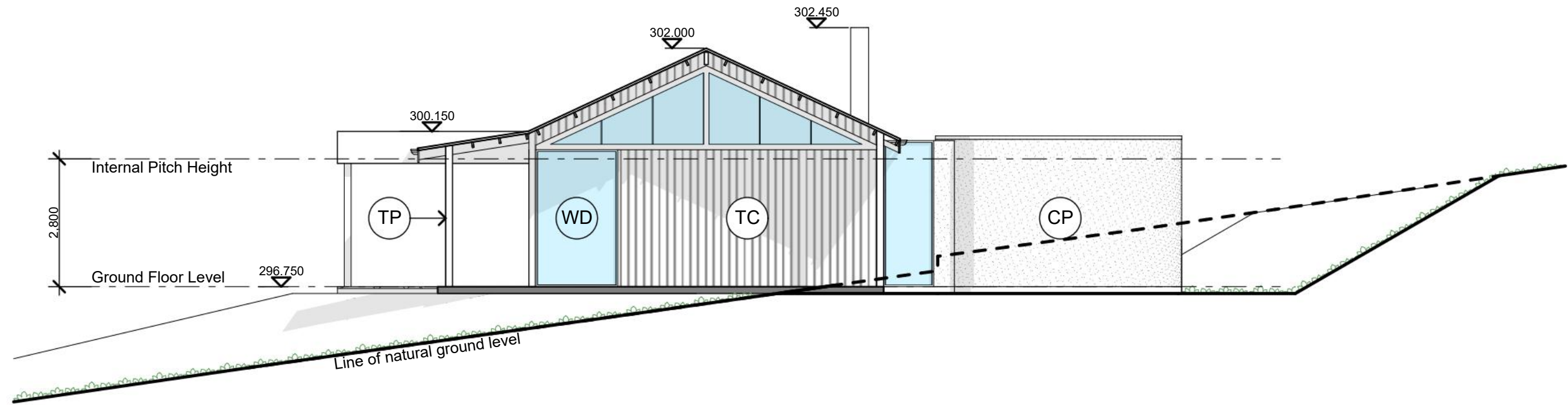
South Elevation

1:100



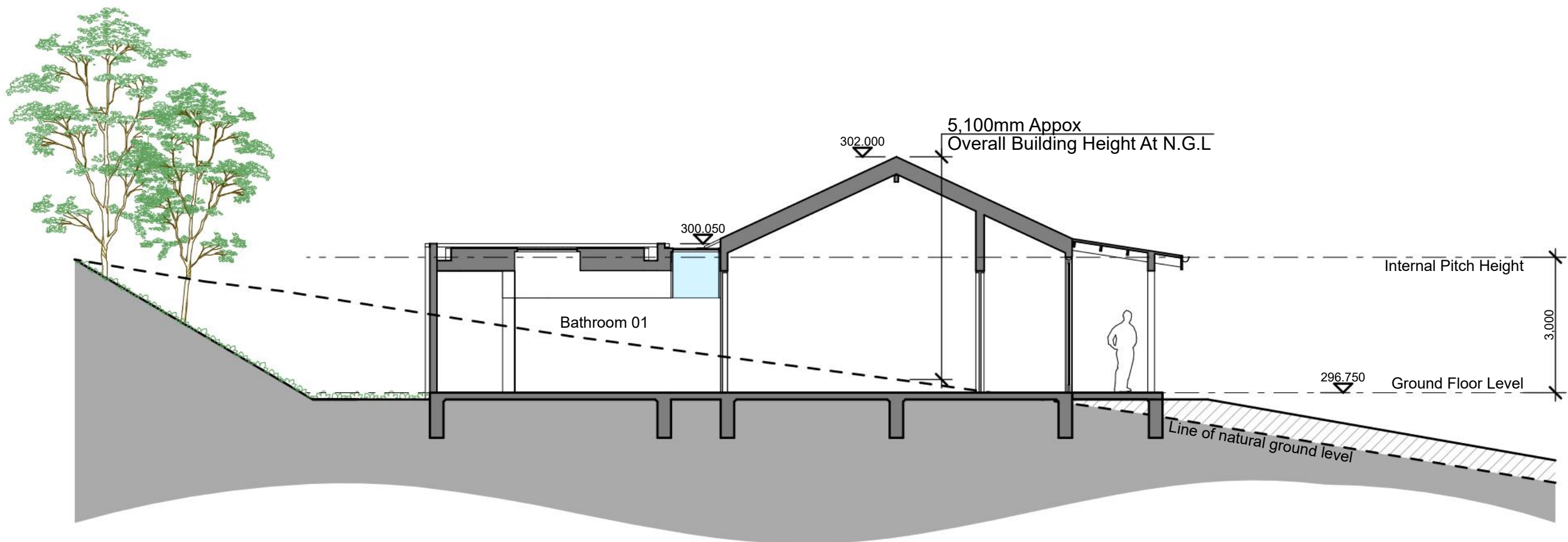
East Elevation

1:100



West Elevation

1:100

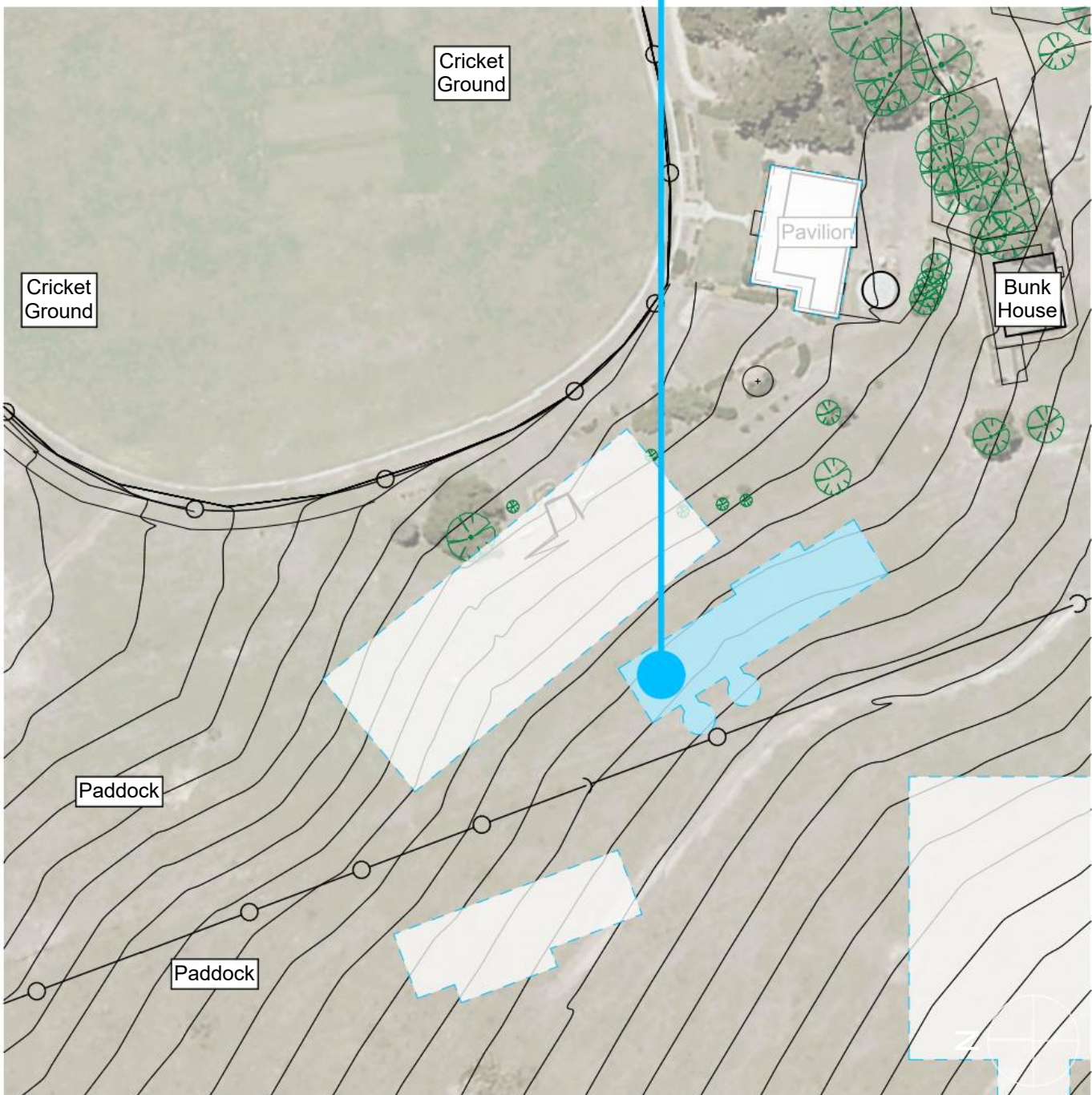


Section A-A

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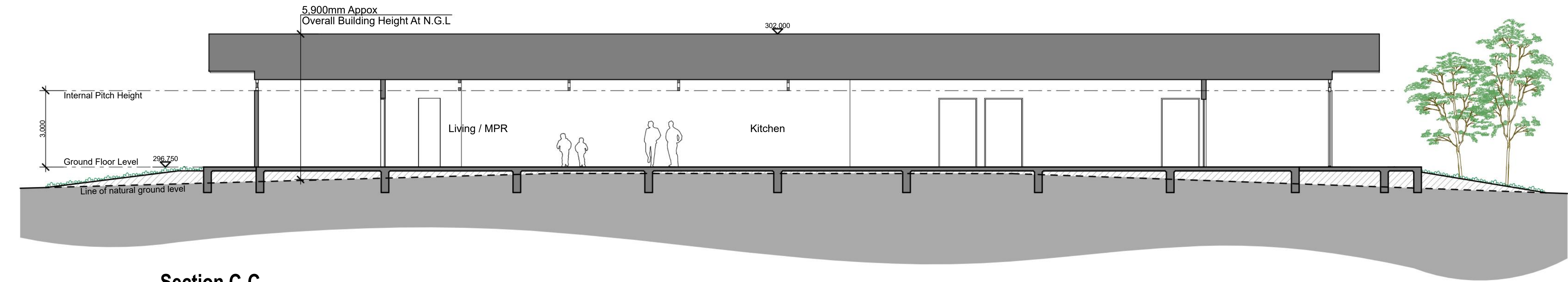
Note:
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PROPOSED NEW LODGE



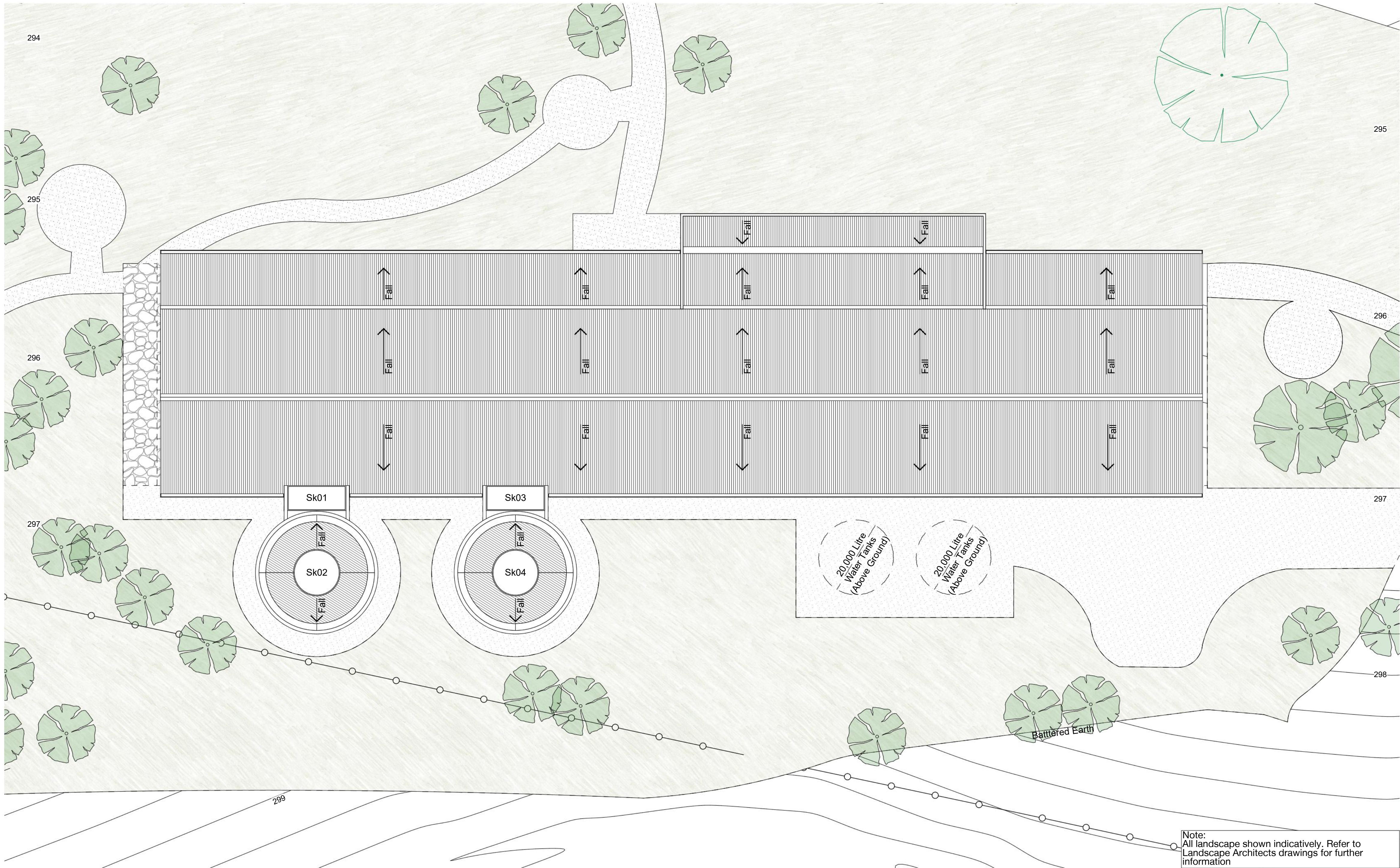
TOWN PLANNING

Outbuilding Finishes Schedule	
CP	External Walls: Concrete
TC	External Walls: Timber Vercile Shiplap Cladding Colour: Silver (aged)
WD	Windows & Doors: Aluminium framed windows & doors Silver/ Grey paint finish Clear glass to satisfy energy rating requirement
SR	Roofing: Sheet roofing Corrugated iron sheet for a galvanised finish



