

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	3912 Whittlesea-Yea Road FLOWERDALE, (CON: 156724)
The application is for a permit to:	Use and development of the land for a dwelling
The applicant for the permit is:	G Lloyd & A L Lloyd
The application reference number is:	2022/209
You may look at the application and any documents that support the application by visiting our website via the following web address:	www.murrindindi.vic.gov.au/Planning Comment

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must be sent to the responsible authority in writing, with the full name and postal address of the objector and include the reasons for the objection, and state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The responsible authority will not decide on the application before:16	October 2023
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If you object, the responsible authority will tell you its decision.

The planning unit can be contacted on (03) 5772 0333 or planning@murrrindindi.vic.gov.au.

This	copied	document	is n	made	available	for	the	sole	purpose	of	enabling	its	consideration and
revi	ew												
as p	art of a	a planning	L pro	ocess	under the	e Pla	annii	ng and	i Enviro	ımer	nt Act 198	57.	or Privacy Laws.
The o	Applic	antand	BW		Jetails L	pose	e whi	ich ma	av breacl	n ar	v Copyric	nt o	or Privacy Laws.

Provide details of the applicant and the owner of the land.

Applicant *	Name:				
The person who wants the permit.	Title: Mr and Mrs	First Name: Graham an	nd Angela	Sumame: Lloyd	- -
	Organisation (in	f applicable):			Ī
	Postal Address:	• • • • • • • • • • • • • • • • • • •	lfitis a P.O. E	ox enter the details her	•
Please provide at least one contact phone number *	Contact informa	tion for applicant OR conta	a (Person b		
Where the preferred contact person for the application is different from	Contact person's	s details*			Same as applicant
the applicant, provide the details of that person.	Title:	First Name:		Surname:	
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	Unit No.:	St. No.:	St. Name:		
	Suburb/Locality	ý.		State:	Postcode:
Owner*					• · · · · · · · · · · · [7]
The person or organisation	Name:	1 p		<u></u>	Same as applicant
who owns the land	Title:	First Name:		Surname:	
Where the owner is different from the applicant, provide the details of that	Organisation (i	if applicable):			
person or organisation.	Postal Address:	۱ <u>۲</u> ۱		lox, enter the details her	••••••••••••••••••••••••••••••••••••••
	Unit No.:	St. No.:	St. Name:		
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	Owner's Signa	iture (Optional):		Date:	
	1			*	day ( month / year

# Information requirements

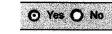
Is the required information provided?

# Declaration

This form must be signed by the applicant \*

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.



I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been polified of the permit application

art of a planning process locment must not be used		d Environment Act 1987. ay breach any Copyright or Privacy Laws.
	VicSmart?	
	Specify class of VicSmart applicat	ion:
' V V	Application No.:	Date Lodged: / /
Murrindindi		
Shire Council		
Planning Enquiries	Application for	r a <b>Planning Permit</b>
Phone: (03) 5772 0317 Email: planning@murrindindi.vic.gov.au	••	
Web: www.murrindindi.vic.gov.au	5 5.40	n, read MORE INFORMATION at the back of this form. application, including plans and personal information, will be made
	available for public viewing, inclu the purpose of enabling consider	ding electronically, and copies may be made for interested parties for ation and review as part of a planning process under the <i>Planning</i> I have any concerns, please contact Council's planning department.
	A Questions marked with an aste	
	A If the space provided on the fo	rm is insufficient, attach a separate sheet.
Clear Form	Click for further information.	
	it is a VicSmart application.	the classes listed under Clause 92 or the schedule to Clause 94,
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Pre-application Meetir	it is a VicSmart application.	the classes listed under Clause 92 of the schedule to Clause 94,
Has there been a pre-application meeting	it is a VicSmart application.	
Has there been a	<ul> <li>it is a VicSmart application.</li> <li>Ig</li> <li>No Yes If 'Yes', with</li> </ul>	n whom?:
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Has there been a pre-application meeting with a Council planning officer?	<ul> <li>it is a VicSmart application.</li> <li>Ig</li> <li>No Yes If 'Yes', with Date:</li> </ul>	n whom?: day / month / year
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Has there been a pre-application meeting with a Council planning officer? The Land i Address of the land. Complete the St	it is a VicSmart application.	h whom?: day / month / year Land Descriptions. St. Name: Postcode:
Has there been a pre-application meeting with a Council planning officer? The Land i Address of the land. Complete the Sti Street Address *	it is a VicSmart application.   Ig   No   Yes   If 'Yes', with   Date:   eet Address and one of the Formal   Unit No.:   Suburb/Locality:   A Lot No.:   OR	h whom?: day / month / year Land Descriptions. St. Name: Postcode: Plan O Title Plan O Plan of Subdivision No.:
Has there been a pre-application meeting with a Council planning officer? The Land i Address of the land. Complete the Str Street Address * Formal Land Description * Complete either A or B. i This information can be found on	it is a VicSmart application.   Ig   No   Yes   If 'Yes', with   Date:   eet Address and one of the Formal   Unit No.:   Suburb/Locality:   A Lot No.: OLodged	h whom?: day / month / year Land Descriptions. St. Name: Postcode:

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Then Pingesat be used	s under the Planning and Environment Act 1987. I for any pupose which may breach any Copyright or Privacy Laws.
A You must give full details of you Insufficient or unclear information	ur proposal and attach the information required to assess the application. ion will delay your application.
For what use, development or other matter do you require a permit? *	
i Estimated cost of any development for which the permit is required *	Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a descript of the likely effect of the proposal.           Cost \$         You may be required to verify this estimate. Insert '0' if no development is proposed.           If the application is for land within metropolitan Melbourne (as defined in section 3 of the Planning and Environment Act 19 and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy m be paid to the State Revenue Office and a current levy certificate must be submitted with the application.
Existing Conditions	
Describe how the land is used and developed now * For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.	
	Provide a plan of the existing conditions. Photos are also helpful.
Title Information  Encumbrances on title *	<ul> <li>Does the proposal breach, in any way, an encumbrance on title such as a restrictrive covenant section 173 agreement or other obligation such as an easement or building envelope?</li> <li>Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)</li> <li>No</li> <li>No applicable (no such encumbrance applies).</li> <li>Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, kn as 'instruments', for example, restrictive covenants.</li> </ul>

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Provide details of the applicant and the owner of the land.

Applicant *	Name:								
The person who wants the permit.	Title:	First Name:		Surname:					
	Organisation (if a	applicable):							
Please provide at least one contact	-								
phone number *									
Where the preferred contact person for the application is different from	Contact person's Name:	details*			Same as applicant				
the applicant, provide the details of that person.	Title:	First Name:		Surname:					
	Organisation (if applicable):								
	Postal Address:		If it is a P.O. I	Box, enter the details here	e:				
	Unit No.:	St. No.:	St. Name	:					
	Suburb/Locality:			State:	Postcode:				
Owner *									
The person or organisation	Name:				Same as applicant				
who owns the land	Title:	First Name:		Surname:					
Where the owner is different from the	Organisation (if	applicable):							
applicant, provide the details of that person or organisation.	Postal Address:		If it is a P.O.	Box, enter the details her	e:				
peleen er erganieationi	Unit No.:	St. No.:	St. Name	:					
	Suburb/Locality:			State:	Postcode:				
	Owner's Signatu	ure (Optional):		Date:					
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Information	Contact Council's p	lanning department to dis	scuss the sp	ecific requirements	for this application and				

# requirements

Is the required information provided?

# Declaration

#### This form must be signed by the applicant \*

A Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

obtain a planning permit checklist.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

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review	
as part of a planning proces	
The doctrefik invist hot be used	for any pupose which may breach any Copyright or Privacy Laws.
Have you:	Paid or included the application fee?         Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
	Provided all necessary supporting information and documents?
	A full, current copy of title information for each individual parcel of land forming the subject site.
	A plan of existing conditions.
	Plans showing the layout and details of the proposal.
	Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
	If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).
	If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.
	Completed the relevant council planning permit checklist?
	Signed the declaration above?

# Need help with the Application?

If you need help to complete this form, read More Information at the end of this form.

For help with a VicSmart application see Applicant's Guide to Lodging a VicSmart Application at www.planning.vic.gov.au

General information about the planning process is available at www.planning.vic.gov.au

Assistance can also be obtained from Council's planning department.

# Lodgement 🔳

Lodge the completed and signed form, the fee and all documents with:

Murrindindi Shire Council PO Box 138 Alexandra VIC 3714 Shire Offices Perkins Street Alexandra VIC 3714

Contact information: Phone: (03) 5772 0317 Fax: (03) 5772 2291 Email: planning@murrindindi.vic.gov.au

Deliver application in person, by post or by electronic lodgement.

part of a planning process under the Planning and Environment Act 1987. a degment with motive Geo Many One which may breach any Copyright or Privacy Laws.

#### The Land

Planning permits relate to the use and development of the land. It is important that accurate, clear and concise details of the land are provided with the application.

#### How is land identified?

Land is commonly identified by a street address, but sometimes this alone does not provide an accurate identification of the relevant parcel of land relating to an application. Make sure you also provide the formal land description - the lot and plan number or the crown, section and parish/township details (as applicable) for the subject site. This information is shown on the title.

See Example 1.

#### The Proposal

#### Why is it important to describe the proposal correctly?

The application requires a description of what you want to do with the land. You must describe how the land will be used or developed as a result of the proposal. It is important that you understand the reasons why you need a permit in order to suitably describe the proposal. By providing an accurate description of the proposal, you will avoid unnecessary delays associated with amending the description at a later date.

A Planning schemes use specific definitions for different types of use and development. Contact the Council planning office at an early stage in preparing your application to ensure that you use the appropriate terminology and provide the required details.

#### How do planning schemes affect proposals?

A planning scheme sets out policies and requirements for the use, development and protection of land. There is a planning scheme for every municipality in Victoria. Development of land includes the construction of a building, carrying out works, subdividing land or buildings and displaying signs.

Proposals must comply with the planning scheme provisions in accordance with Clause 61.05 of the planning scheme. Provisions may relate to the State Planning Policy Framework, the Local Planning Policy Framework, zones, overlays, particular and general provisions. You can access the planning scheme by either contacting Council's planning department or by visiting the Planning Schemes Online section of the department's website <a href="http://planning-schemes.delwp.vic.gov.au">http://planning-schemes.delwp.vic.gov.au</a>

A You can obtain a planning certificate to establish planning scheme details about your property. A planning certificate identifies the zones and overlays that apply to the land, but it does not identify all of the provisions of the planning scheme that may be relevant to your application. Planning certificates for land in metropolitan areas and most rural areas can be obtained by visiting <u>www.landata.vic.gov.au</u>. Contact your local Council to obtain a planning certificate in Central Goldfields, Corangamite, Macedon Ranges and Greater Geelong. You can also use the free Planning Property Report to obtain the same information.

#### See Example 2.

#### Estimated cost of development

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development. This cost does not include the costs of development that you could undertake without a permit or that are separate from the permit process. Development costs should be calculated at a normal industry rate for the type of construction you propose.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee. Fees are exempt from GST.

A Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

A Contact the Council to determine the appropriate fee. Go to <u>www.planning.vic.gov.au</u> to view a summary of fees in the Planning and Environment (Fees) Regulations.

**Metropolitan Planning Levy** refer Division 5A of Part 4 of the *Planning and Environment Act 1987* (the Act). A planning permit application under section 47 or 96A of the Act for a development of land in metropolitan Melbourne as defined in section 3 of the Act may be a leviable application. If the cost of the development exceeds the threshold of \$1 million (adjusted annually by consumer price index) a levy certificate must be obtained from the State Revenue Office after payment of the levy. A valid levy certificate must be submitted to the responsible planning authority (usually council) with a leviable planning permit application. Refer to the State Revenue Office website at <u>www.sro.vic.gov.au</u> for more information. A leviable application submitted without a levy certificate is void.

#### **Existing Conditions**

#### How should land be described?

You need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (e.g. single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant building, vacant land, grazing land, bush block).

Please attach to your application a plan of the existing conditions of the land. Check with the local Council for the quantity, scale and level of detail required. It is also helpful to include photographs of the existing conditions.

#### See Example 3.

#### **Title Information**

#### What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- Restrictive Covenants: A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on types of building materials to be used).
- Section 173 Agreements: A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- Easements: An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

#### What documents should I check to find encumbrances?

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

#### What about caveats and notices?

A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

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#### as part of a planning process under the Planning and Environment Act 1987. What nappens if the proposal contravenes an encumbrance on Declaration The decement must not be used for any pupose which may breach any Copyright or

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.

You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

A You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.

#### Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

#### What is a 'full' copy of the title?

The title information accompanying your application must include a 'register search statement' and the title diagram, which together make up the title.

In addition, any relevant associated title documents, known as 'instruments', must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

A Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

#### Why is 'current' title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. 'Current' title information accurately provides all relevant and up-to-date information.

Some Councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

A Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; www.landata.vic.gov.au – go direct to "titles & property certificates".

#### Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between Council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner's details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

#### See Example 4.

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration.

A Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit.

#### Checklist

# What additional information should you provide to support the proposal?

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the Council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- · provided all the required information on the form
- included payment of the application fee
- · attached all necessary supporting information and documents
- · completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form

A The more complete the information you provide with your permit application, the sooner Council will be able to make a decision.

#### Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged.

#### Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with Council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

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as part of a production process under the Planning and Environment Act 1987. The docment must not be used for any pupose which may breach any Copyright or Privacy Laws.
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	The Land 💶	
		Street Address and one of the Formal Land Descriptions.
	Street Address *	Unit No.: 4 St. No.: 26 St. Name: Planmore Avenue
		Suburb/Locality: HAWTHORN Postcode: 3122
	Formal Land Description * Complete either A or B. This information can be found on the certificate	A Lot No.: 2 OLodged Plan OTitle Plan ØPlan of Subdivision No.: LP93562 OR
	of title.	B Crown Allotment No.: Section No.:
	one address, attach a separate sheet setting out any additional property details.	Parish/Township Name:
Example 2		
	For what use, development or other matter do you require a permit? *	Construction of two, double-storey dwellings and construction of two new crossovers.
		Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.
Example 3	Existing Conditions	
	Describe how the land is used and developed now * For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.	Single dwelling.
	grazing.	voide a plan of the existing conditions. Photos are also helpful.
Example 4	Applicant and Owne	or Details
	Provide details of the applicant and	
	Applicant *	Name:
	The person who wants the permit.	Title: Mr First Name: Len Surname: Browning
	permit.	Organisation (if applicable): Responsible Developers P/L
		Peotel Address:
		Postal Address:     If it is a P.O. Box, enter the details here:       Unit No.: 4     St. No.: 12       St. Name:     Ardour
		Postal Address: If it is a P.O. Box, enter the details here:
	Please provide at least one contact phone number *	Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12         Suburb/Locality:       Wycheproof         State:       Vic         Postcode:       3527
		Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12         Suburb/Locality:       Wycheproof         State:       Vic         Postcode:       3527    Contact information for applicant OR contact person below          Business phone:       9123         Main       Email:         tcpl@bigpond.net.au
	contact phone number * Where the preferred contact	Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12         Suburb/Locality:       Wycheproof         State:       Vic         Postcode:       3527         Contact information for applicant OR contact person below         Business phone:       9123         Mobile phone:       0412         345       678         Fax:       9123         Contact person's details*
	contact phone number *	Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12         Suburb/Locality:       Wycheproof         State:       Vic         Postcode:       3527         Contact information for applicant OR contact person below         Business phone:       9123         Mobile phone:       0412         State:       9123         Fax:       9123         Postcode:       9123
	contact phone number * Where the preferred contact person for the application is different from the applicant,	Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12       St. Name: Ardour Lane         Suburb/Locality:       Wycheproof       State: Vic       Postcode: 3527         Contact information for applicant OR contact person below       Business phone:       9123<4567
	contact phone number * Where the preferred contact person for the application is different from the applicant, provide the details of that	Postal Address:       If it is a P.O. Box, enter the details here:         Unit No.: 4       St. No.: 12         Suburb/Locality:       Wycheproof         State:       Vic         Postcode:       3527         Contact information for applicant OR contact person below         Business phone:       9123         Mobile phone:       0412         345       678         Fax:       9123         Fax:       9123         Mobile phone:       0412         Suburb/Locality*       Same as applicant         Fax:       9123         Fax:       9123         Fax:       9123         Mobile phone:       0412         Sume as applicant       Same as applicant
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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09543 FOLIO 747

Security no : 124101608585P Produced 06/11/2022 10:10 AM

#### LAND DESCRIPTION

Land in Plan of Consolidation 156724. PARENT TITLES : Volume 09050 Folio 733 to Volume 09050 Folio 734 Created by instrument CP156724 02/03/1984

#### REGISTERED PROPRIETOR

Estate Fee Simple Joint Proprietors ANGELA LUCY LLOYD GRAHAM LLOYD both of 491 STEELS CREEK ROAD STEELS CREEK VIC 3775 AU743080K 27/08/2021

#### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

#### DIAGRAM LOCATION

SEE CP156724 FOR FURTHER DETAILS AND BOUNDARIES

#### ACTIVITY IN THE LAST 125 DAYS

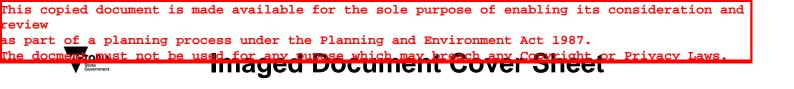
NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 3912 WHITTLESEA-YEA ROAD FLOWERDALE VIC 3717