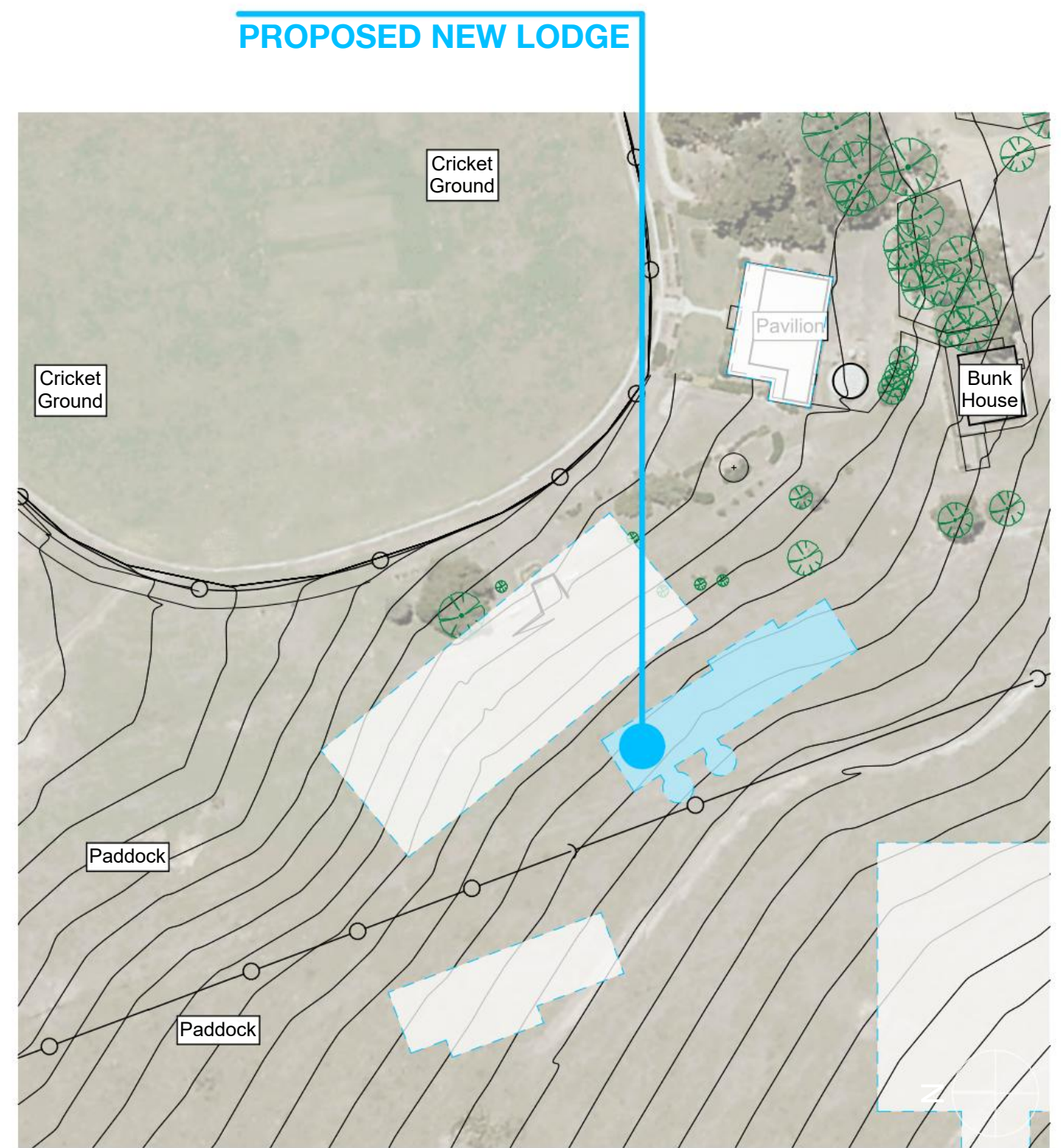
Section C-C

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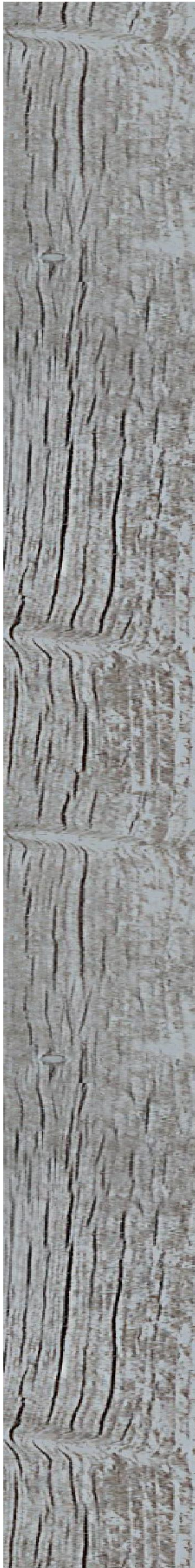


Proposed Lodge Design Response Plan

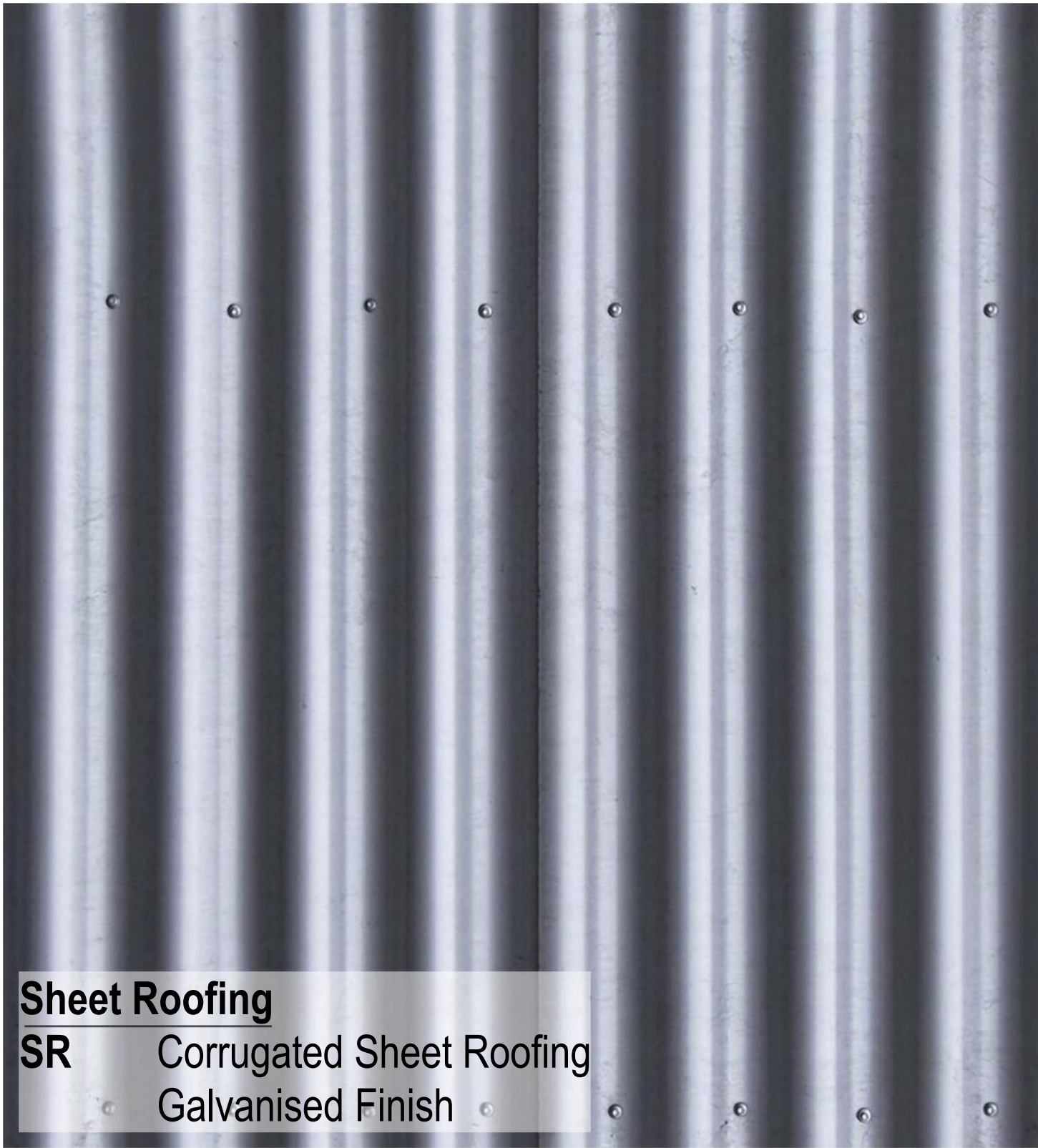
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TOWN PLANNING



Windows & Doors
WD Aluminium Frame
Powdercoat grey
or approved similar



Sheet Roofing
SR Corrugated Sheet Roofing
Galvanised Finish



Timber Posts, Beams, Rafters
TP Timber Posts (To be selected)



External Walls
CP Concrete finish walls



External Walls
TC1 Vertical Timber Batten Cladding
(To be selected)



Paving
Crazy Paving (To be selected)

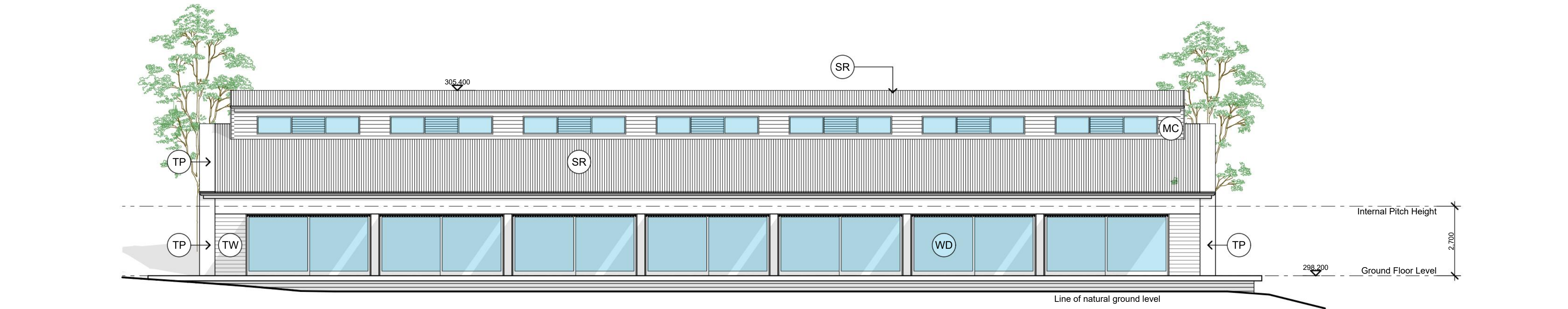


INDICATIVE ARTIST IMPRESSION FOR GYMNASIUM/ SWIMMING POOL



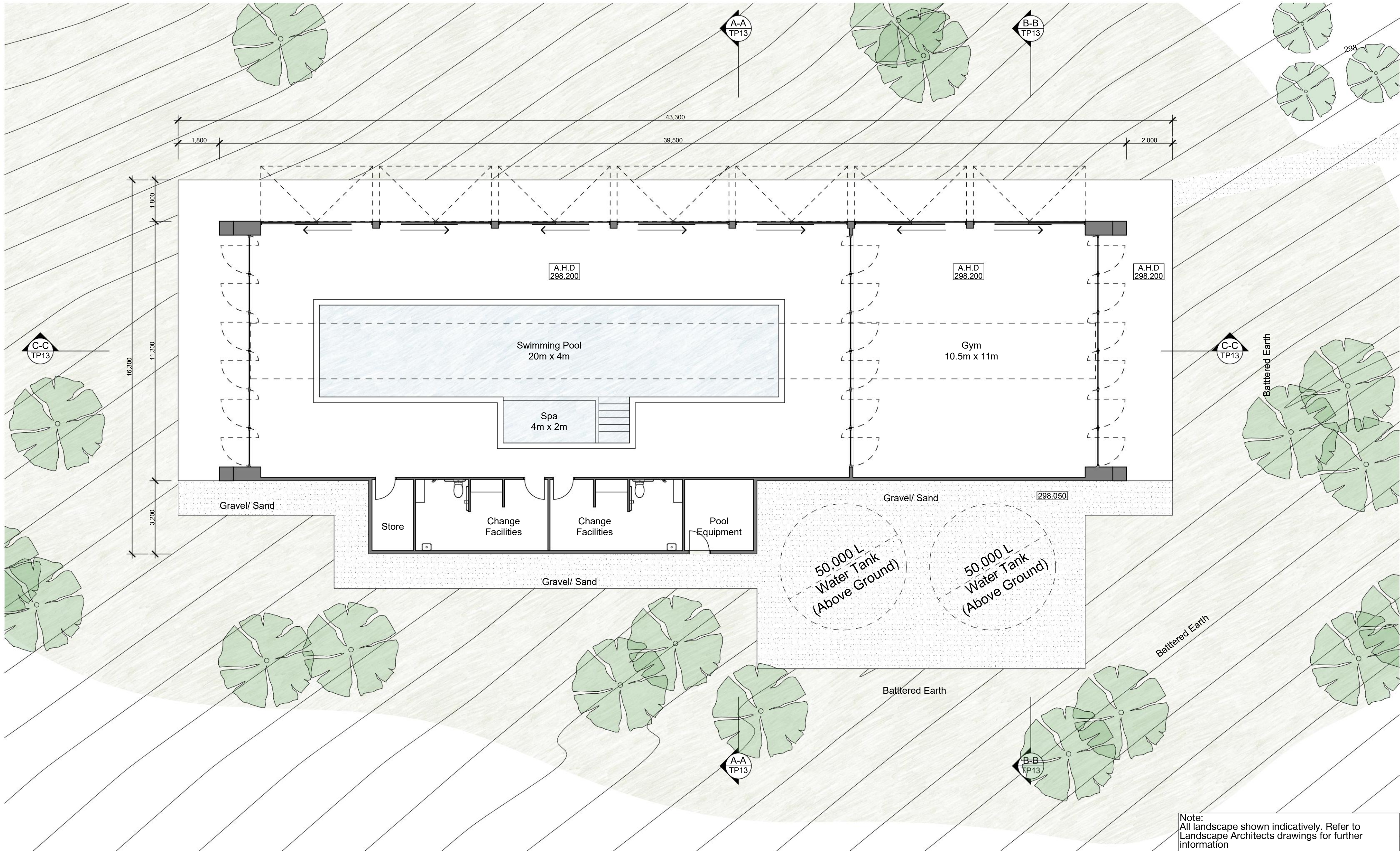
INDICATIVE ARTIST IMPRESSION FOR GYMNASIUM/ SWIMMING POOL

TOWN PLANNING



Proposed Pool: North Elevation (Open Screens)

1:100



Proposed Pool Ground Floor Level

1:100

BUSHFIRE PROTECTION MEASURES

MANDATORY CONDITION

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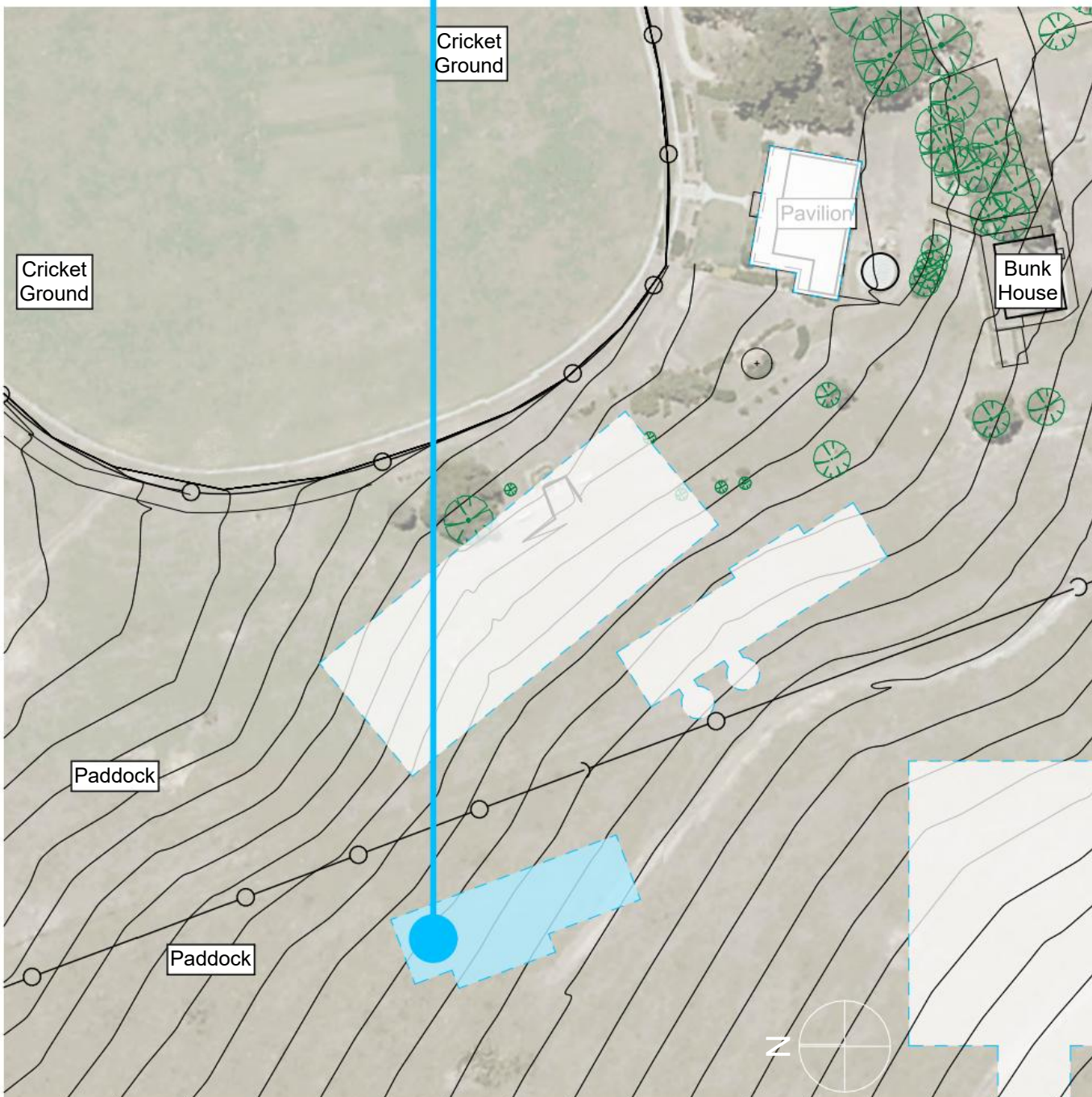
LENGTH OF ACCESS IS GREATER 100 METRES: YES

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LENGTH OF ACCESS IS GREATER 200 METRES: YES

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PROPOSED NEW POOL & GYMNASIUM



TOWN PLANNING

Rev # Revision:

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Proposed Works At The Village Green
At 26 Hannas Road, STRATH CREEK
FOR Village Green Camp Site Pty Ltd.

Drawn:

DC FEB'22

Plot Date:

3/10/2022

Scale @ A1:

1:100

Drawing Details:

Proposed Pool & Gymnasium Plan & North Elevation

TOWN PLANNING

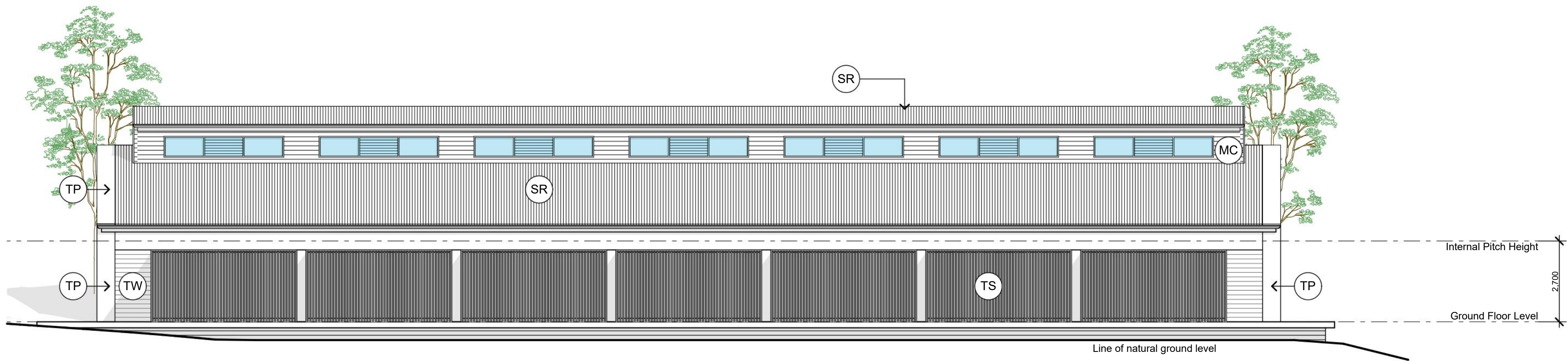
Drawing No:

TP11 - 264-21

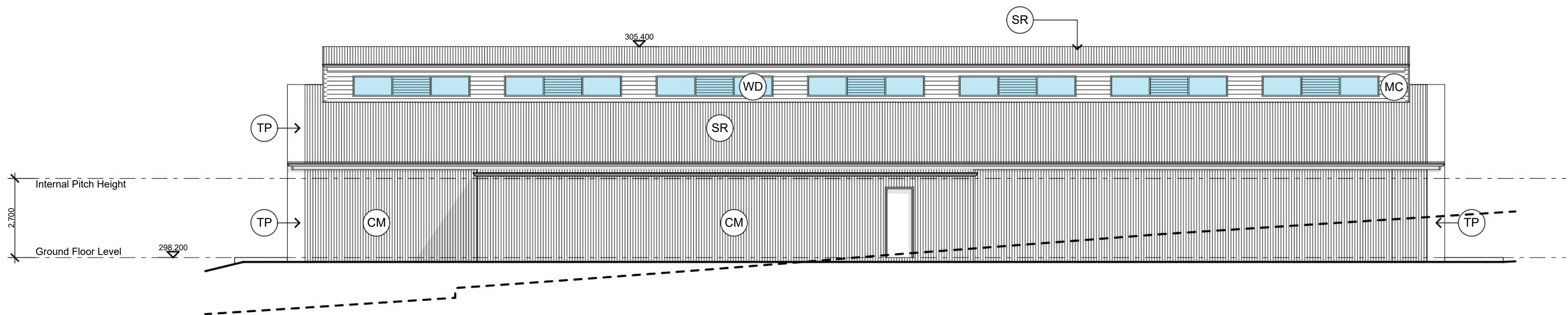
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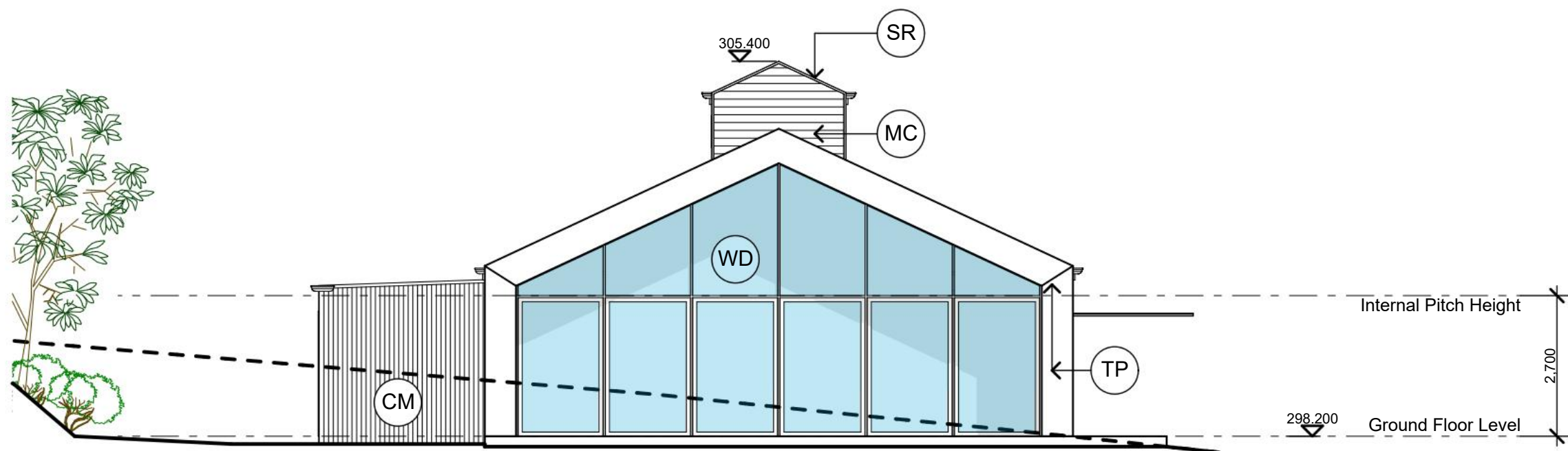
Proposed Pool: North Elevation (Closed Screens)
1:100



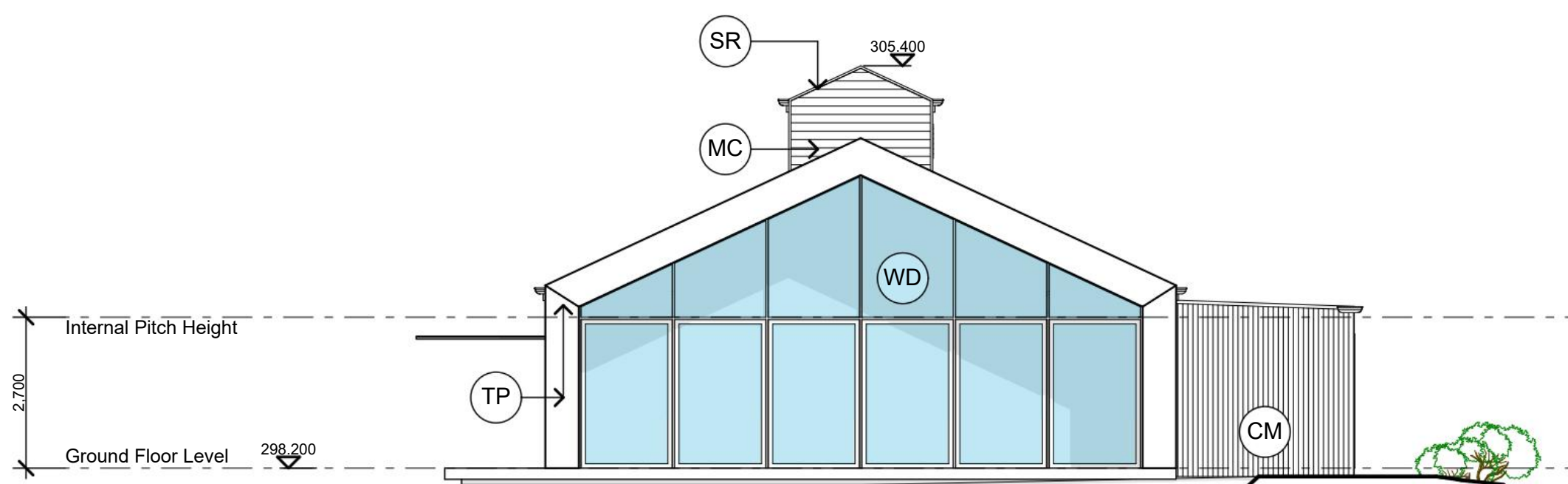
Proposed Pool: South Elevation
1:100

Pool & Gymnasium Finishes Schedule

- (TP) **Timber Sleeper:**
Aged Timber Sleeper
- (TW) **External Walls:**
Timber Weatherboard Horizontal
Colour: Silver (aged)
- (WD) **Windows & Doors:**
Aluminium framed windows & doors
Colour: 'Black Ace' and/ or similar
Clear glass to satisfy energy rating requirement
- (SR) **Roofing:**
Sheet roofing
Corrugated Iron sheet for a galvanised finish
- (MC) **Metal Cladding:**
Corrugated Metal Cladding
- (CM) **Metal Cladding:**
Corrugated Metal Cladding
- (TS) **Timber Shutters**
Colour: Silver (aged)