DOCUMENT END



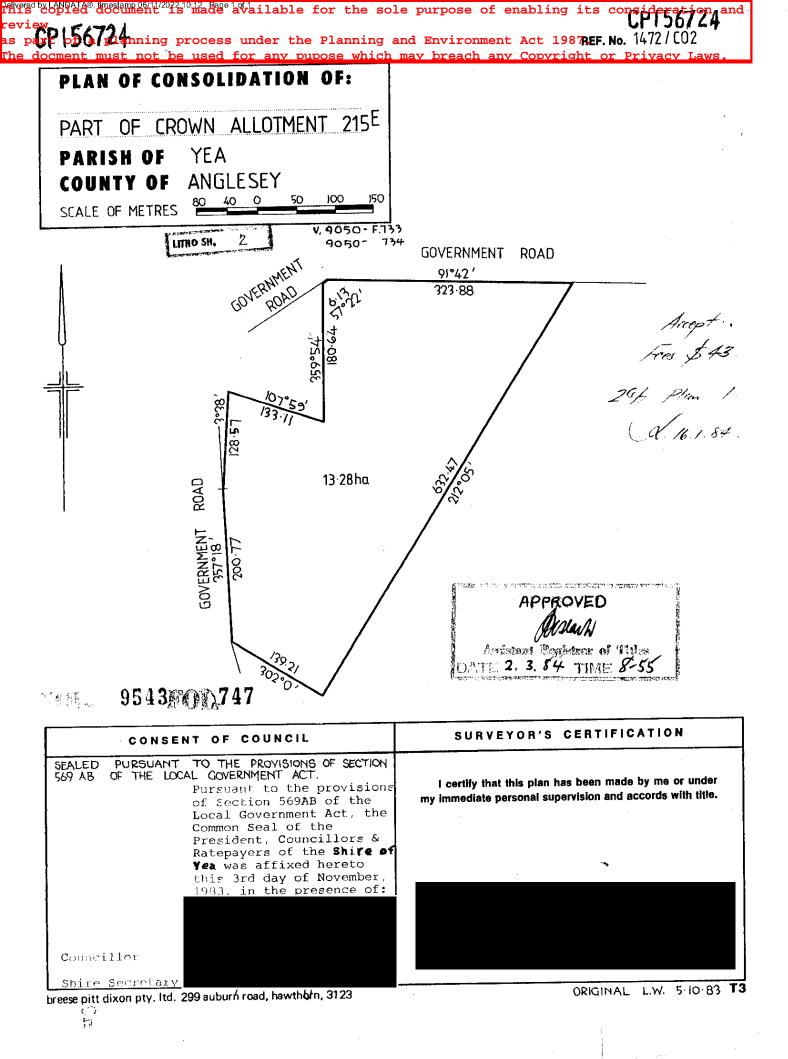
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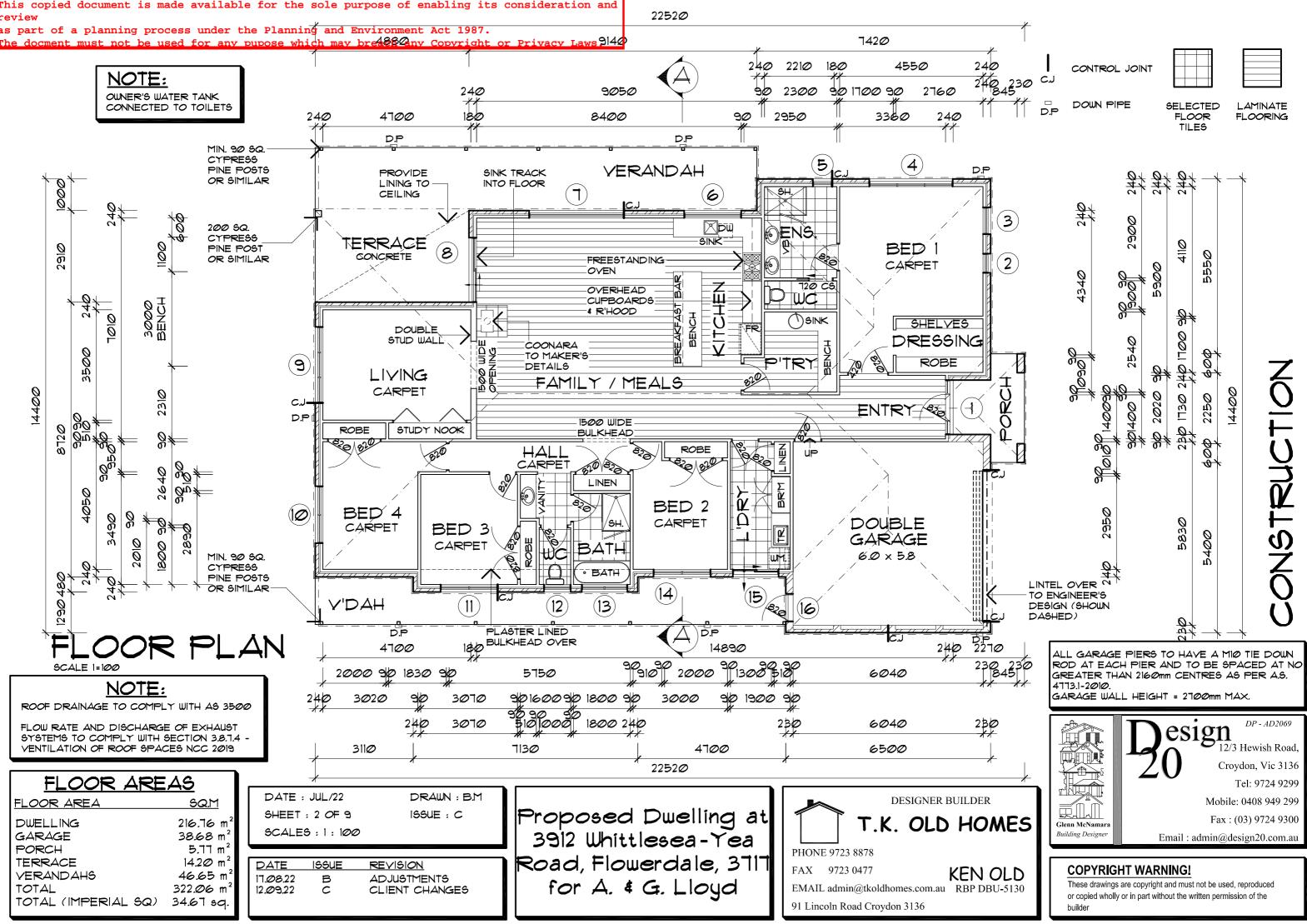
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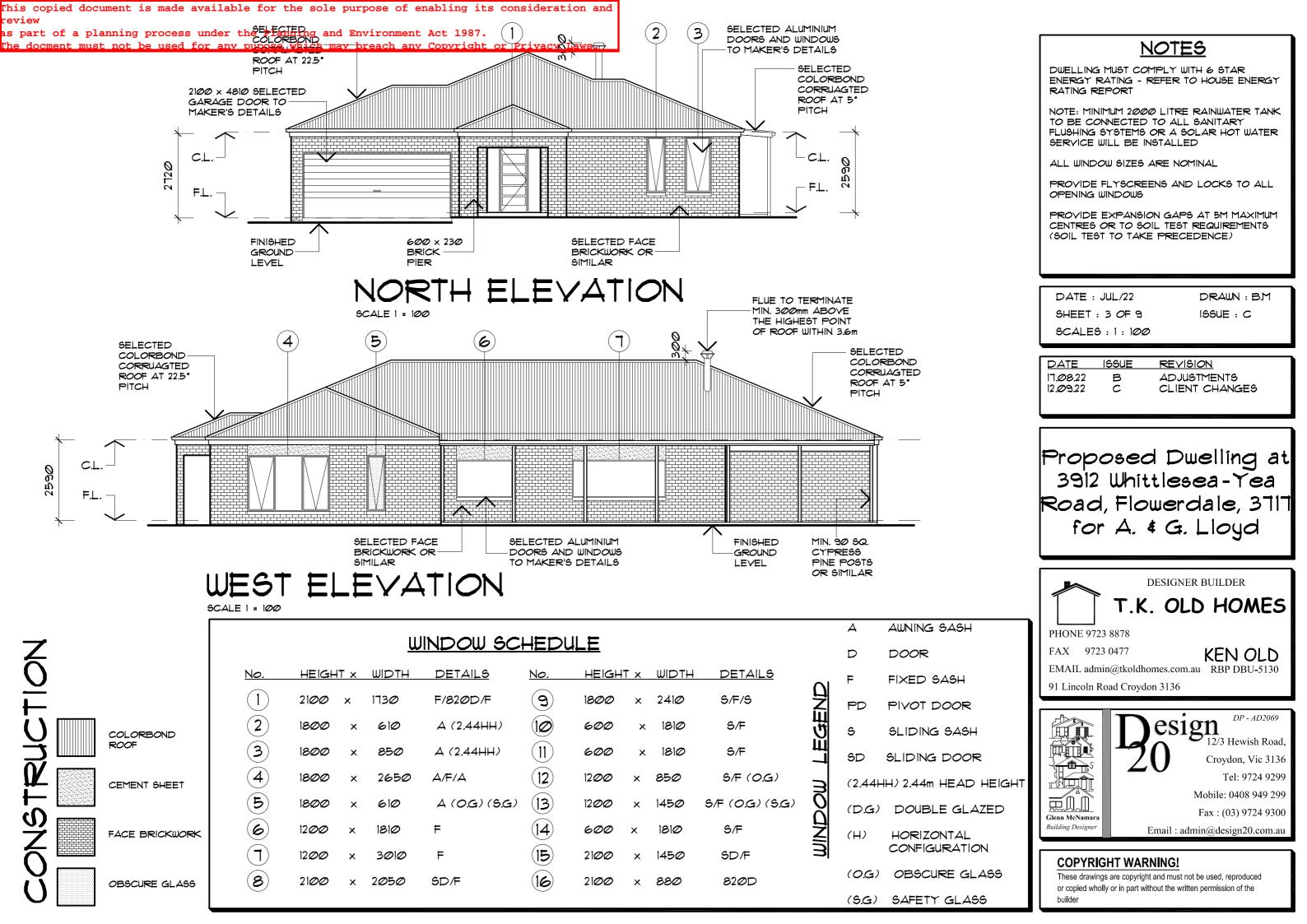
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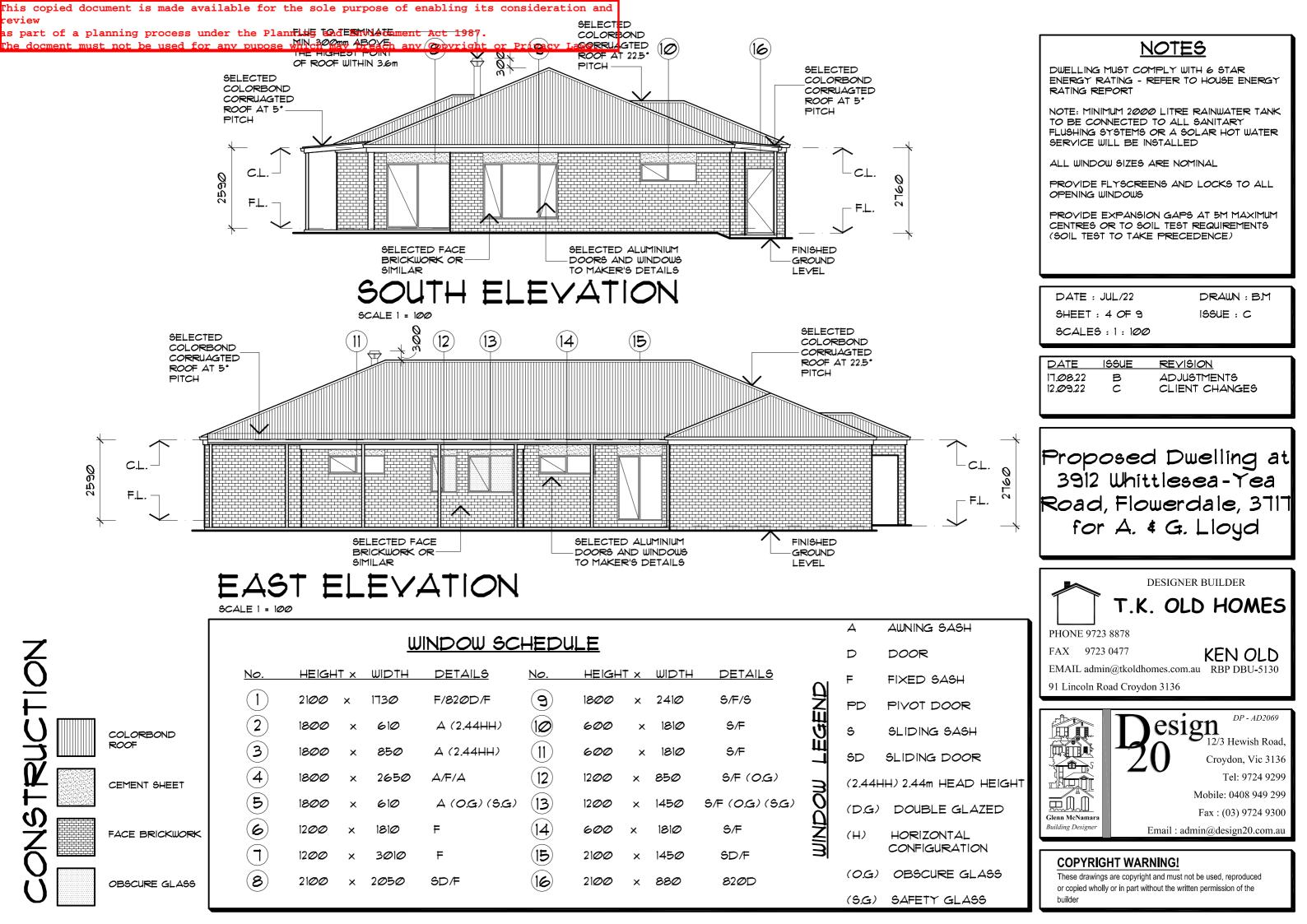
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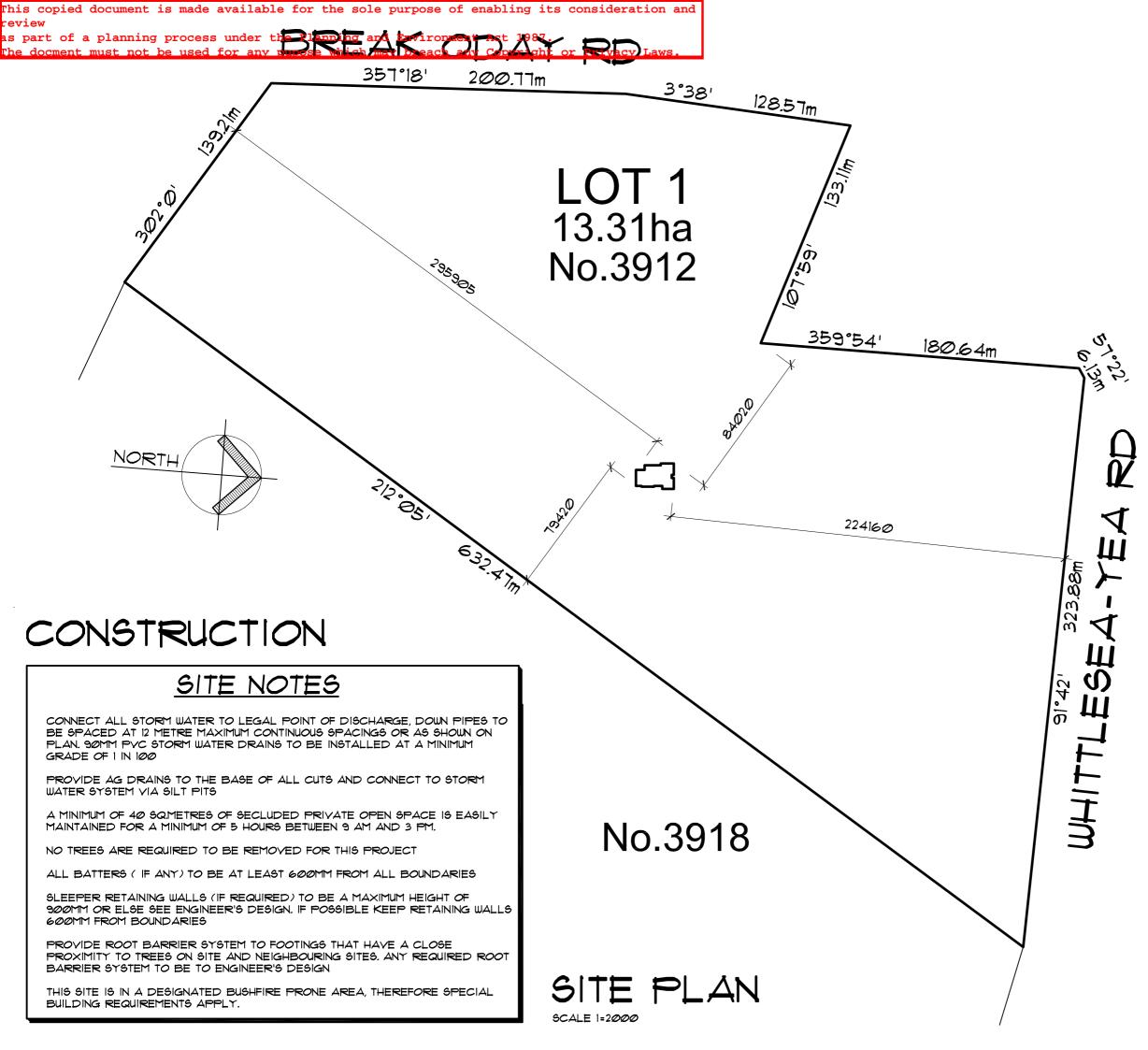
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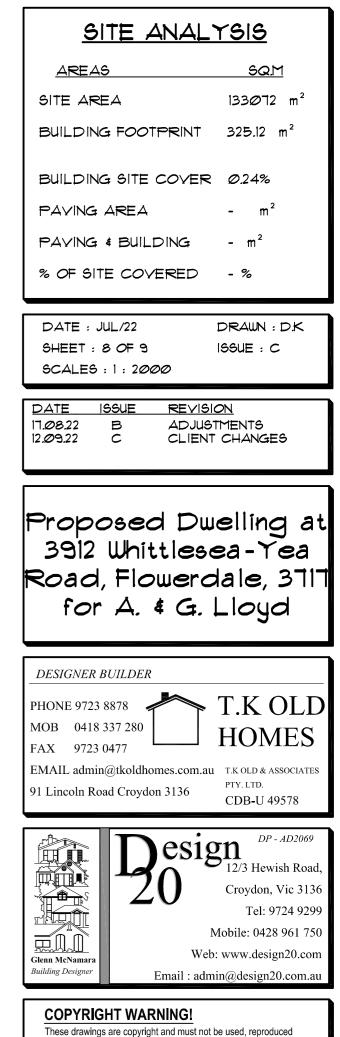












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#### Farming Zone

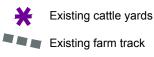
Conservation Zone

Proposed fence

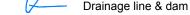
Existing fence & gate



Remnant Eucalypt Proposed shelter belt



Domestic Zone (2000m<sup>2</sup>)





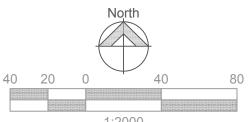
#### Notes:

a) The fencing of the conservation zones and location of fencing. All fencing to be post and wire/ rural type fencing.

b) Vegetation within the conservation zones is not exempt from requiring a planning permit for removal, even if it occurs along a fence line c) The owner must maintain any fencing in good repair and condition, and to a standard that is adequate to prevent the access of stock,

grazing animals or other threats which the fencing is intended to prevent, at all times, to the satisfaction of Council.

2.	Domestic Zone reduced	JSLY	ME	September 2023
1.	Prepared for Council submission	ME	BB	March 2023
No.	Revision Description	Drawn	Checked	Date



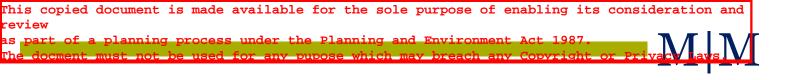
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**PLAN** 

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FINAL PLAN





# Farm Management Plan – Above the Mist Dexters

# 3912 WHITTLESEA – YEA ROAD FLOWERDALE



Proposed Dwelling Reference: 29970



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#### **Regional:**

156 Commercial Road Morwell, 3840 email@millarmerrigan.com.au www.millarmerrigan.com.au

#### Site Address:

3912 Whittlesea - Yea Road Flowerdale

Formal Land Description:

Land in Plan CP156724

#### Proposal:

**Proposed Dwelling** 

#### **Responsible Authority:**

Murrindindi Shire Council

#### **Document Status:**

Version: Date	Description	Prepared by	Checked by
No 1: March 2023	Planning application	BB	ME
No 2: August 2023	Updates at Council request	ME	
No 3: September 2023	Reduce domestic zone	ME	

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Appendix 5 –Common Wombat Management
Appendix 6 – Management Action & Progress Report

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## 1 INTRODUCTION

The property known as **3912 Whittlesea – Yea Road Flowerdale** comprises an area of almost 13 hectares.

The site is a rural property that comprises of cleared grazing land, a few small dams, two drainage lines, some scattered vegetation and a network of internal fencing. There are existing stock yards on site and a recently constructed farm shed.

The applicant has lodged a planning application for use and development of a dwelling (Application 2022/209) in order to relocate their existing Dexter Cattle Stud from Steels Creek to the subject site. A request for further information was issued, requiring the following:

Farm Management Plan to address:

- a) Impact on the land and neighbouring properties in terms of ongoing agricultural activity;
- b) Impact on native vegetation;
- c) Impact on water courses and drainage lines;
- d) How the land is being managed and what the land is being used for;
- e) Proposed agricultural use of the land;
- f) Methods of pest plant and animal control;
- g) Any proposed vegetation planting. Including shelter belts and landscaping;
- h) Location of any proposed infrastructure, including stock yards;
- i) Detail of sustainable land management actions to be undertaken;
- j) Measures to protect and enhance natural habitat for native fauna;
- k) Measures to protect native flora;
- *I)* Layout of proposed internal fencing, specifically to include domestic zone;
- *m)* Five year establishment and implementation plan for agricultural activities and sustainable land management;
- *n)* The need to have dwelling on site to manage the agricultural use of the site.