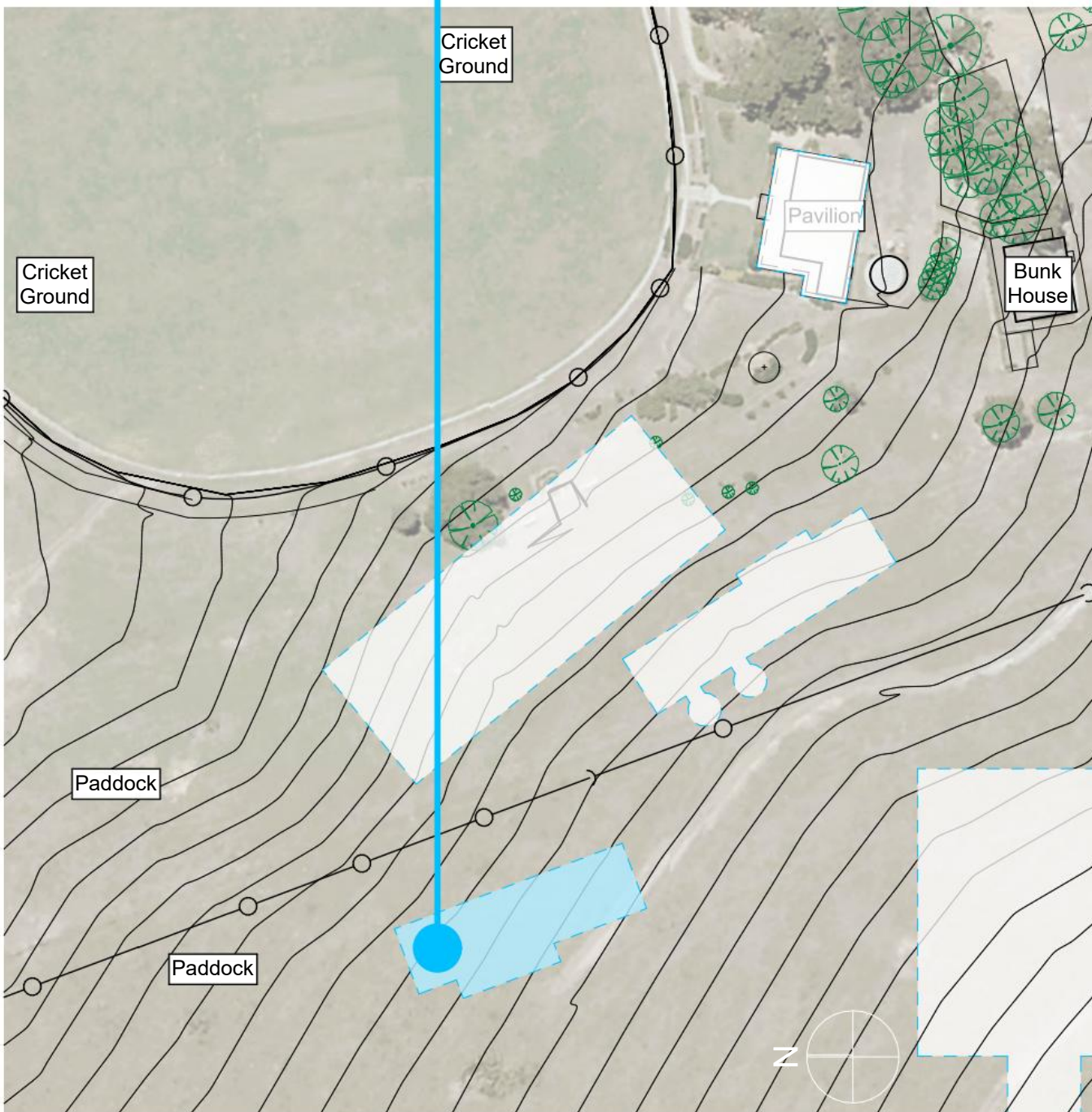
Proposed Pool: East Elevation
1:100



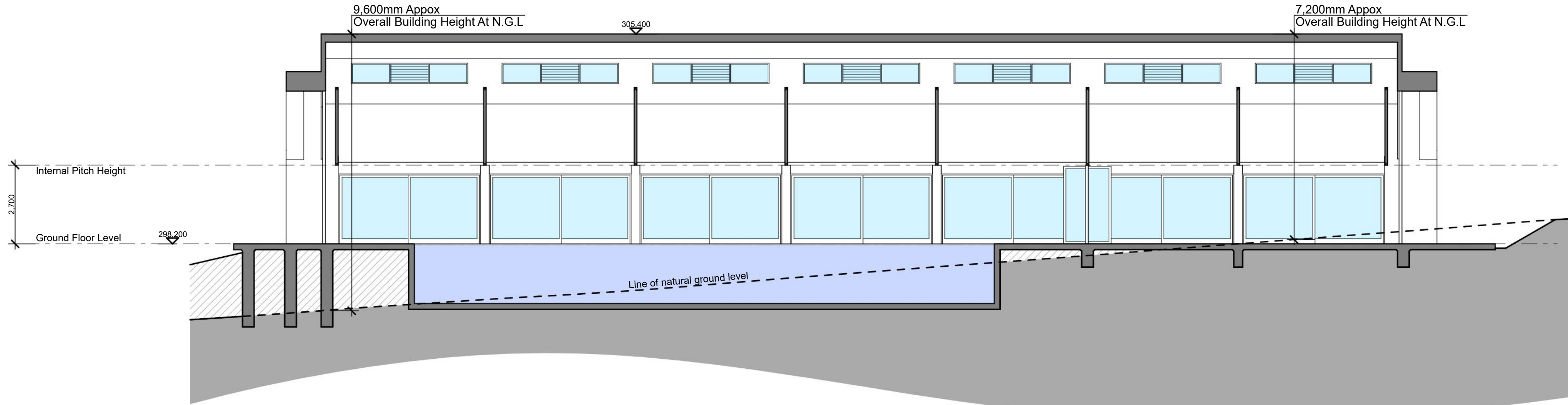
Proposed Pool: West Elevation
1:100

Note:
All landscape shown indicatively. Refer to
Landscape Architects drawings for further
information

PROPOSED NEW POOL & GYMNASIUM

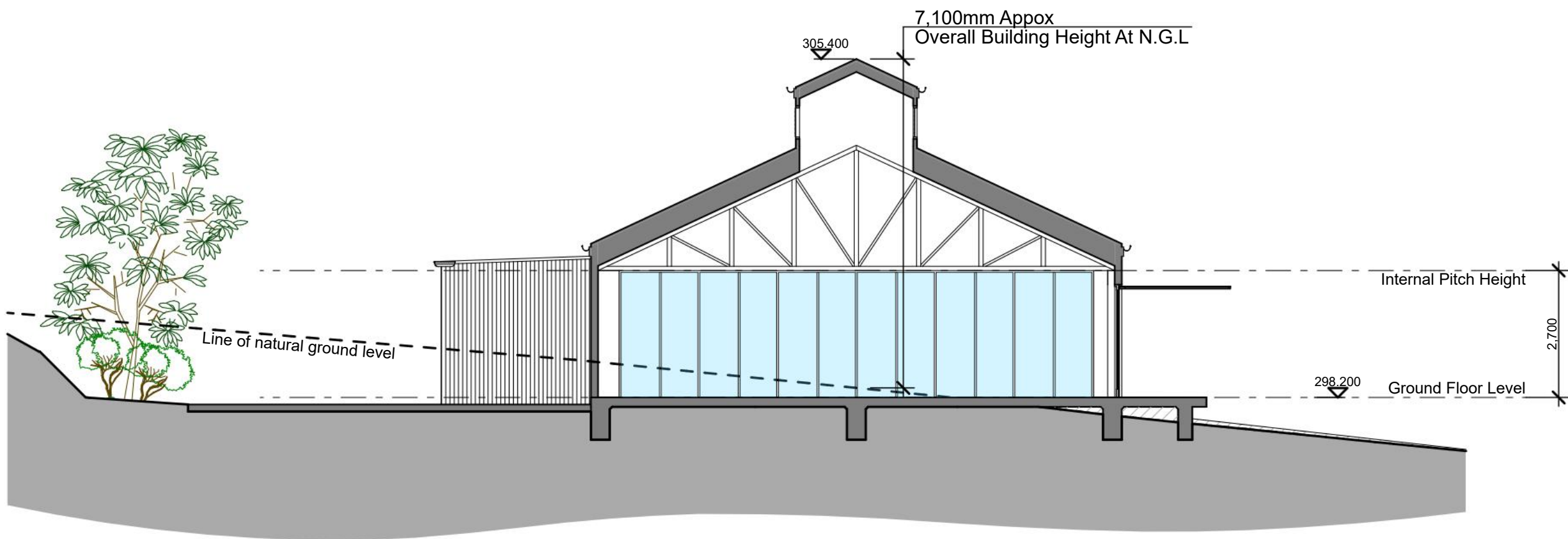


TOWN PLANNING



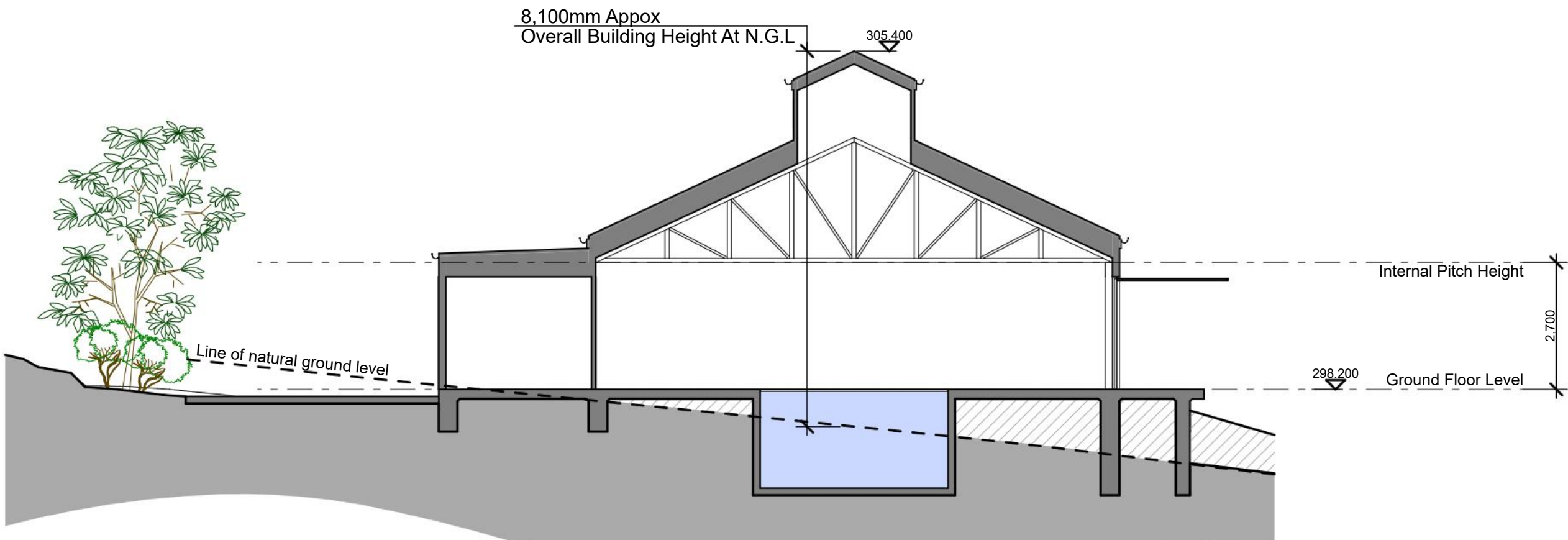
Proposed Pool: Section C-C

1:100



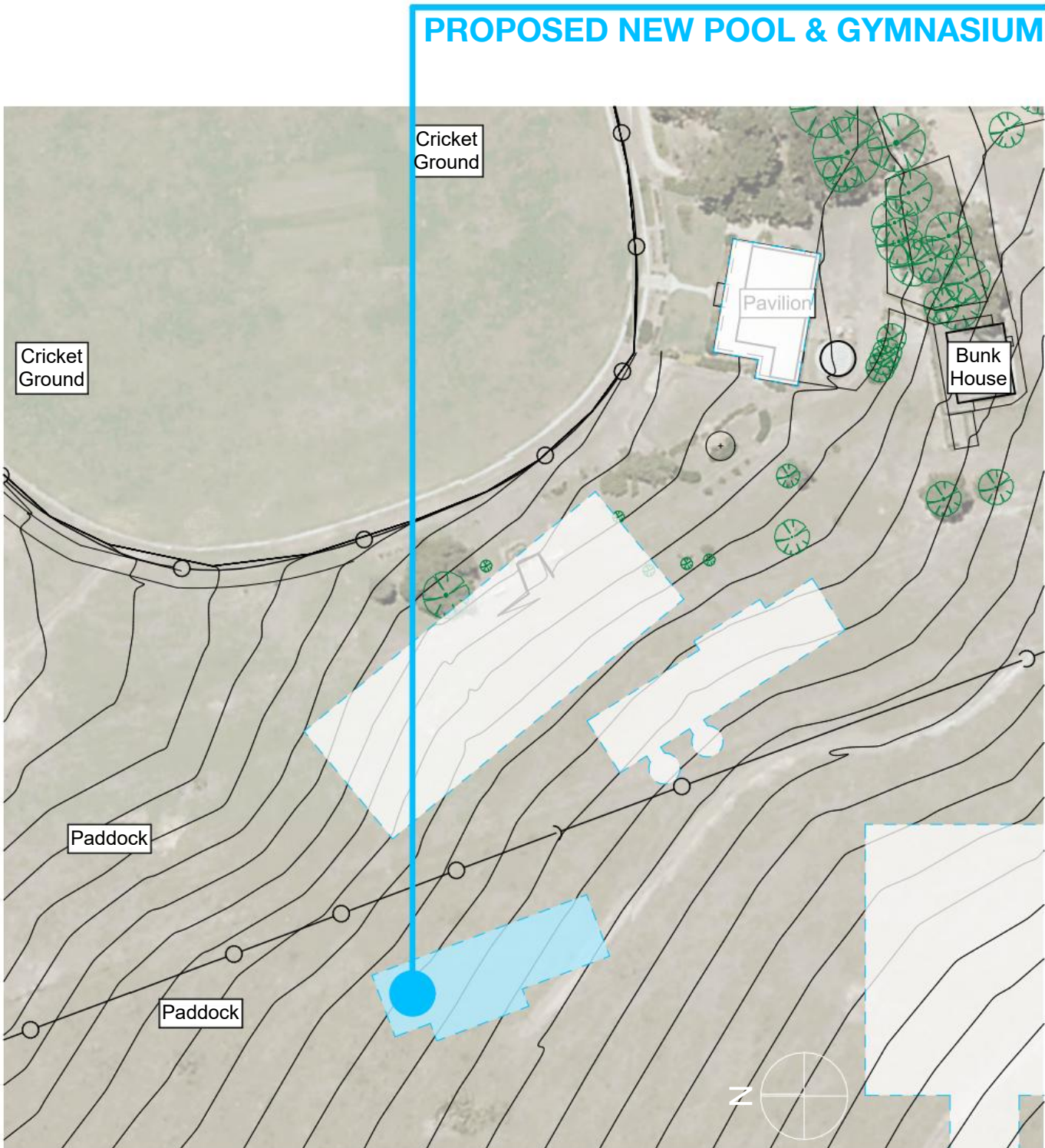
Proposed Pool: Section B-B

1:100



Proposed Pool: Section A-A

1:100



TOWN PLANNING



INDICATIVE ARTIST IMPRESSION FOR GYMNASIUM/ SWIMMING POOL



INDICATIVE ARTIST IMPRESSION FOR GYMNASIUM/ SWIMMING POOL



Sheet Roofing
SR Corrugated Iron Sheet Roofing
Galvanised Finish



Timber Sleeper
TP Timber Posts
Natural Finish



Timber Screen
Tilt Up Timber Batten
Screen



Metal Cladding
CM Corrugated Iron Cladding
Galvanised Finish
MC Corrugated Iron Cladding