This Farm Management Plan (FMP) has been prepared to support the planning application and outline appropriate farm management practices for the dwelling as requested by Council. It seeks to provide clarity on environmental features to be protected as part of agricultural uses.

The FMP sees the division of the site into Domestic, Farming and Conservation Zones. The drainage line dissecting the centre of the site has been declared as Conservation Zone and scattered trees within the Farming Zone are to be protected from agricultural activities. The Conservation Zone will require fencing along the boundaries, in post and wire/rural type fencing.

The FMP includes a works program and weed management strategy that details the management of the following:

- Control and management of weed species, including measurable goals to be achieved within a specified timeframe;
- The Conservation Zone seasonally managed to protect environmental qualities whilst reducing bushfire risk;
- No vehicles or machinery are to enter the Conservation Zones other than for the purposes of weed management or other land management;
- Retain all standing trees (dead and alive);
- Control and management of vertebrates pests and pest animals;
- Fencing type and maintenance.

When approved, the FMP will be endorsed and form part of the permit. All requirements must be implemented and the site must always conform to the approved plan, to the satisfaction of Responsible Authority.

1

## 2 SITE & NEIGHBOURHOOD ANALYSIS

#### 2.1 Existing Site Conditions

The site is identified as proposed land in plan CP156724 and comprises an area of approximately 13.8 hectares. This allotment is vacant and contains a mix of pasture and exotic grasses with some scattered native vegetation.

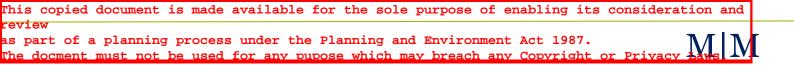
The land has a history of farming and as such the vegetation characteristics are highly modified. In recent years the property has been severely neglected, invaded by weeds, rubbish and used as a motorbike and 4wd property.

Since purchasing the property, the applicant has implemented weed eradication, replaced boundary fencing, installed a network of internal fencing, a shed and some cattle yards. Access to cattle yards and a shed on the east property boundary are already existing and considered part of the farming infrastructure.



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Figure 1: Aerial photograph of subject site (site extents approximate only)



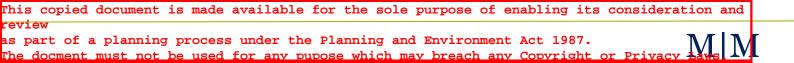
There are two 'blue lines' shown as waterways on planning maps. These are not permanent waterways, nor are they named, rather they can be considered as drainage lines. The southern most waterway has a small function in the wetter winter months and as such the waterway is fenced off from the remainder of the property to provide for appropriate management.

There are some scattered trees available through the site as shown on the aerial photograph above. Most of this is regrown acacia vegetation. There are four remnant trees on site as shown on the attached plan.

The topography of the land is undulating and the dwelling is not located on the high point of the land. The existing farm shed is essentially located on the highpoint and the dwelling is at an elevation some 10m lower than the shed.

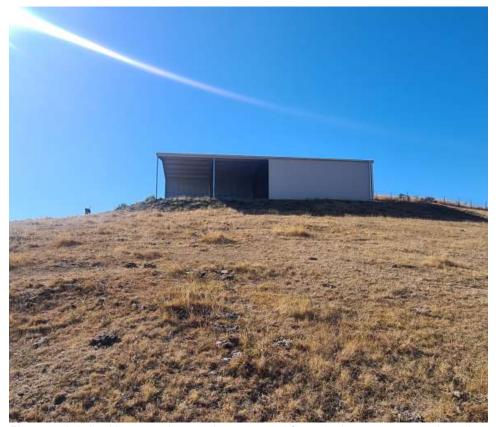


Photograph 1: Looking south-west across the site from the dwelling location

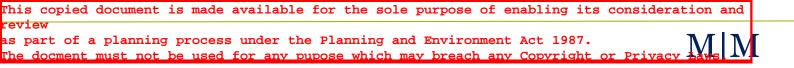




Photograph 2: Looking west towards existing driveway with tree guards present



Photograph 3: Looking towards recently constructed farm shed on east property boundary





Photograph 4: Looking towards the north-west corner of the site

#### 2.2 Neighbourhood Conditions

The land is situated within a farming area only 5km from the small township of Flowerdale. The larger township of Yea is approximately 20km north-east.

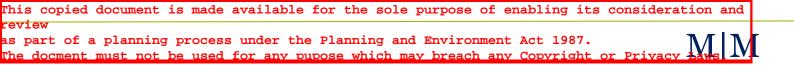
The site abuts the 50m+ wide road reserve of Whittlesea-Yea Road to the north and the two properties on the north side of the road both contain dwellings with a mix of vegetated areas and grazing land.

To the north-west of the site is an excised parcel of land that contains a dwelling and is generally unutilised for agricultural purposes due to the small lot size. There appears to be some small scaling grazing potential.

Break O day Road abuts the west boundary and properties beyond this to the east, as well as properties to the south are used for cattle grazing. There is currently no agricultural use occurring on the property to the east and the dwelling is almost 80m away from this fence line. A shelter belt has been planted in recent times along the east boundary and once established would provide a good buffer between the site and any future agricultural activity. It is also noted that the dwelling is at a substantially lower elevation than the property to the east and as such is protected by the topography.

Based on the above features, there are no land use conflicts that will occur as a result of a dwelling being developed on this site. The siting is well setback from all property boundaries and should more intensive agricultural activities occur on neighbouring properties in the future, these setbacks are considered sufficient to provide a buffer and protect amenity.

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The proposed dwelling does not prejudice the agricultural potential of the site, rather allows for an appropriate farming pursuit to be established. The siting has easy access from the existing driveway and allows for views over all areas of the farm which is important for surveillance.

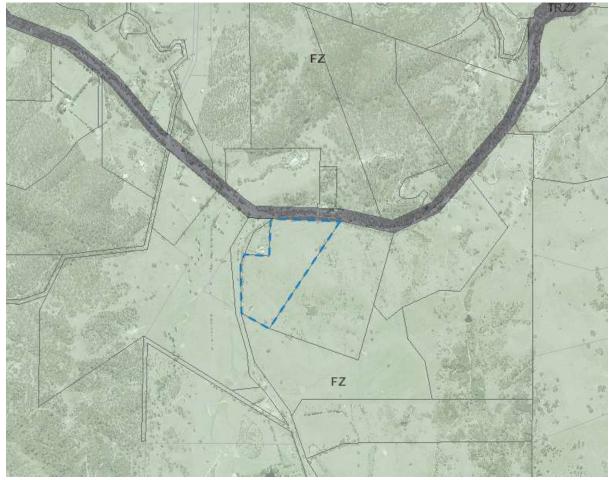


Figure 2: Surrounding area

### 3 PLANNING PROVISIONS

The land is contained within the <u>Farming Zone (FZ)</u> which encourages the use of land for agriculture and specifies that non-agricultural uses such as a dwelling, must not adversely affect the use of land for agriculture. The applicant is seeking planning permission to construct a dwelling on site in order to establish a Dexter Cattle Stud and this fully accords with the intent of the zone. It is noted that a dwelling is an as of right activity on lots that are at least 40Ha. This land is well under the specified area and as such a permit is required. This FMP demonstrates how agricultural activities will remain the primary land use and why the dwelling is required for this to be a viable enterprise.

The site is covered by the *Bushfire Management Overlay (BMO)* and a bushfire management plan has been prepared as part of the planning application.

The provisions of <u>*Clause 52.17 – Native Vegetation*</u> apply to the site and seek to minimise the impact on and protect native vegetation. A permit is required to remove native vegetation. It is noted that no vegetation is proposed to be removed.

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#### 4 PROPOSED USE

#### 4.1 Farm Layout

The planning application seeks permission for use and development of a dwelling located centrally on site in an existing disturbed area. The dwelling has been located where easy access is available from the existing driveway and where generous setbacks to all boundaries are maintained, noting that the east setback is almost 80m. It avoids vegetation and waterways, is located in an area where minimal excavation is required and maximum surveillance over the farm is available for supervision purposes.

The area around the dwelling has been nominated as a domestic zone as shown on the attached farm layout plan. The domestic area encompasses the dwelling and space for an effluent field only.

A Conservation Zone is provided along the southern most drainage line given that this carries water in winter months. This zone is fenced from the remainder of the property and will be seasonally grazed to manage bushfire risk.

The remainder of the property will be allocated as agricultural area and will be grazed by the Dexter cattle. The site already contains a series of internal fencing, with additional fencing proposed as per the attached plan. The segregation of the site into separate paddocks allows for the appropriate management of cattle as discussed further below. Each paddock provides either a dam or water trough and stock yards are available to the south of the farm access track.

To summarise, the location of the dwelling is considered appropriate for the following reasons:

- It is well away from waterways;
- Generous setbacks to property boundaries are maintained to avoid land use conflicts;
- It enables views over all paddocks to enable surveillance of the farm;
- It is within an existing area that disturbed and not used for farming;
- The domestic zone is limited to the area that is required for the dwelling & effluent field.

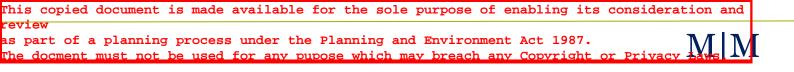
#### 4.2 Experience

The applicants have been breeding Dexter Cattle for in excess of 7 years at a smaller property in Steels Creek under their business name 'Above the Mist Dexters'. They have significant farming experience, are members of the Australian Dexter Cattle Association and have purchased the subject property to provide for an expanded stud. They are seeking to relocate the stud to this site and it is imperative that they reside on the land (especially for animal welfare) which is consistent with the current arrangements at Steels Creek.

#### 4.3 Dexter Cattle

Dexter cattle are a dual purpose breed, suitable for both beef and milk production. Originating in Ireland they are a true small breed, not a miniaturised version of a larger breed. Historically they were used as a house cow, producing high quality milk as well as excellent beef. They are a compact animal weighing around 350kg fully grown. As such they are ideally suited to a smaller property while retaining the commercial benefit of a larger breed.

There is a strong market for the cattle in the regular beef supply chain as they are regarded as having a very high quality of beef. In addition, there is a premium market selling to people who are wanting well-handled and halter trained cattle for lifestyle acreage properties. In order to ensure the best outcome both for animal welfare as well as human safety it is important that time has been



put into their handling and training which is most effectively done with daily handling and interaction with people from a young age.



Photograph 5: Dexter cattle

#### 4.4 Breeding

Breeding stud cattle comes with financial advantages and the ability to improve quality, however it also presents complexities to the farm. In Victorian conditions, up to 30% of heifers may require assistance calving (Agriculture Victoria, 2016) and common difficulties are caused by the following:

- Excessive calf size;
- Inadequate size of the birth canal;
- Abnormal calf presentation;
- Obstruction of the birth canal by fat deposits;
- Constriction of the birth canal;
- Weak labour or poor muscle tone;
- Joining heifers when they are too young.

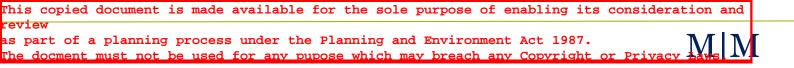
These statistics are considered to be greater for the smaller framed Dexter Cattle as experienced by the applicants at their existing farm. To ensure highest possible survival rates, heifers should be observed at least twice daily during calving periods, more often if practical. Assistance can then be given early if needed.

To be born alive, the calf must be delivered usually within two hours after the appearance of the water bag. Addition of a dwelling to the property will enable frequent observation. If they were to live off site and simply visit the farm on a daily basis there is the real possibility of discovering dead stock that have met complications during calving. This obviously reduces the viability and productivity of the farm and is not acceptable for animal welfare. During calving periods, the applicant will monitor the stock on a bi-hourly basis.

When a heifer is found to have difficulty calving, and the examination has confirmed that assistance is required due to mal-presentation of the calf or weak condition of the heifer, veterinary assistance will be required and for welfare reasons it is important that this occur as quick as possible.

After a difficult birth, young cows in particular often desert their calves and it is wise to keep the cow and calf in a confined small area where they can be monitored. This too requires the owner's presence on the site across all hours of the day. A calving paddock has been located directly to the rear of the dwelling to assist with this.

8



#### 4.5 Handling

Given that Dexter cattle are marketable to smaller acreage properties as house cows, it is prudent that time is put into handling and training from a young age to ensure animal welfare and human safety.

These animals are trained to be haltered (tied up) and handled to a far greater degree than the average farm cattle but it is not possible to do so without living onsite.

During their initial weaning and training they need to be tied up and kept in an enclosed space over several days (up to 10), this allows them to become accustomed to handling in preparation for their use as a hand milked house cow or to be safely handled by a person who is less experienced. If they were to panic during this time without adequate supervision they could be severely distressed or injured.

As part of this training both food and water are brought at frequent intervals allowing the animals to associate with people in a positive way. Leaving food and water in situ is not a viable alternative as young animals could (and probably would) tip their containers over and therefore be left without either food or water and importantly would not fulfil the training outcome desired.