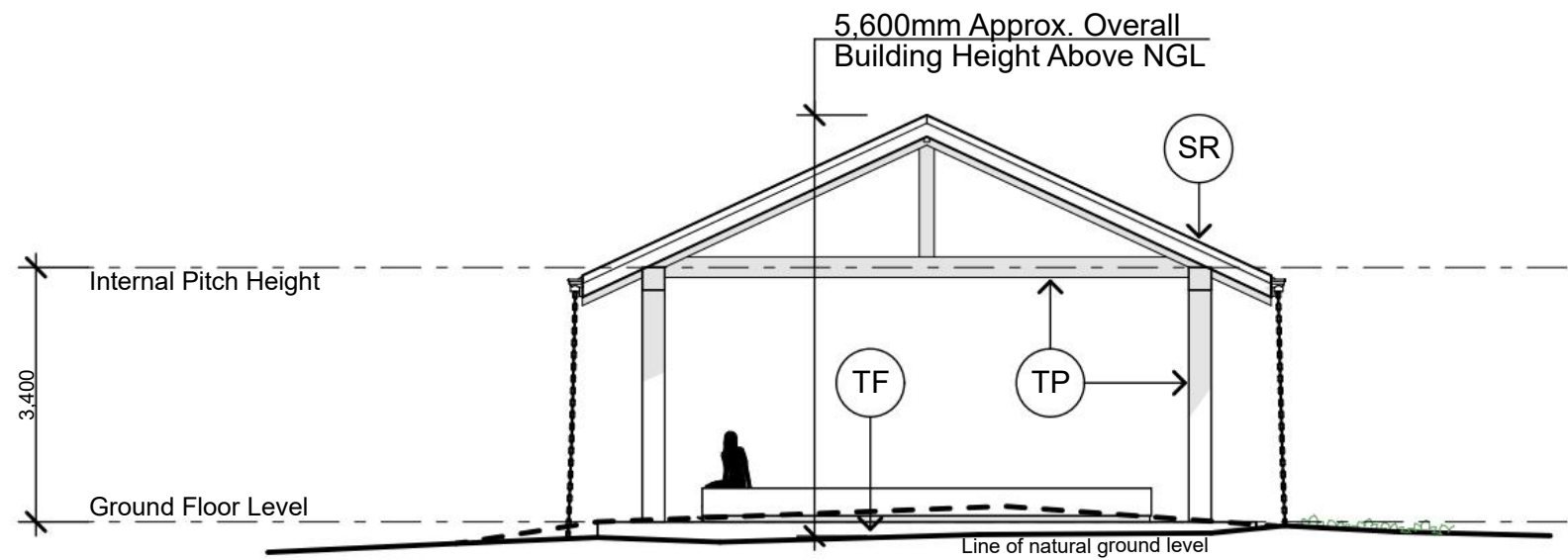


External Wall
TW Timber Weatherboard

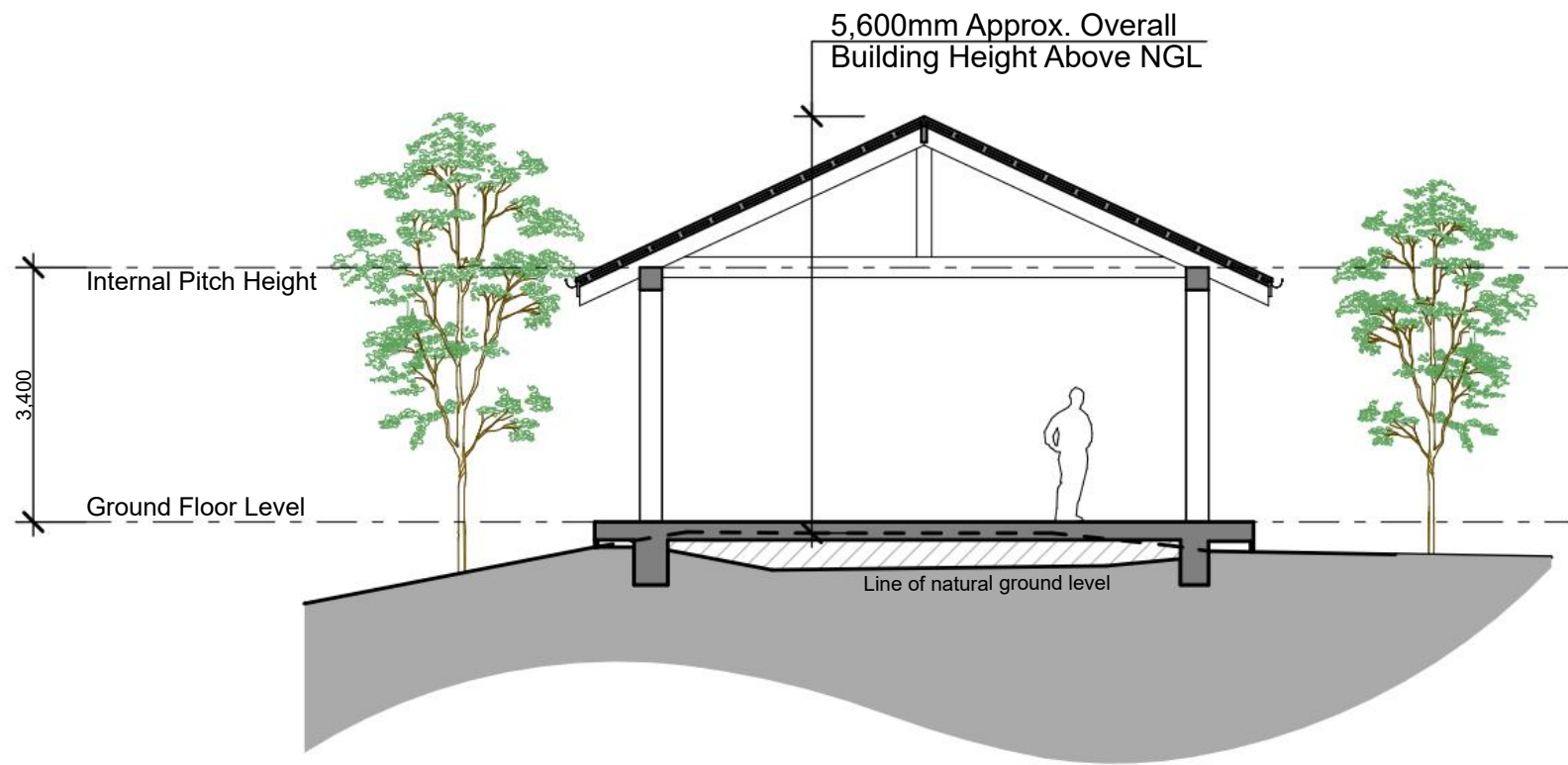




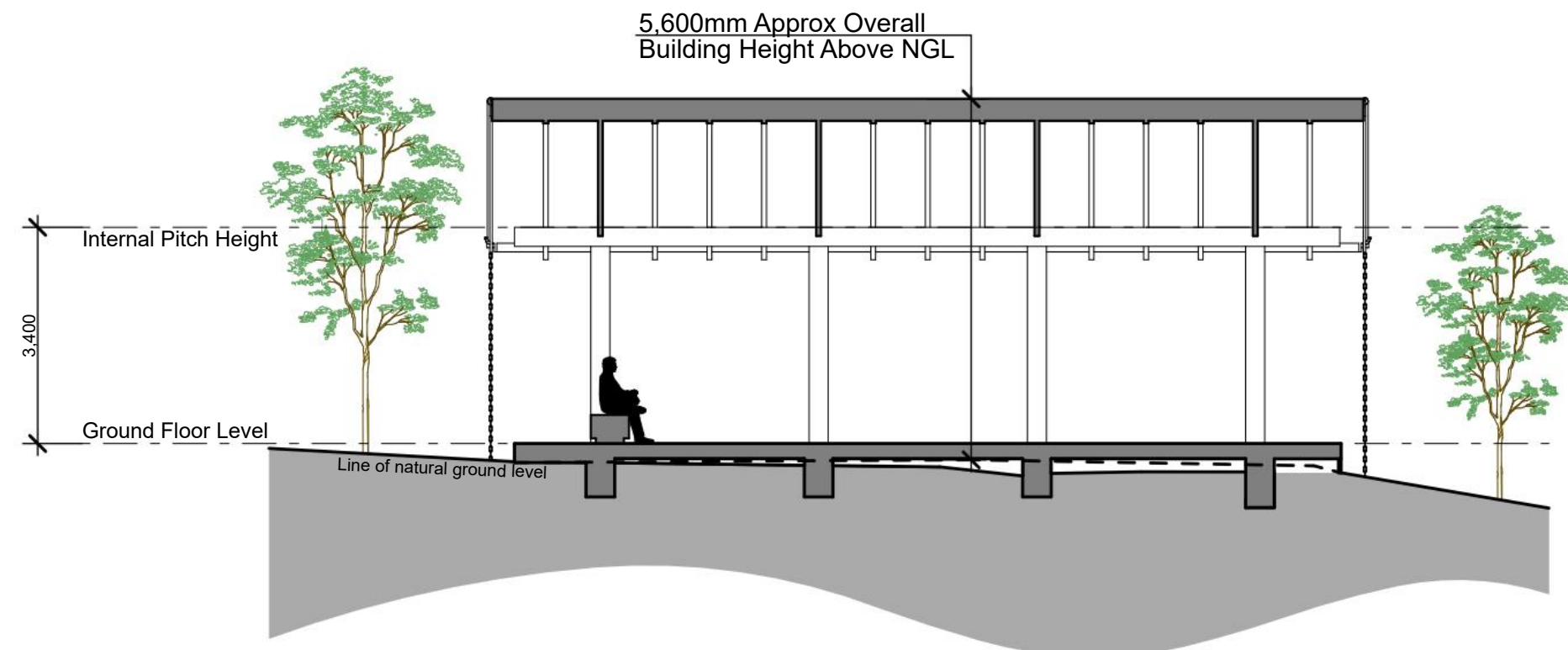
TOWN PLANNING



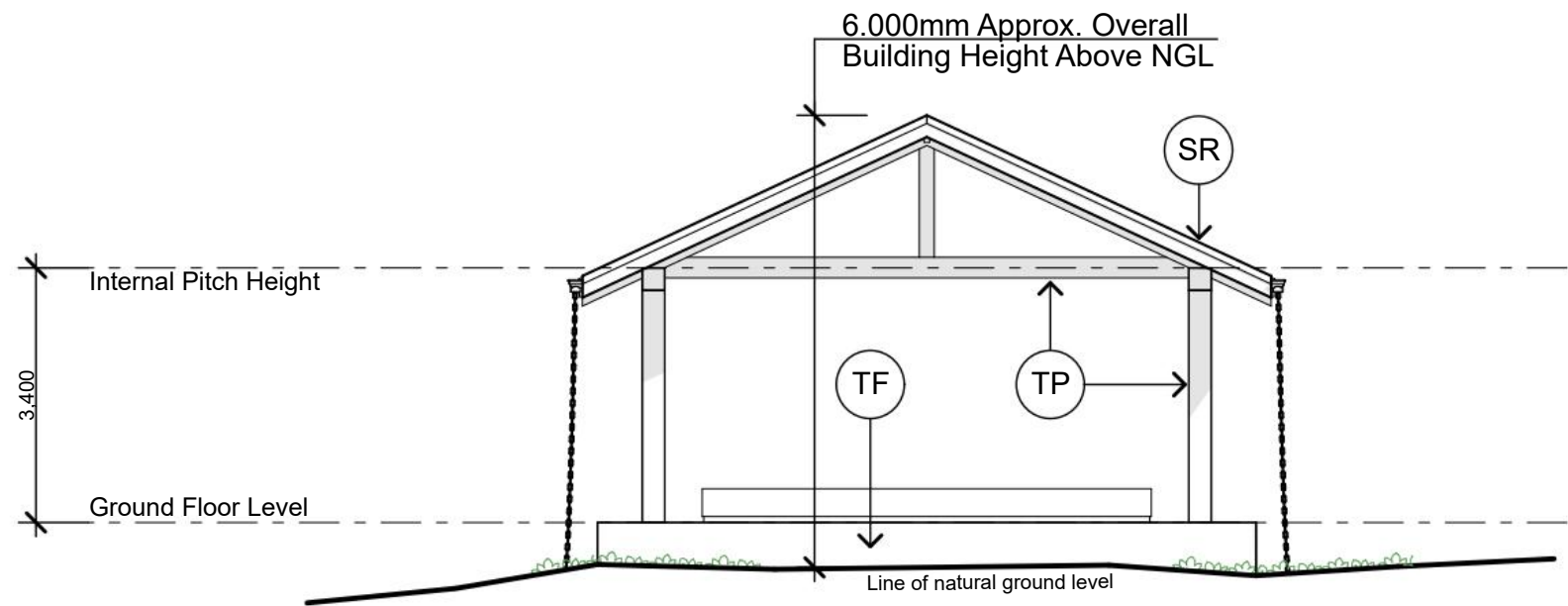
Proposed Covered Shelter: South Elevation
1:100