This is not a "once a year activity" as each animal is weaned at the time they are of a suitable age. Ongoing training could take up to 200 days per year as each calf matures and is ready for weaning.

#### 4.6 Care & Supervision

The day to day care and security of the cattle makes it imperative that there is an on-site presence and unfortunately theft of cattle is a common problem, (particularly with a quieter smaller animal). Fences can be damaged by fallen tree branches or electric fencing can often be impacted by the movement of kangaroos or other wild animals. Even without these issues, monitoring feed supplies in the paddocks and being able to move the cattle regularly throughout the property will ensure the best management of the land. When breeding cattle the natural behaviour of the bulls requires far more work and supervision than farms where they simply buy in steers (neutered males) and fatten them for market.

#### 4.7 Stocking Rates

A typical Angus cow has a DSE (dry sheep equivalent) rating of 7-8, with an increase when having a calf at foot. According to Dexter Cattle Australia Inc a Dexter needs around 75 percent of what the average Angus cow would need, stating:

That of course is in rough terms and many Dexters would weigh even less. Dexter Cattle are known to be exceptional feed converters so their requirements may be less again.

An assumed carrying capacity of 10 DSE per hectare has been adopted for the land, which based on the area of the farming zone (~12.7Ha) equates to a carry capacity of 127. Utilising a DSE of 5.5 for dexter cattle, this equates to 23 head.

The applicant advises that they anticipate to have 20 breeding cows with their calves plus 1 or 2 bulls and these numbers are based on stocking rates at their current property. This should give 20 weaner calves per year that can be sold or retained in the stud.

Hand feeding will be used during periods of limited grass growth (ie. winter) and when heifers are heavy in calf and with calves are at foot.

#### 4.8 Medium & Long Term Plan

#### <u>Current</u>

Non breeding stock have been moved to the site however breeding cannot occur until there is onsite management.

#### 5 Years

The first 5 years would see the establishment of the internal fencing and laneways and the planting of suitable windbreak trees and shrubs. Some fencing and planting has already occurred.

The dwelling will be constructed within 1 year of planning approval being received and upon certificate of occupancy the applicant will reside on the land in the capacity of primary place of residence. Breeding will commence upon occupancy.

Observations as to the carrying capacity of the land and development of the herd through introduction of additional animals and selective breeding. Opportunities to revegetate via shelter belts will be considered, however these need to be carefully balanced with maintaining a safe bushfire environment.

#### 10 years

The 2nd 5 years would see shelter belt trees reaching a semi-mature height and allowing for understory planting to further diversify the plant species and create a further haven for native animals and birds.

#### 4.9 Dwelling Justification

Establishing and running a Dexter Cattle stud is a time consuming and high maintenance exercise that requires the applicant to reside on the property. This is not only for time efficiency, but also for the welfare of the stock, particularly during calving periods. The owners will run the farm solely (ie. no staff) with use of contractors as required.

The following table outlines activities that will need to be undertaken to run the farm, their anticipated occurrence and the time taken:

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			Per week average over the				
Activity	occurance	complete tasks	whole year				
				Spring	<u>Summer</u>	Aurtumn	Winter
Traversing paddock stock to assess	Deile	7	7	7	7	7	
condition and health	Daily	7 hrs per week	/	/	/	/	
Hand Feeding	Seasonally as required. Usually winter and Feb/March when feed is not growing	7 hrs per week	3		5		
Moving stock	weekly for paddock rotation	2 hrs per week	2	2	2	2	
Monitoring calving	Calving season, usually Autumn and winter	must be on hand 24/7.	3.5			7	
Handling and training calves	On weaning from Spring to Summer as calves get to 6 months old	2.5 hrs per day	5	10	10		
Security	Daily monitoring of fence lines for damage to prevent stock escape. General serveillance of the farm to prevent thefts of stock or equipmet	.5 hrs per day	3.5	3.5	3.5	3.5	3.
	Blackberries/ woody weeds - Summer Broadleaf						
Weed control	andpasture weeds winter	year	4		8		
Harrowing/fertilising	Autumn	1 week	2			8	
Management of conservation areas	all year	2 hrs per week	2	2	2	2	
				Spring	Summer	Aurtumn	Winter
Drenching , vaccination, tagging	all year as required	1 hr per fortnight	0.5	0.5	0.5	0.5	0.
Book keeping, website, marketing,	Daily- some office based						
paddock observation	some recording in paddock	4 hours per week	4	4	4	4	
Fence and equipment maintenance	as required	2	2	2	. 2	2	
Hay production and storage	summer	3 days	0.5		4		
		<u>Total hours per</u> week	38.5	30.5	47.5	35.5	42.

As demonstrated in the above table, the daily hours required to operate the farm and cattle stud are lengthy no matter the season and average 38 hours per week over the year. During calving season, it is particularly essential that the applicant is on the property across all hours, to enable monitoring and assist with difficult births.

It is also noted that thefts of expensive machinery from unmonitored farms is ever increasing and this is a further reason why a dwelling is required on this land to create a viable and prosperous farm.

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## 5 MANAGEMENT ZONES

The land has been divided into three zones, the Farming Zone, Domestic Zone and Conservation Zone (Zone 2) according to land use conditions.

The land holder is responsible for management of each zone and the following table outlines the key purposes of each zone:

#### **Farming Zone**

The Farming Zone covers the majority of the land (~12.7ha being 92.4% of the site) and is designated for farming purposes. The primary use of the land is for grazing purposes and it is intended that this will continue into the future. This LMP is not however intended to limit the type of livestock that can be accommodated, nor prevent other types of agricultural uses to occur. The important aspect is that the primary land use is some form of agriculture.

The majority of the Farming zone contains common pasture grasses, along with some scattered vegetation. Ongoing weed control in this zone is important.

It is noted that there are only four remnant trees on site. Protection and management of these trees is required.

The agricultural zone is segregated into numerous paddocks to provide for stock rotation and breeding regimes.

The existing driveway and farm shed are included within the farm zone as they are existing features associated with agricultural activities. Round bales of hay will be stored alongside the driveway to prevent stock having uncontrolled access to feed.

#### **Conservation Zone**

The Conservation Zone consists of a corridor either side of the drainage line to ensure its protection and enhancement and covers ~8,500sqm (6.2%). Whilst the conservation zone supports little existing native vegetation, regrowth will be allowed to regenerate within this zone with fencing to prevent stock access in the winter months. Due to bushfire hazard, in the summer time when the waterway is dry, stock will be permitted access to graze and reduce exotic fuel loads.

Weed control in this zone will be implemented.

#### Domestic Zone

The domestic zone encompasses the proposed dwelling and effluent area and comprises only ~2,000sqm or 1.4% of the site. It will be managed to low threat conditions per the Bushfire Management Statement and will include weed eradication as required.

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# 5.1 Farming Zone Details

Optimum minimum Conditions	Indicators	Management Actions	Timing
		WEED CONTROL	
<ul> <li>Aim for 50% reduction in noxious weeds in the first year and 90% by the fifth year).</li> </ul>	<ul> <li>Physical presence of noxious weeds (namely gorse and blackberry)</li> </ul>	<ul> <li>Investigate the site and map densities of infestation Initiate a weed management regime.</li> <li>Begin managing the elevated areas of the site (as weeds have a tendency to spread uphill) and larger areas of infestations.</li> <li>Regular inspections/ vigilance along areas where weeds may invade from.</li> </ul>	Year 1 - 5 – Works to eradicate weeds utilising measures outlined in the <i>appendix</i> . Long-term: Ongoing management. Weeds to be monitored and recorded on form included as <i>appendix</i> .
<ul> <li>No proclaimed weeds present</li> </ul>	<ul> <li>Physical presence of weeds</li> </ul>	<ul> <li>Learn the various proclaimed weeds that are known within the area and how to identify them.</li> <li>Dispose of proclaimed weeds in accordance with Government Regulations.</li> <li>A list of environmental weeds in Murrindindi is attached as an appendix.</li> </ul>	Year 1 – 5 seasonal weed management. Long-term: Ongoing management.
		TECTION OF SCATTERED TREES	
<ul> <li>Existing native vegetation is not degraded</li> </ul>	<ul> <li>Quality and condition of native vegetation</li> </ul>	<ul> <li>Implement practice to protect paddock trees such as retaining fallen tree branches in situ to prevent stock access.</li> <li>Allow emerging trees close to mature trees to establish as a replacement for the maturing specimen.</li> <li>Ensure weed removal is undertaken in a manner to ensure native vegetation is not inadvertently impacted upon.</li> </ul>	Ongoing.
	SOIL	MANAGEMENT (Biosecurity, Erosion)	
<ul> <li>No contaminated soil is introduced</li> <li>Minimal erosion</li> </ul>	<ul> <li>New presence of weed growth from relocated top soil</li> <li>Evidence of erosion</li> </ul>	<ul> <li>No contaminated topsoil to be introduced to the site.</li> <li>Topsoil should be treated to ensure there is no noxious weed seeds, within a designated management area with appropriate erosion and sediment controls prior to relocating the soil.</li> <li>Follow hygiene protocols to ensure all machinery and vehicles do not introduce new weeds to the site.</li> <li>Undertake necessary measures post weed removal to stabilise soil, particular on steep topography through hydroseeding (native grass seeds can be utilised in hydroseed mix).</li> </ul>	Year 1 – 5 (as appropriate, particularly post weed removal) Long-term: Ongoing management.
		ANIMAL CONTROL	
<ul> <li>No evidence of pest animals causing adverse impact to the ecological values of the site (foxes, rabbits and deer)</li> </ul>	<ul> <li>Presence of blackberry</li> <li>Reduced populations</li> <li>Regeneration of native vegetation</li> </ul>	<ul> <li>Populations to be assessed and continually monitored</li> <li>Removal of blackberry (weed which attracts foxes).</li> <li>Undertake preferred method of control (see <i>appendix</i>)</li> </ul>	Years 1 – 5 Seasonal (as appropriate) Long-term: Ongoing management.
<ul> <li>Healthy ground</li> </ul>	<ul> <li>Level of</li> </ul>	PASTURE MANAGEMENT     Install fencing to separate the	Long-term – seasonal
cover	ground cover	<ul> <li>Instantencing to separate the property into different paddocks to enable a rotational grazing regime to be implemented.</li> <li>Apply appropriate stocking rates in response to pasture quality.</li> </ul>	management as appropriate.

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#### 5.2 Conservation Zone Details

Target	Indicators	Management Actions	Timing
		WEED CONTROL	
Aim for reduction in environmental weeds.	<ul> <li>Physical presence of environmental weeds.</li> <li>Physical presence of weeds on adjacent properties or zones.</li> </ul>	<ul> <li>Investigate the site and map densities of infestation</li> <li>Initiate a weed management regime.</li> <li>Regular inspections/ vigilance along areas from which weeds may invade.</li> <li>Learn the various proclaimed weeds that are known within the area and how to identify them.</li> <li>Regularly weed the Zone so as to ensure pest plants do not establish.</li> <li>Dispose of proclaimed weeds and contaminated materials in accordance with Government Regulations.</li> <li>Avoid soil disturbance and/or compaction.</li> </ul>	<b>Ongoing</b> management. Weeds to be monitored and recorded on form included as an appendix.
		EGETATION PROTECTION	
Retention and	<ul> <li>Presence of new</li> </ul>	<ul> <li>Encourage regeneration by</li> </ul>	Ongoing management.
regeneration of native plant species.	<ul> <li>saplings / seedlings.</li> <li>Quality and condition of native vegetation.</li> </ul>	<ul> <li>removing weed species.</li> <li>Plant additional tubestock if and when required.</li> <li>Permanently exclude pest animals through fauna friendly fencing around extent of Conservation Zone.</li> <li>No vehicular or machinery access (except for management activities).</li> <li>Avoid compaction of soils</li> <li>No storage or dumping of tools, equipment or waste.</li> <li>No firewood, dead vegetation, fallen branches or organic leaf matter maybe removed from Conservation Zone.</li> <li>No pest animals.</li> </ul>	
	T	ANIMALS	1
No domestic pets within Conservation Zone	<ul> <li>Deceased native animals;</li> <li>Domestic pet droppings;</li> <li>Claw marks on trees;</li> <li>Evidence of digging around burrows.</li> </ul>	<ul> <li>Domestic cats are to be managed in accordance with Council's local laws.</li> <li>Dogs are not permitted in the Conservation Zones.</li> </ul>	Immediate and ongoing action.
No pest animals (eg. Rabbits, foxes, feral cats)	<ul> <li>Deceased native animals.</li> <li>Droppings.</li> <li>Presence of burrows (rabbits).</li> <li>Presence of dens (foxes).</li> </ul>	<ul> <li>Local Councils generally provide hire cages for the trapping of Feral Cats (contact Council Rangers for details).</li> <li>Fumigate fox dens.</li> <li>Where possible bait pest species taking care not to</li> </ul>	<b>Ongoing</b> management. Pest animals are required to be controlled in accordance with the DELWP standards, see <i>appendix</i> .