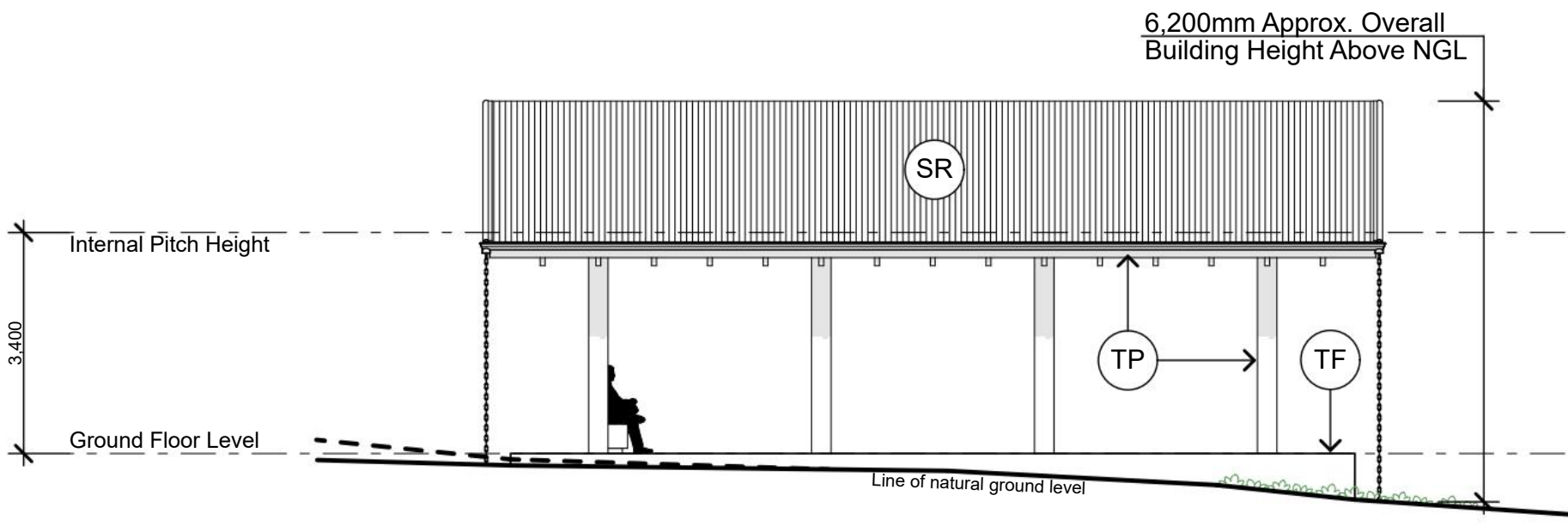
Section A-A
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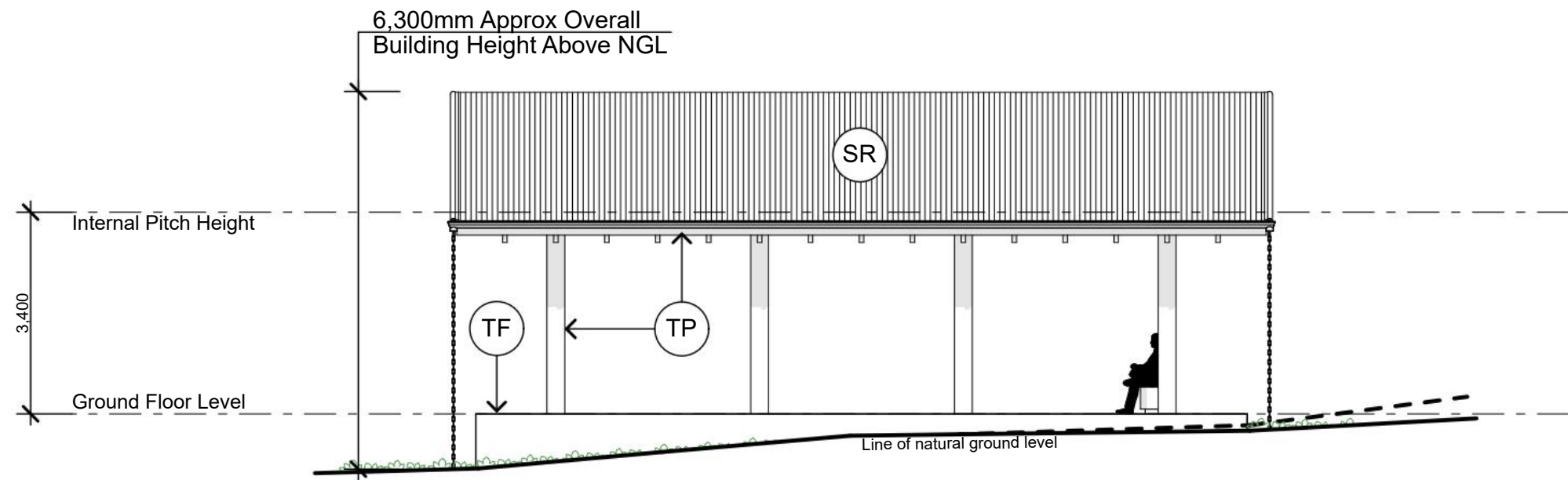
Section B-B
1:100



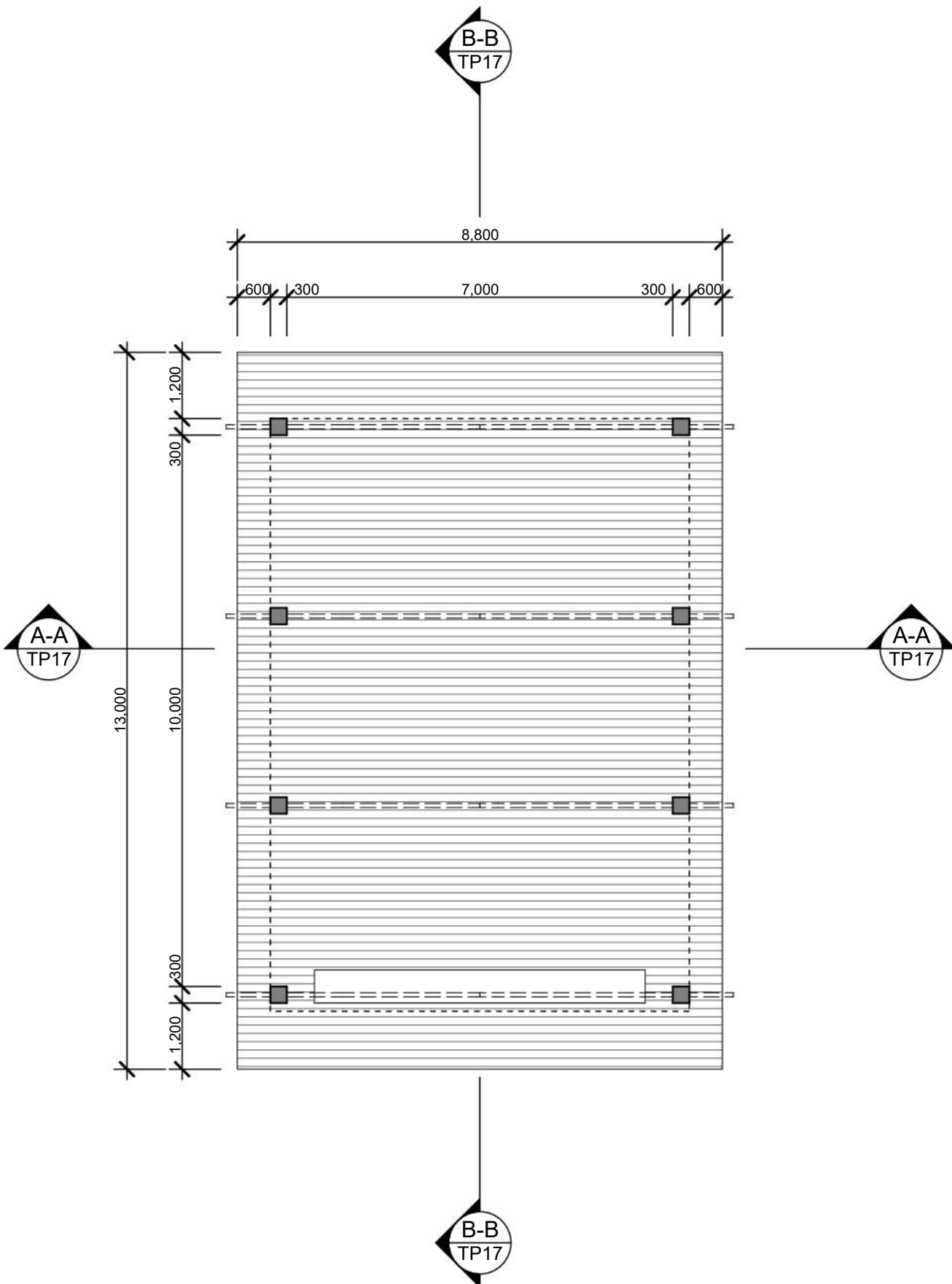
Proposed Covered Shelter: North Elevation
1:100



Proposed Covered Shelter: East Elevation
1:100



Proposed Covered Shelter: West Elevation
1:100



Proposed Covered Shelter Ground Floor Level
1:100

Note:
All landscape shown indicatively. Refer to
Landscape Architects drawings for further
information

Covered Shelter Finishes Schedule	
TP	Timber Sleeper: Structural Aged Timber Sleeper
TF	Timber Flooring: Timber Decking Boards
SR	Roofing: Sheet roofing Corrugated Iron sheet and/ or similar

BUSHFIRE PROTECTION MEASURES

MANDATORY CONDITION

THE BUSHFIRE PROTECTION MEASURES FORMING PART OF THIS PERMIT OR SHOWN ON THE ENDORSED PLANS, INCLUDING THOSE RELATING TO CONSTRUCTION STANDARDS, DEFENDABLE SPACE, WATER SUPPLY AND ACCESS, MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY ON A CONTINUING BASIS. THIS CONDITION CONTINUES TO HAVE FORCE AND EFFECT AFTER THE DEVELOPMENT AUTHORISED BY THIS PERMIT HAS BEEN COMPLETED.

a) DEFENDABLE SPACE

DEFENDABLE SPACE FOR A DISTANCE FO 10 METRES AROUND THE PROPOSED BUILDING OR TO THE PROPERTY BOUNDARY, WHICHEVER IS THE LESSER IS PROVIDED AND IS MANAGED IN ACCORDANCE TO THE FOLLOWING REQUIREMENTS:

- Σ GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD
- Σ ALL LEAVES VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD
- Σ WITHIN 10 METRES OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING
- Σ PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3 METRES OF A WINDOW OR GLASS FEATURE OF THE BUILDING
- Σ SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TRESS
- Σ INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 5 SQUARE METRES IN AREA AND MUST BE SEPARATED BY AT LEAST 5 METRES
- Σ TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING
- Σ THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 2 METRES.
- Σ THERE MUST BE A CLEARANCE OF AT LEAST 2 METRES BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

b) CONSTRUCTION REQUIREMENT

NON HABITABLE OUTBUILDING ANCILLARY TO A DWELLING IS MORE THAN 10 METRES FROM A DWELLING HAS NO CONSTRUCTION REQUIREMENTS.

TABLE 7 OUTBUILDING CONSTRUCTION REQUIREMENT

BUILDING CONSTRUCTION CONDITION

THE PROPOSED OUTBUILDING IS SEPARATED FROM THE ADJACENT BUILDING BY A WALL THAT EXTENDS TO THE UNDERSIDE OF A NON-COMBUSTIBLE ROOF COVERING AND:

- Σ HAS A FRL OF NOT LESS THAN 60/60/60 FOR LOADBEARING WALLS AND -/60/60 FOR NON-LOAD BEARING WALLS WHEN TESTED FROM ATTACHED STRUCTURE SIDE, OR
- Σ IS OF MASONRY, EARTH WALL OR MASONRY-VENEER CONSTRUCTION WITH THE MASONRY LEAD OF NOT LESS THAN 90MILLIMETRES IN THICKNESS.

ANY OPENINGS IN WALL SHALL BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING:

- i. DOORWAYS - BY FRL -/60/30 SELF CLOSING FIRE DOORS
- ii. WINDOWS - BY FRL -/60/- FIRE WINDOWS PERMANENTLY FIXED IN THE CLOSED POSITION
- iii. OTHER OPENINGS - BY CONSTRUCTION WITH A FRL OF NOT LESS THAN -/60/-

NOTE: CONTROL AND CONSTRUCTION JOINTS, SUBFLOOR VENTS, WEEPHOLES AND PENETRATIONS FOR PIPES AND CONDUITS NEED NOT COMPLY WITH ITEM III.



TOWN PLANNING



INDICATIVE ARTIST IMPRESSION FOR MULTIPURPOSE COURTS



INDICATIVE ARTIST IMPRESSION FOR MULTIPURPOSE COURTS

TOWN PLANNING



BUSHFIRE PROTECTION MEASURES

MANDATORY CONDITION

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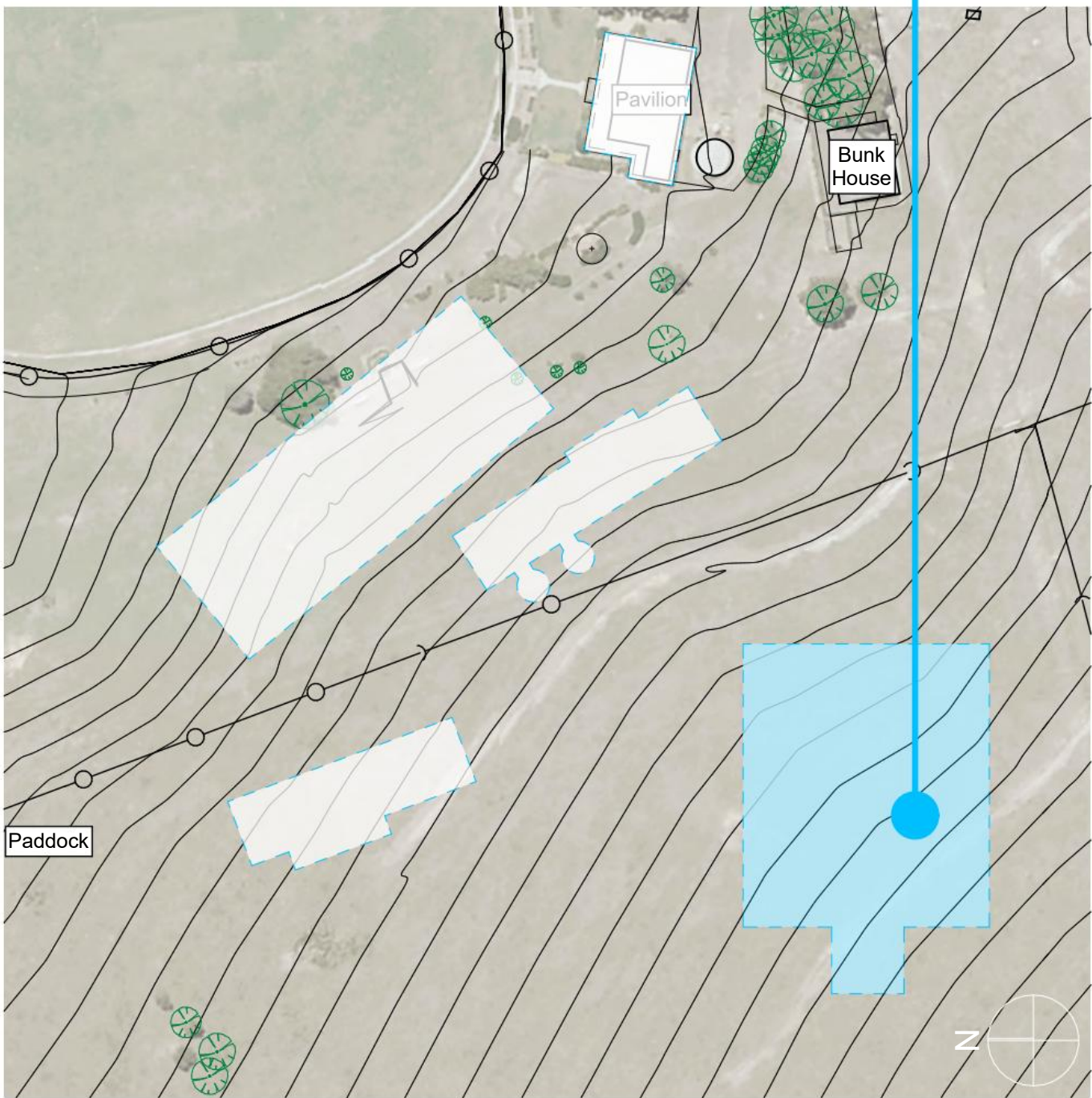
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PROPOSED MULTICOURTS & GOLF NETS



Proposed Multipurpose Courts Plan

1:100

Rev # Revision:

Date

Project Details:

Proposed Works At The Village Green
At 26 Hannas Road, STRATH CREEK
FOR Village Green Camp Site Pty Ltd.



Drawn:

DC

Drawn Date:

FEB'22

Plot Date:

3/10/2022

Scale @ A1:

1:100

Drawing Details:

Proposed Multipurpose Courts Ground
Floor Plan

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Drawing No:

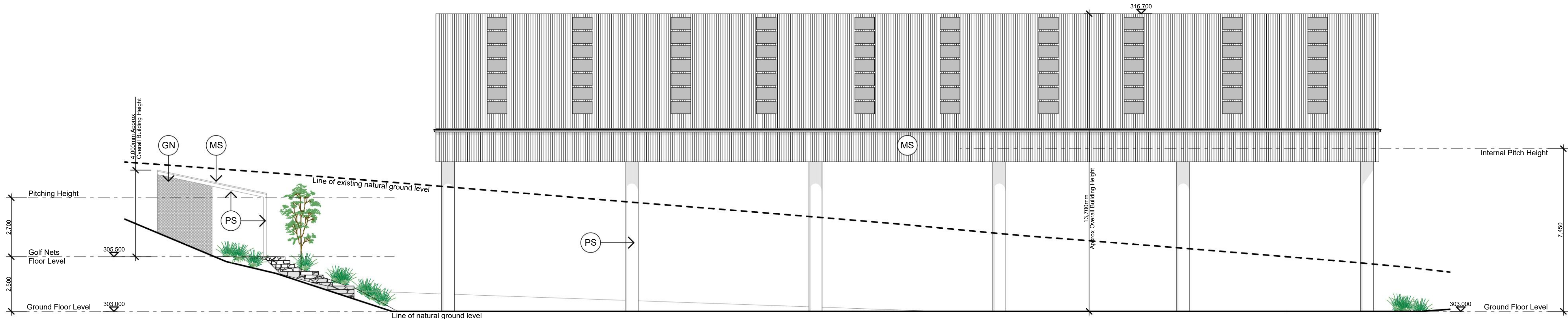
TP19 - 264-21

Project No:

TP19 - 264-21

Revision No:

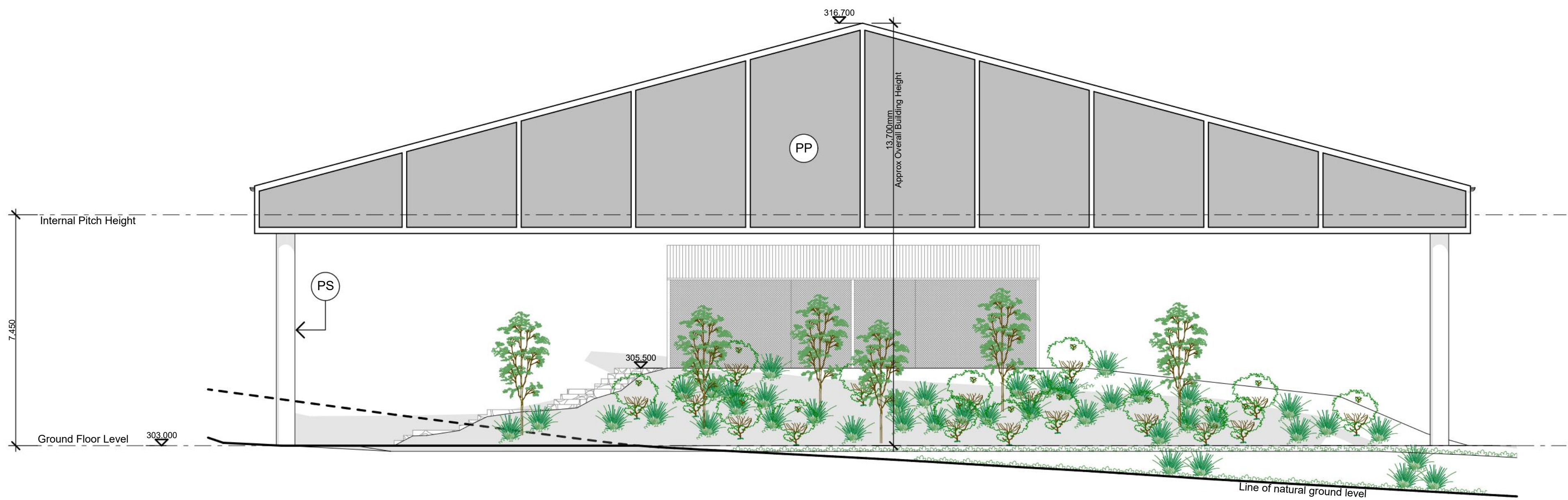
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RICHMOND VIC 3121
T+613 9429 2733
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E admin@rachcova.com.au
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Proposed Multi-Courts South Elevation

1:100

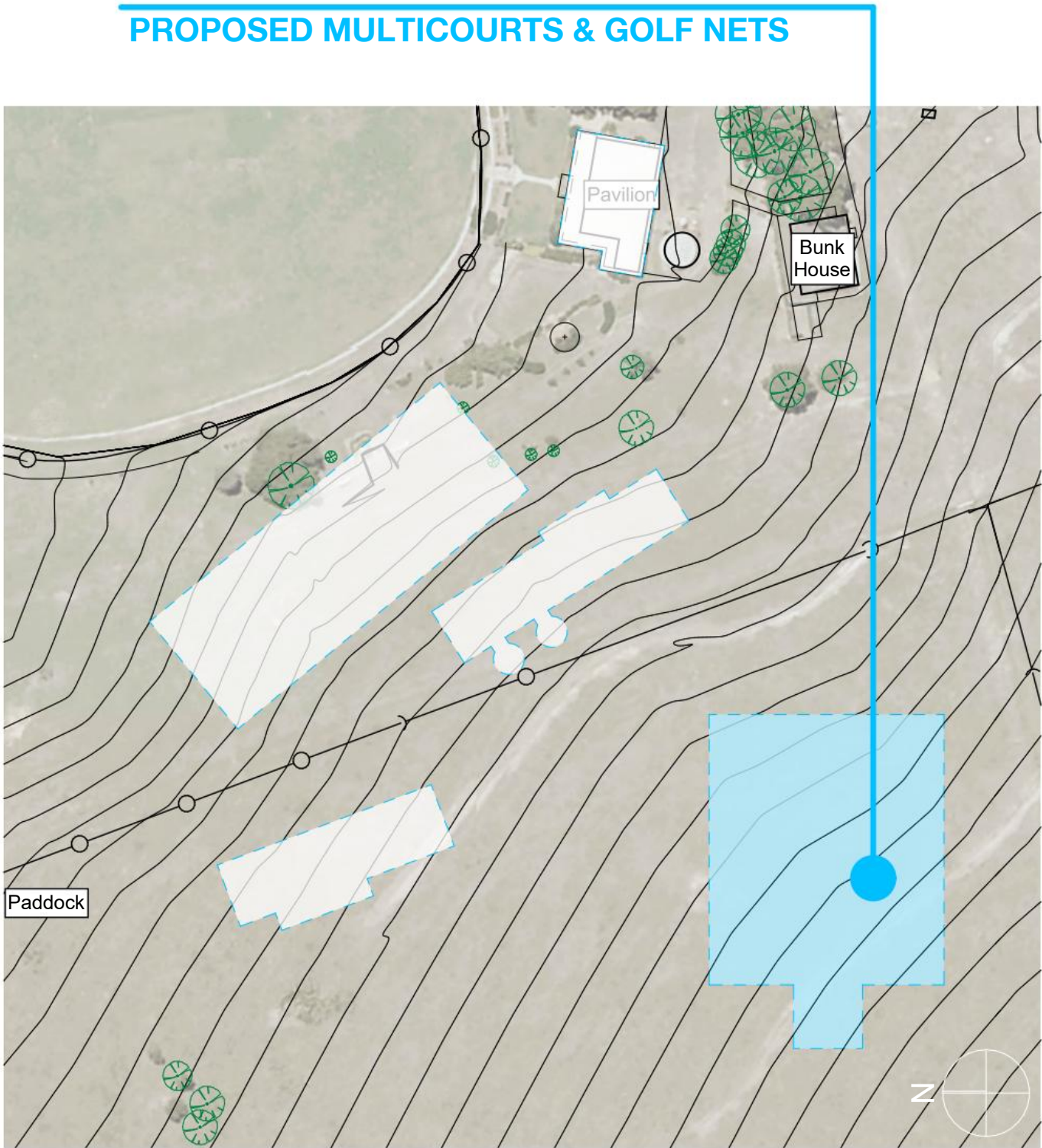
Multipurpose Courts Finishes Schedule	
PP	Perspex Panel: Clear Perspex Panel
PS	Steel Columns: Painted Steel Columns
MS	Metal Cladding: Corrugated Metal Cladding Vercile
GN	Golf Netting: Smaller aperature golf netting
Court Surface: Concrete/ Asphalt base With selected synthetic finished surface	



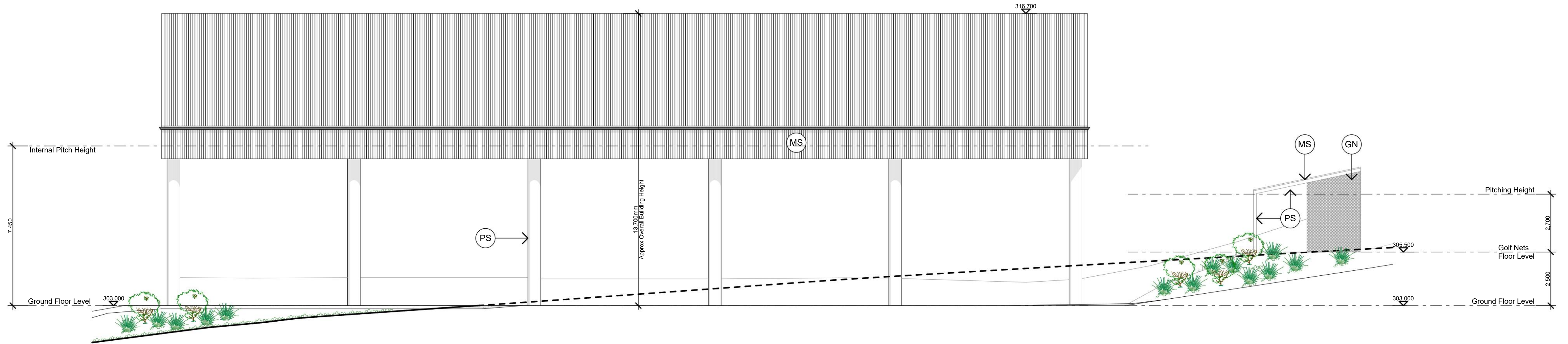
Proposed Multi-Courts East Elevation

1:100

Note:
All landscape shown indicatively. Refer to
Landscape Architects drawings for further
information