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			inadvertently poison local species.					
FENCING								
Fencing around extent of	<ul> <li>Fencing present / absent;</li> </ul>	•	Install and maintain fencing around the Conservation Zone.	Immediate and ongoing action				
Conservation Zone.	<ul> <li>Evidence of animals pushing/burrowing under fences.</li> </ul>							

## 5.3 Domestic Zone Details

Optimum minimum Conditions	Indicators	Management Actions	Timing			
		WEED CONTROL				
<ul> <li>No noxious or proclaimed weeds present</li> </ul>	<ul> <li>Physical presence of weeds on adjacent properties or zones</li> </ul>	<ul> <li>Learn the various proclaimed weeds that are known within the area and how to identify them.</li> <li>Dispose of proclaimed weeds in accordance with Government Regulations.</li> <li>Be careful when introducing plants to the garden, ensuring that they are not a species that are a recognised weed or have the potential to become weeds.</li> <li>Residents are encouraged to utilise indigenous plant species in this zone wherever possible.</li> <li>A list of environmental weeds in Murrindindi is attached as an appendix.</li> </ul>	Year 1 – 5 seasonal weed management. Long-term: Ongoing management.			
	SOIL	MANAGEMENT (Biosecurity, Erosion)				
<ul> <li>No contaminated soil is introduced</li> <li>Minimal erosion</li> </ul>	<ul> <li>New presence of weed growth from relocated top soil</li> </ul>	<ul> <li>No contaminated topsoil to be introduced to the site.</li> <li>Topsoil should be treated to ensure there is no noxious weed seeds, within a designated management area with appropriate erosion and sediment controls prior to relocating the soil.</li> <li>Follow hygiene protocols to ensure all machinery and vehicles do not introduce new weeds to the site.</li> <li>Undertake necessary measures post weed removal to stabilise soil, particular on steep topography through hydroseeding (native grass seeds can be utilised in hydroseed mix).</li> </ul>	During construction as appropriate			

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## 6 DETAILED MANAGEMENT ACTIONS

The following sections provide management details for the subject site in relation to a number of matters.

#### 6.1 Weed Control

#### 6.1.1 **Issue:**

Weed management is a high priority and weeds invade sites for a number of reasons. Prior to weed management it is prudent to attempt to ascertain how the weeds came to be present. The following are common ways in which weeds can invade a property:

- From adjacent properties and nature strips;
- Residents may inadvertently plant species that are in fact considered to be weeds;
- Through clearing of ground storey native vegetation which leads to the increase in exotic grass species;
- Via wind and animal (ie. from birds) distribution;
- Introduced to the site though land fill;
- Through disturbance to soil and leaving exposed patches whereby weeds generate;
- Through water movement including drainage routes and overland flows;
- Use of contaminated vehicles, tools and machinery.

Being aware of what is a weed species and managing them at the appropriate time is paramount. Additionally, it is very important to ensure that plants which have weed potential are not inadvertently planted into the domestic setting. A list of common environmental weeds in Murrindindi is attached, refer to the appendix.

#### 6.1.2 Management action

The site inspection concluded that there was a low rate of infestation of weeds as there has been recent removal by the property owner across the site. However, maintenance is key to ensure that the environmental values of the site are maintained.

The property owner is to regularly monitor and manage the spread of weeds, through hand removal technique (or other methods) where appropriate. Any invasive plants that are regionally prohibited or regionally controlled should be reported and managed immediately, to minimise its impact on nearby sensitive waterways.

#### 6.2 Noxious weeds

If residents find evidence of noxious weeds on the land it is very important that they be removed and controlled in accordance with the *Catchment and Land Protection Act 1994* (Catchment and Land Protection Act 1994, No 52 of 1994 Part 8- Noxious Weeds and Pest Animals) whereby landowners have a legal responsibility to manage these weeds. Refer to Agriculture Victoria for further details of State prohibited weeds: <u>https://agriculture.vic.gov.au/biosecurity/weeds/state-prohibited-weeds</u>

#### 6.3 Safe use & chemical storage

Only herbicides registered for use in Victoria may be used and all herbicides and pesticides are to be used in strict accordance with the manufacturer's instructions at the recommended rates and applied during suitable climatic conditions. Herbicides may only be applied by a qualified contractor, certified specifically for herbicide applications. Use of protective clothing and equipment throughout use is required.

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In areas of high-density planting, spray hoods must be used to prevent damage to non-target species. Large weeds should be removed manually.

## 6.4 Pest animals

## 6.4.1 **Issue:**

Foxes and Rabbits are an introduced species in Australia and are responsible for the degradation of land by spreading weeds, out-competing native animals for habitat and create erosion problems. Rabbits were observed on the property during the site inspection.

## 6.4.2 Management action:

Rabbits commence breeding in Autumn and continue until vegetation dries off, which generally occurs in early summer. Rabbit mortality is particularly high during summer months due to disease, lack of food and water, and high temperatures. Late summer and early autumn are therefore the best times to control rabbits, as populations are naturally low.

The most effective fox control is achieved during late winter and spring. At this time foxes are less mobile, they are rearing young and food demands are high. At other times there are more young animals to move into vacated territories.

The following provides a guide to managing pest animals, further information is available within the Appendix:

- regularly monitor for the presence of pest animal fauna;
- remove blackberry and weed thickets within the property that provide cover for foxes and rabbits (their key food source) if any (none were noted during the site visit);
- fox den fumigation;
- where appropriate undertake preferred control methods;
- provide appropriate fencing to ensure local wildlife are not harmed (see section 6.9).

If a den is located, then a licensed pest controller must be contacted to assist you. Any trapping of foxes must be carried out in accordance with the requirements of the Prevention of Cruelty to Animals Act 1986 (POCTA) and associated regulations.

To discourage foxes from your property ensure that food sources such as rubbish, food scraps, compost and pet food are not accessible to foxes that may be passing through.

## 6.5 Domestic animals

## 6.5.1 **Issue:**

Dogs and cats have a huge negative impact on natural bushlands. The following outlines their key impacts:

- Their presence and scent can cause great distress to the local wildlife.
- Their droppings act as fertilisers for weeds and can also be directly harmful to indigenous plants as they are naturally adapted to low nutrient soils.
- Their fur tends to attract seen of exotic plant species, impacting on indigenous vegetation;
- They can dig up, tread on and eat indigenous species adding the loss of indigenous vegetation; and
- They are capable of killing wildlife.

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## 6.5.2 Management actions:

Ensure animals are contained within the Domestic Zone and prevent any access to the designated Conservation Zone.

## 6.6 Soil management

6.6.1 **Issue:** 

Erosion and sedimentation can occur during the construction of new buildings or other works, when altering the natural ground level and introducing new fill.

## 6.6.2 Management Action:

Diligent measures must be undertaken to ensure seed banks contained within soils are managed to avoid the spreading of noxious weeds, and to avoid overall land degradation.

Management actions can be undertaken prior to the commencement of earthwork activities.

During the process of introducing land fill, only clean fill can be introduced to the site and any new machinery entering the site must follow hygiene protocols to minimise the risk of introducing new weeds to the site.

## 6.7 Protection of Scattered Trees within Farming Zone

## 6.7.1 **Issue:**

The Farming Zone contains a few scattered remnant trees which provide many ecological benefits to the property and local wildlife. Any excavation or cultivation within tree protection zones, can degrade the health and quality of vegetation.

## 6.7.2 Management Action:

Ensure the long-term protection of scattered trees and avoid land disturbance within Tree Protection Zones. Retain fallen tree branches around trees to prevent stock access and allow saplings to regenerate around the established trees.

## 6.8 Wombats

## 6.8.1 **Issue:**

Wombats with their large warrens and foraging behaviour can inadvertently spread disease and cause damage to crops, machinery and infrastructure in agricultural areas. At a national scale, threats such as habitat destruction and fragmentation have resulted in a significant reduction in wombat numbers and distribution, therefore its protection is important.

As noted in Murrindindi's Council website:

the Common Wombat is now protected everywhere in Victoria. It is illegal to disturb or to destroy protected wildlife without an Authority to Control Wildlife (ATCW) from the Conservation Regulator.

## 6.8.2 **Management action:**

Ensure sensitive measures are applied to support the protection of wombats by:

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- Understanding wombat behaviour;
- Understanding the need for the species conservation;
- Implementing an integrated approach to managing the impacts caused by wombats (with a focus on non-lethal methods)

Refer to Appendix for further details.

## 6.9 Fencing

#### 6.9.1 **Issue:**

The Conservation Zone must be fenced to secure the area during wet season. One of the major threats to wildlife is inappropriate fencing and they may cause disruption to the movement of fauna. Depending upon the species, fences can be fatal to a range of native animals including owls, other birds and terrestrial fauna.

The Conservation Zone is fenced with appropriate fencing and this should be maintained in good order.

## 6.9.2 **Management action:**

Ongoing monitoring is required to ensure the maintenance and timely repair of fences.

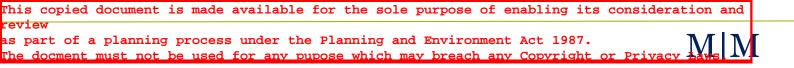
Permanent fencing is required around the Conservation Zone to ensure protection and promote regeneration of vegetation.

New fencing must consider the following:

- The fence should be 3m outside the canopy to protect the root zone and natural regeneration.
- The fence should be permanent.
- Post and rail fencing this is the most wildlife friendly fencing for all wildlife species as it is highly visible, and animals can go under the rails, and there is no chance of entanglement.
- Single strand wire these fences can be wildlife friendly if the wires are visible, and the top
  wire and the next one down are far enough apart and kept taut so that they cannot come
  together to capture a foot/leg.
- Preferably, fencing should not use open profile wires like deer wire and ringlock as these are the types of wire in animal limbs could easily get entrapped. Instead use chicken wire or cyclone wire as the hole profile is smaller.

Where there is the likelihood of wildlife movements, any fencing should be made clearly visible for wildlife. Options include:

- Use white electric fence tape or white strand wire to mark the top of the fence. This provides good visibility; and
- Split poly-pipe over fencing to improve visibility.



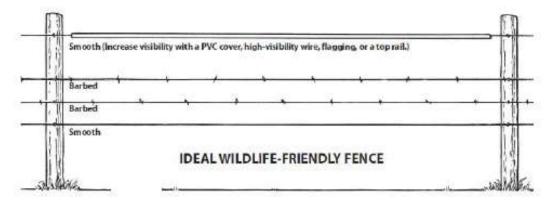


Figure 3: Fauna friendly fencing

## 6.10 Shelter Belts

A number of shelter belts are shown on the plan and additional landscaping may occur along fence lines as required. Where possible, plant species should be locally indigenous to provide food and habitat for local fauna.

Refer to Council's website for details on native flora.

## 7 PERFORMANCE CRITERIA

The performance criteria (target) varies between the management zones and relates to the specific actions identified within each zone. Specific performance criteria are listed within the Farm Management Program above. This details the timeframe for the implementation of management initiatives, as well as monitoring and reporting methods.

The landowner must ensure that management obligations are being achieved and is responsible for reviewing the FMP on a regular basis and revising management obligations if needed.

## 8 RESPONSIBILITIES

The landowner is responsible for all management actions set out in the Farm Management Plan and actions shall be implemented in accordance with the plan, to the satisfaction of the Responsible Authority. The plan will be effective from the date of its endorsement unless otherwise stated in the plan.

The following recommendations are made:

- The owner should familiarise themselves with the environmental significance of their land and learn how to identify indigenous plants and wildlife.
- The owner should familiarise themselves with weed species and pest animals to ensure that they are managed appropriately;
- The owner should instigate a Management Action Plan & Progress as provided at Appendix 7;
- The owners should investigate areas of assistance available to them including the resources available through Council and an appointed professional bushland regenerator.

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This FMP should be reviewed as appropriate, it may be expanded to include dates when species are planted, when sightings of native bird and animal species occur and any other additional information that the owners collect in relation to the management of the land.

## 9 CONCLUSION

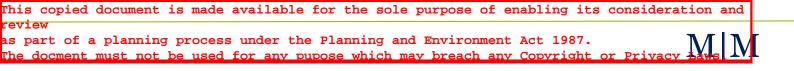
The land is clearly suited to grazing given its cleared nature and the applicant has suitable experience in operating a Dexter Stud and managing land sustainably (been a landcare member for ~10 years). There is market demand for Dexter cattle, both as pets and for meat and given the enterprise is established and relocating to this property for expansion there is clear intent and commitment to the agricultural pursuit.

In order to run the farm and stud effectively, it is essential that the property owners, who will be the sole managers, reside on the property. The hours needed to operate the farm are lengthy, as detailed above, and during calving season there are no alternatives to continued surveillance. It is simply not viable for the farm manager to reside off the property.

This document outlines the correlation between constructing a dwelling on the land and agriculture, as well as sustainable land management practices. More than 90% of the property is committed to the farming zone and as such this is clearly the primary land use.

When approved, the FMP will be endorsed and form part of the permit. All requirements must be implemented and the site must always conform to the approved plan, or an alternative plan to the satisfaction of Responsible Authority.