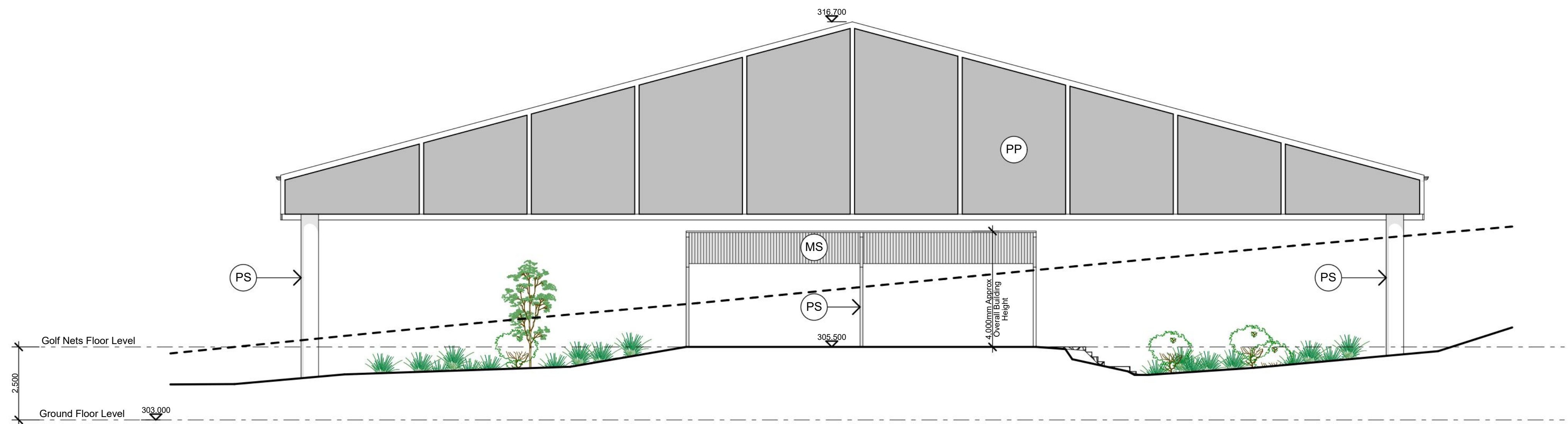
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Proposed Multi-Courts North Elevation

1:100

- PP Perspex Panel:
Clear Perspex Panel
 - PS Steel Columns:
Painted Steel Columns
 - MS Metal Cladding:
Corrugated Metal Cladding Velticle
 - GN Golf Netting:
Smaller aperature golf netting
- Court Surface:
Concrete/ Asphalt base
With selected synthetic finished surface

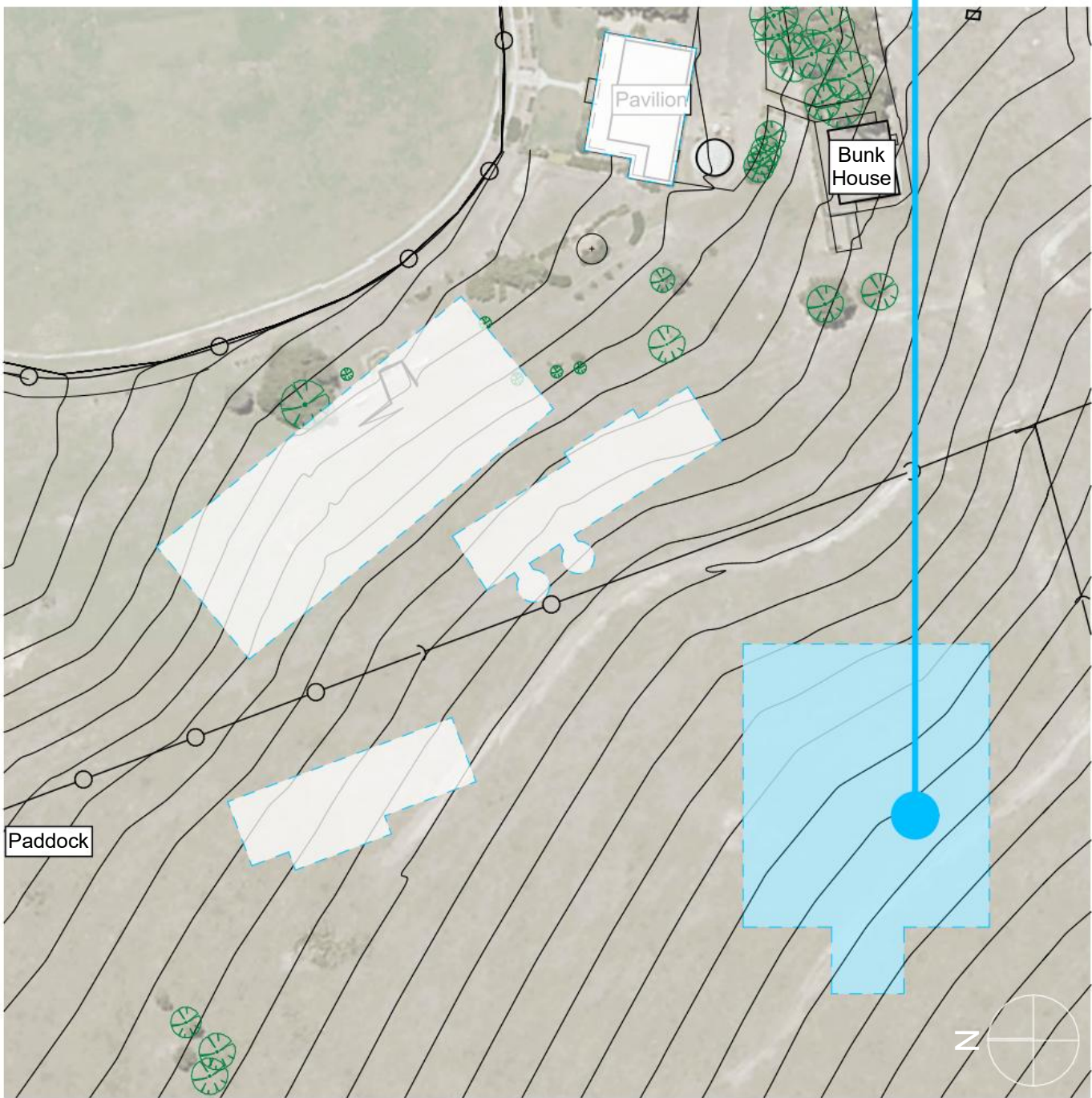


Proposed Multi-Courts West Elevation

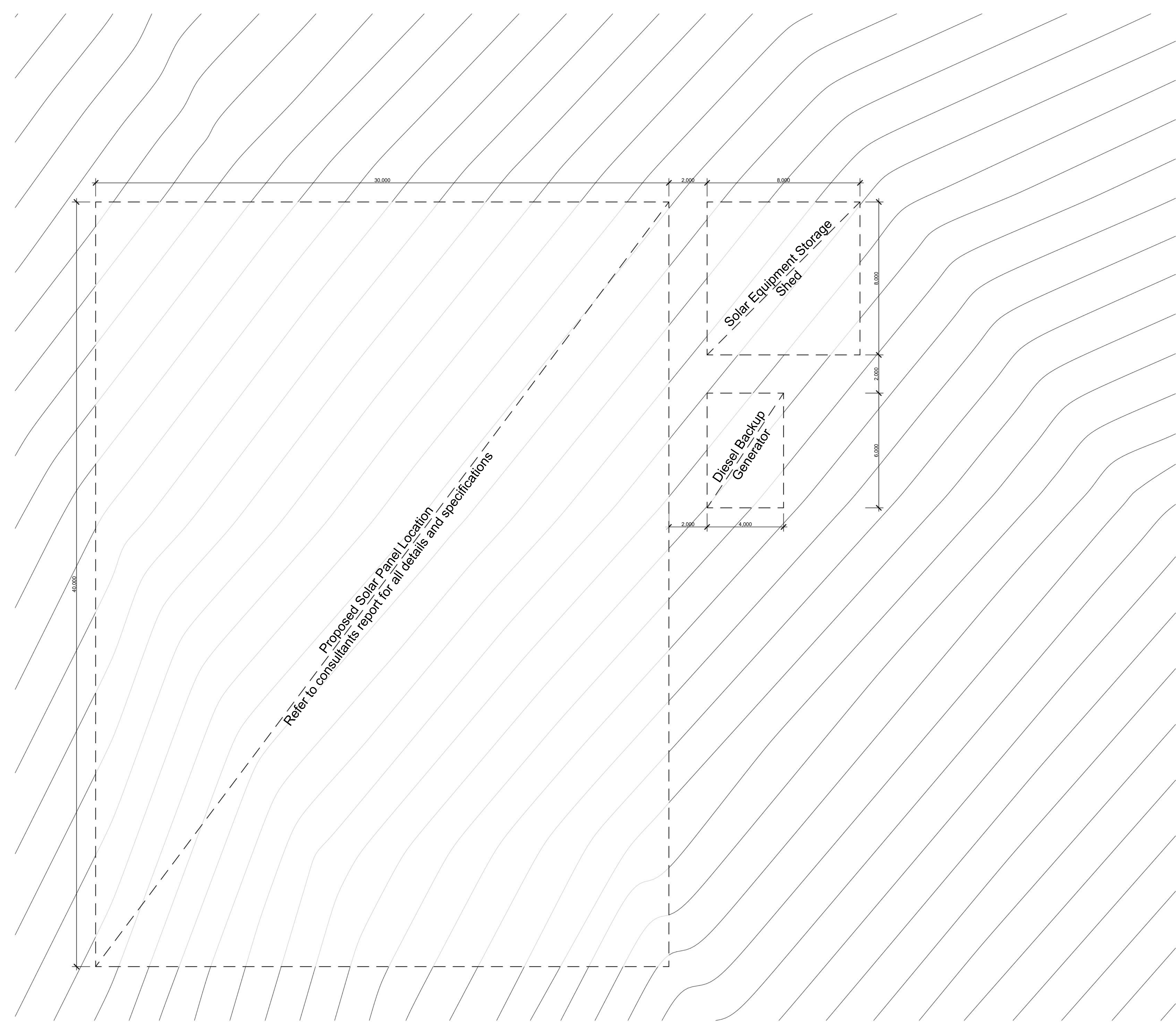
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Note:
All landscape shown indicatively. Refer to
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PROPOSED MULTICOURTS & GOLF NETS

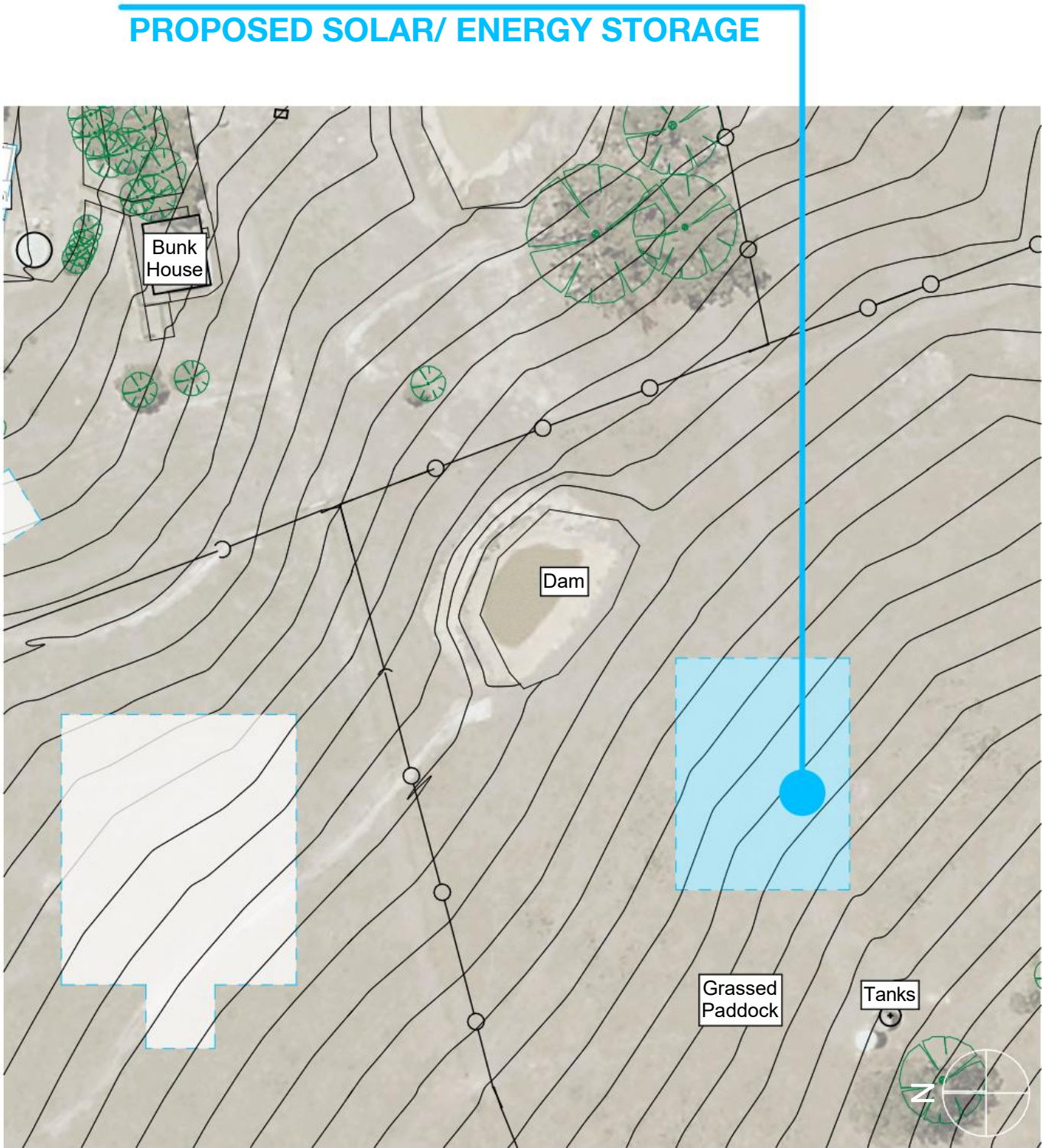


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Proposed Solar Energy/ Storage

1:100



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NOTE:
Figured dimensions take precedence over scaled dimensions - DO NOT SCALE DRAWINGS - All drawings remain the copyright of Rachcoff Vella Architecture Pty Ltd.