Millar I Merrigan



## REFERENCES

DELWP 2023, Murrindindi Planning Scheme https://planning-schemes.delwp.vic.gov.au/schemes/yarraranges [Accessed March 2023]

DELWP 2023, Common Wombat – Wildlife Management Methods, delwp.vic.gov.au, [Access March 2023]

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APPENDIX 1 - FARM MANAGEMENT PLAN

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> APPENDIX 3 – CONTROL OF PEST ANIMALS – FERAL CATS, RABBIT & FOXES

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APPENDIX 4 - ENVIRONMENT WEED LIST & NOXIOUS WEED CONTROL TECHNIQUES

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APPENDIX 5 - COMMON WOMBAT MANAGEMENT

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APPENDIX 6 - MANAGEMENT ACTION & PROGRESS REPORT This copied document is made available for the sole purpose of enabling eview as part of a planning process under the Planning and Environment Act 19 be used for any pupose which may brea



# **Bushfire Management Statement**

Construction of a dwelling in a Bushfire Management Overlay 08/03/2022 Version 2 - 17/10/2022



# 3912 Whittlesea – Yea Road, Flowerdale

PREPARED FOR:	
Client name	Angie Lloyd
Contact	

# **Prepared By:** Sally Van de Paverd

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Planning & Design Accredited Practitioner

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REV	DATE	DETAILS
А	17/10/2022	Update new house plans and design
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Specifications outlined in this document do not guarantee survival of the building/s or the occupants. The client is advised to develop and rehearse a bushfire survival plan. A template for a Bushfire Survival Plan is available through the CFA website at <a href="http://www.cfa.vic.gov.au">www.cfa.vic.gov.au</a>.

This report is subject to the approval of the local council and may be referred to the CFA for comment.

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## 1 Introduction

This Bushfire Management Statement has been prepared to respond to the requirements of Clause 44.06 Bushfire Management Overlay, and associated Clause 53.02 Bushfire Protection: Planning Requirements. The statement contains three components:

- **A Bushfire Hazard Site Assessment** provides factual information on the bushfire hazard within 150m of the development, provides the defendable space and building construction requirements of Clause 53.02 and is informed by the site assessment methodology contained in Australian Standard AS3959.
- A Bushfire Hazard and Landscape Assessment (not required for dwellings in existing settlements) provides information on the bushfire hazard more than 150m away from the development and factual information on the bushfire hazard. It also provides information on key features of the general locality that are relevant to better understanding the protection provided by the location and contextual information on the site.
- A Bushfire Management Statement shows how proposal has responded to the bushfire hazard site assessment and bushfire hazard landscape, documents how approved measures in Clause 53.02 have been applied, justifies any alternative measures, responds to the relevant decision guidelines and demonstrates to council that a permit should be granted.

## **1.1 Project Description**

The proposal is for the construction of a dwelling at 3912 Whittlesea – Yea Road, Flowerdale. The site has been assessed and the BMO requirements addressed in this report. The property is in a Farming Zone and as such a Pathway 2 report has been prepared that includes a Bushfire Hazard Site Assessment, a Bushfire Hazard Landscape Assessment and a Bushfire Management Statement. The site was inspected on 18<sup>th</sup> February, 2022.

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## 1.2 Relevant Objectives

The checklist below identifies those objectives that are applicable to this bushfire management statement.

Objectives and Approved/Alternative Measures	Applicable	Provide justification for any objectives which are considered not applicable.
53.02- 3 Dwellings in Existing Settlements	No	Proposal is for a dwelling in a Farming Zone
AM 1.1 Siting	No	
AM 1.2 Defendable Space and Construction	No	
AM 1.3 - Water Supply and Access	No	
53.02- 4 All Other Development	Yes	Proposal is for a dwelling in a Farming Zone
53.02 – 4.1 Landscape, Siting and Design	Yes	
AM2.1 Broader Landscape	Yes	
AM2.2 Siting	Yes	
AM2.3 Building Design	Yes	
53.02- 4.2 Defendable Space and Construction	Yes	
AM3.1 Defendable space for a Dwelling a Dependent Persons unit, Industry office or retail premises	Yes	Proposal is for a dwelling in a Farming Zone
AM3.2 - Defendable space for other buildings and works	No	Proposal is for a dwelling in a Farming Zone
AltM3.3 - Defendable Space on Adjoining Land	No	
AltM3.4 - Defendable Space Calculation using Method 2 of AS3959	No	
AltM3.5 –Dwellings Subject to Direct Flame Contact	No	
AltM3.6 – Integrated decision making for development occupied by more vulnerable development	No	Proposal is for a dwelling in a Farming Zone
53.02 – 4.3 Water and Access Objective	Yes	
AM4.1 - A building used for a Dwelling a Dependent Persons unit, Industry office or retail premises	Yes	
AM4.2 - A building used for accommodation (other than a dwelling or dependent persons unit), childcare center, education center, hospital, leisure and recreation or place of assembly.	No	Proposal is for a dwelling in a Farming Zone

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2 Bushfire Hazard Site Assessment

Description of the bushfire hazard within 150m of the proposed development prepared in accordance with sections 2.2.3 to 2.2.5 of AS3959:2009 Construction of Buildings in Bushfire Prone Areas (Standards Australia) excluding paragraph (a) of Section 2.2.3.2.

## 2.1 The Site

2.1.1	Site shape, dimensions, size and planning controls			
The shape of the site is:	Irregular (see Attachment 1)			
The dimensions of the site are:	See Attachment 1			
The site has a total area of:	132867.96m <sup>2</sup>			
The zoning of the site is:	Farming Zone (FZ)			
The overlays that apply to the site are:	Bushfire Management Overlay - (BMO)			

2.1.2	Existing use and development on the site
The current use of the site is:	Farming
The buildings or works located on the site are:	Boundary and internal fencing, driveway.

There are scattered remnant Eucalypts and shrubs on the	site

#### 2.1.3

2.1.4

#### Existing access arrangements

Existing vegetation

The site is accessed via an existing gravel driveway and crossover off Break ODay Road.

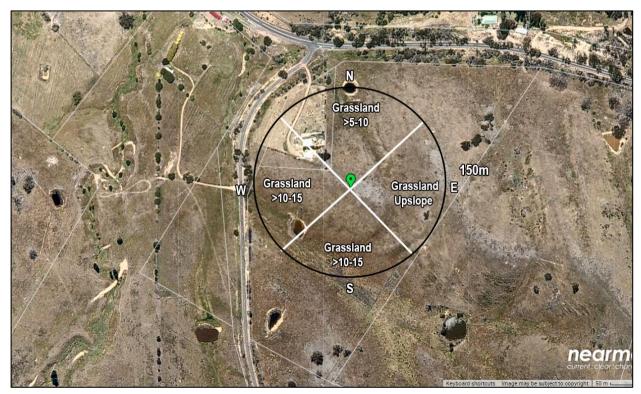


Figure 1. 150m Bushfire Site Assessment.

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## 2.2 SITE ASSESSMENT

	North	South	East	West
Vegetation Type	Forest	Forest	Forest	Forest
	Woodland	Woodland	Woodland	Woodland
	Shrubland	Shrubland	Shrubland	Shrubland
	Scrub	Scrub	Scrub	Scrub
	Mallee/Mulga	Mallee/Mulga	Mallee/Mulga	Mallee/Mulga
	Rainforest	Rainforest	Rainforest	Rainforest
	Grassland	Grassland	Grassland	Grassland
	Low Threat	Low Threat	Low Threat	Low Threat
	Modified	Modified	Modified	Modified
	Excludable	Excludable	Excludable	Excludable

Slope Under Vegetation	North	South	East	West
Flat/Upslope	Yes	Yes	Yes	Yes
Downslope	>0-5°	>0-5°	>0-5°	>0-5°
	>5-10°	>5-10°	>5-10°	>5-10°
	>10-15°	>10-15°	>10-15°	>10-15°
	>15-20°	>15-20°	>15-20°	>15-20°
	N/A	N/A	N/A	N/A

	North	South	East	West
Distance to Vegetation	>25m	>28m	>19m	>28m

	North	South	East	West
Corresponding BAL	12.5	12.5	12.5	12.5

# **BAL Required For Site: BAL 12.5**

	North	South	East	West
Required Defendable Space BAL 12.5	25	28	19	28
Proposed Defendable Space (BAL 12.5 for Forest)	69m	82m	48m	82m

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# **3 Bushfire Hazard Landscape Assessment**

## 3.1 Broader Landscape

#### 3.1.1 Vegetation in the Broader Locality

The property is predominantly cleared and grazed with some scattered trees and shrubs. The broader landscape is a mosaic of cleared and grazed pasture land and patches of woodland and forest. The closest area of higher risk vegetation is further than 500m from the proposed site. The topography is steeply undulating in places.

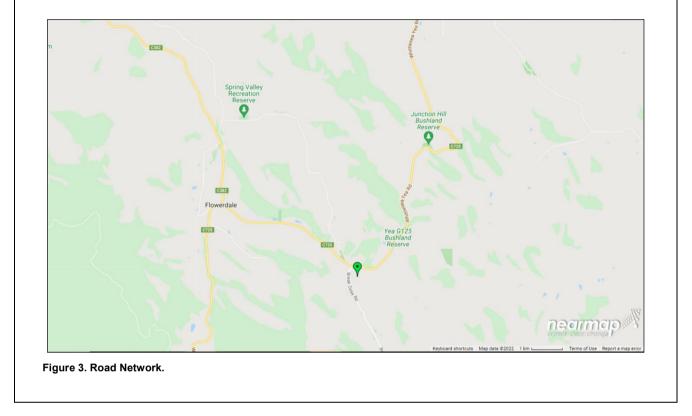


Figure 2. Broader Landscape

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## 3.1.2 Existing Road Networks

The property is accessed via Break Oday Road which is a bitumen road in good trafficable condition. Break Oday Road comes off the Whittlesea – Yea Road which runs north from Yea to Flowerdale, west of the site.

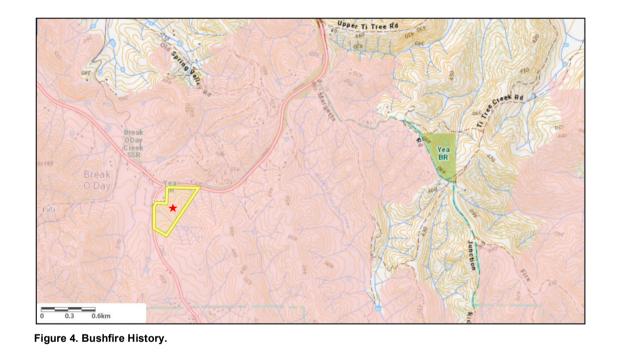


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#### 3.1.1 Bushfire History of the Area

The broader landscape was extensively burnt during the Black Saturday 2009 Fires. The extent of fires recorded within the past 50 years can be seen shaded pink in Figure 4 below. Prior to this the rea was impacted by the 1983 fires. Quick response times, extensive fuel reduction works, advanced detection methods and pre- determined dispatch of aircraft from both Healesville and Mount Dandenong have kept fires to relatively small areas in recent years.



#### 3.1.3 Relevant Regional Bushfire Planning Assessment

There are no past or planned burns in close proximity of the site.

#### 3.1.4 Proximity of site to Areas of managed fuel

The surrounding properties are cleared and developed large rural lots.

#### 3.1.5 Proximity to Declared shelter options

There is a Neigbourhood Safer Place in Flowerdale at the Flowerdale Hall, Whittlesea – Yea Road, opposite Broadford-Flowerdale Road, 5kms northwest of the site along the Whittlesea – Yea Road. There is no high risk vegetation along the road between the site and the NSP.

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#### 3.1.6 Likely Bushfire Scenarios

There are no continuous long fire runs through high risk vegetation adjoining the property. The proposed dwelling is separated from any forest or woodland vegetation for over 500m. If there was a fire event in these forested areas the site is likely to experience some ember attack and smoke depending on the weather conditions. Grassfires are the most likely fires at the site. Occupants should monitor any fire in the area.



Figure 5. Possible Fire Runs

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## 3.2 Landscape Type

The landscape would be best described as a Type 3:

- The type and extent of vegetation located more than 150m from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to the site.
- Bushfire can approach from more than one aspect.
- Access to an appropriate place that provides shelter from bushfire is not certain



Figure 6. Landscape Type.

The landscape has been classified as Type 3. Residents should have a bushfire safety plan and be prepared for spot fires, smoke and ember attack. Leaving early before fire threatens is always the safest option. Travelling during a fire event is not always an option as roads are often untrafficable. Occupants should plan to have to shelter in place should they be caught out.

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# 4 Bushfire Management Statement

## 4.1 All other Developments – Bushfire Protection Objective

Landscape Siting and Design Objectives 53.0	2- 4.1
	RESPONSE / COMMENTS
<ul> <li>Approved Measure 2.1 – Broader Landscape The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level. </li> <li>Approved Measure 2.2 – Siting A building is sited to ensure the site best achieves the following: The maximum separation distance between the building and the bushfire hazard.  The building is in close proximity to a public road. Access can be provided to the building for emergency service vehicles. Approved Measure 2.3 – Building Design  A building is designed to reduce the accumulation of debris and entry of embers.</li></ul>	The surrounding landscape presents a medium to high bushfire risk to development in the area. Extreme fire behaviour is highly unlikely at this site due to the extensive separation from any areas of high risk vegetation. The siting of the dwelling allows for all defendable space to be retained within the site. BAL 12.5 construction has been proposed with additional defendable space to the tabled defendable space distances in Clause 53.02. BAL 12.5 defendable space distances for Forest have been proposed to help mitigate any landscape risk. The main roof has a 22.5 degree pitch and is to be constructed from colorbond. The dwelling will be on a concrete slab and the cladding is brick with aluminum window frames.

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	RESPONSE / COMMENTS
Approved Measure 3.1 - Defendable Space for a dwelling, a dependent persons unit, industry, office or retail premises.	The extension requires defendable space to be managed to the distances set out in the table below. Defendable Space can also be seen in Attachment 4.
<ul> <li>A building used for a dwelling (including an extension or alteration to a dwelling), a dependent person's unit, industry, office or retail premises is provided with defendable space in accordance with:</li> <li>Column A, B or C of Table 2 to Clause 53.02-5 wholly within the title boundaries of the land; or</li> <li>If there are significant siting constraints, Column D of Table 2 to Clause 53.02-5.</li> <li>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5</li> </ul>	Defendable Space         North       69m         South       82m         East       48m         West       82m         The dwelling must be constructed to meet or exceed         BAL 12.5 standards.       Additional defendable space         (BAL 12.5 Forest) has been proposed to help         mitigate the landscape risk.

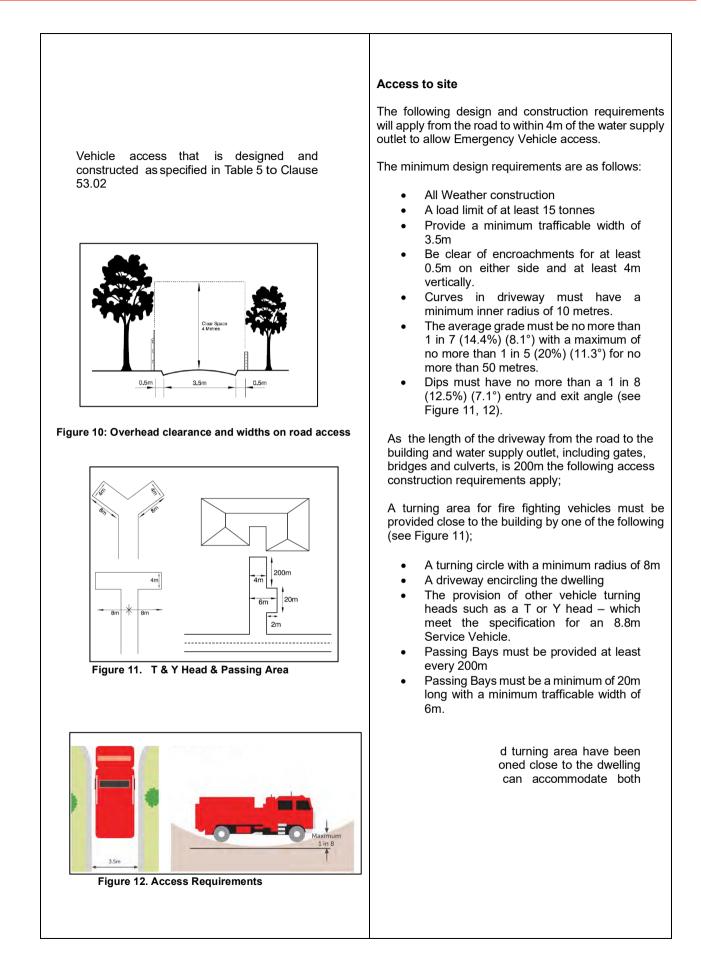
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Vater Supply and Access Objective 53.02- 4.3					
	RESPONSE / COMMENTS				
Approved Measure 4.1 -A building used for welling (including an extension or alteration to dwelling), a dependent person's unit, industry office or retail premises is provided with:	• A dedicated static water supply for the Dwelling				
Astatic water supply for firefighting and roperty protection purposes specified in Fable 4 to Clause 53.02-5. The water supply may be in the same tank as other vater supplies provided that a separate outlet is eserved for firefighting water supplies (See Figure 7).	<ul> <li>A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting.</li> <li>CFA access and couplings (Figure 8) are mandatory as the lot is greater than 1000m<sup>2</sup></li> </ul>				
Shared water tank	Tank Outlet to have 64 mm (min. size) BSP (Female)				
35,000 litres	Galv. Hex, Nipple 64 mm (min. size) BSP Connect to Pump Unit Connect to Connect to Pump Unit Connect to Connect to Connect to Pump Unit Connect to Connect to Conne				
Domestic Water	Ball or Gate Valve 64 mm (min. size) BSP (Female)				
	Figure 8 . CFA Compliant Fittings				
10,000 litres Firefighting Water	<ul> <li>The water supply must:</li> <li>Be stored in an above ground water</li> </ul>				
	• Be stored in an above ground water tank constructed of concrete or metal.				
Firefighting Domestic reserve outlet water outlet	<ul> <li>Have all fixed above ground water pipe and fittings required for firefighting purposes made of corrosive resistant metal.</li> </ul>				
	<ul> <li>Include a separate outlet for occupant use.</li> </ul>				
Blue Reflective Marker	Fire authority fittings and access must be provided as follows:				
ADDITION 15cm high, 3cm thick	• Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority (Figure 9).				
Figure 9. Signage	<ul> <li>Be located within 60 metres of the oute edge of the approved building.</li> </ul>				
	• The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.				
	<ul> <li>Incorporate a separate ball or gate valv (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).</li> </ul>				
	• Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).				

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# 5 Summary

- The dwelling must be constructed to meet or exceed BAL 12.5 construction standards.
- A 10,000lt non-combustible static water supply is required with access for emergency services to within 4m of the water supply outlet and is required to meet the specifications on page 17.
- Defendable Space must be maintained in accordance with the defendable space requirements around the dwelling for 69m to the north, 48m to the east and 82m to the south and west.
- Access to the dwelling must meet the requirements on pg 16 for Emergency Service Vehicles.

# 6 References

CFA (2012). Land Use Planning FSG LUP 0002. Country Fire Authority. <u>www.cfa.vic.gov.au</u> [Accessed: 8/03/2022]

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Standards Australia (2009) AS3959 Construction of buildings in bushfire prone areas. SAI Global Limited.

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## Attachment 1 – Site Plan

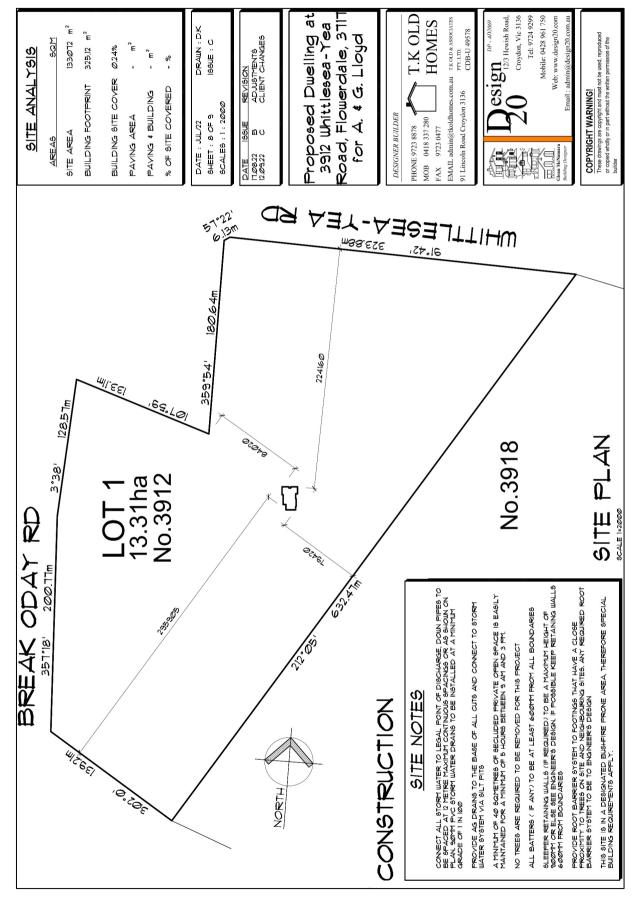


Figure 1. Proposed Dwelling

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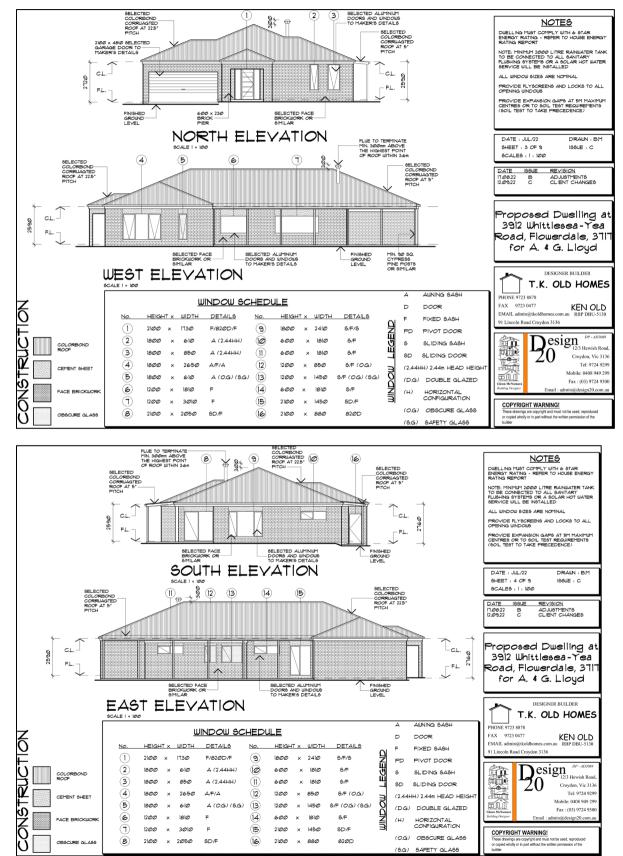


Figure 2. Elevations

# **Attachment 2 – Site Photos**





Figure 1. Looking North

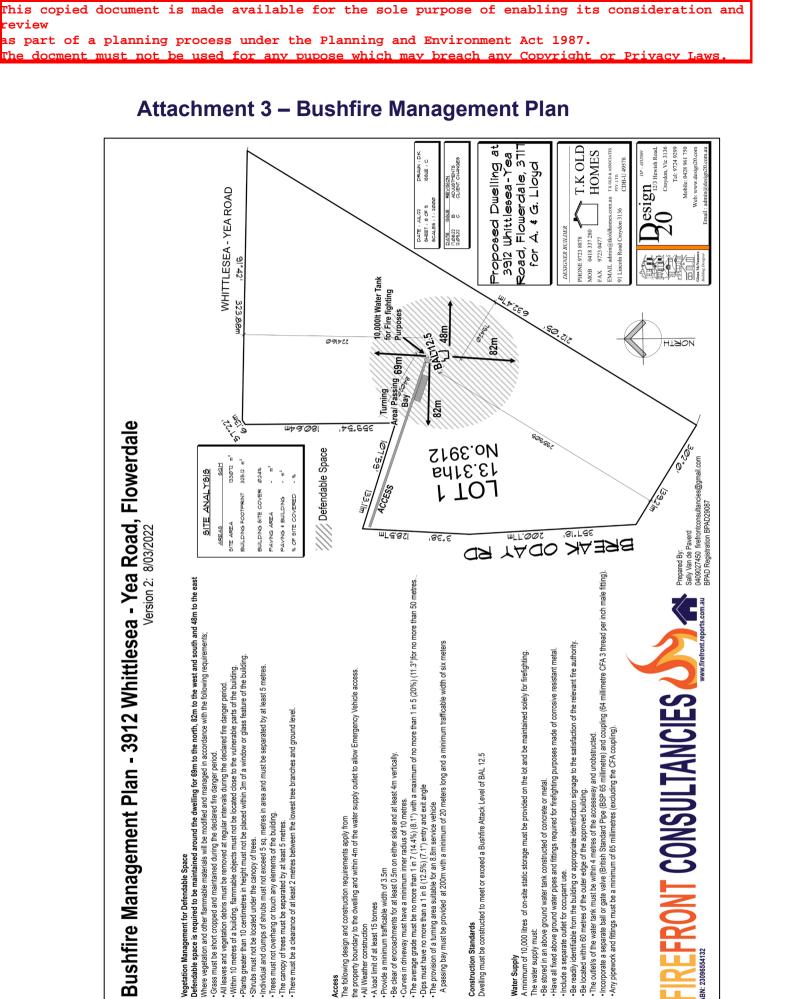
Figure 2. Looking East



Figure 3. Looking South



Figure 4. Looking West



Provide a minimum trafficable width of 3.5m

A load limit of at least 15 tonnes

Access

Include a separate outlet for occupant use.

ABN: 23096554132

The water supply must

Water Supply

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# Attachment 4 – Defendable Space checklist for preferred site

Requirement	Compliance	Comment	ls a permit required for vegetation removal?
Within 10 meters of a building flammable objects such as plants, mulches and fences must not be located close to the vulnerable parts of the building such as windows, decks and eaves.	Yes		N/A
Trees must not overhang the roofline of the building, touch walls or other elements of a building.	Yes		N/A
Grass must be no more than 5 centimeters in height. All leaves and vegetation debris must be removed at regular intervals.	Yes		N/A
Shrubs should not be planted under trees.	Yes		N/A
Plants greater than 10 centimeters in height at maturity must not be placed in front of a window or other glass feature.	Yes		N/A
Tree canopy separation of 5 meters and overall canopy cover of no more than 15% at maturity.	Yes		N/A
Non-flammable features such as tennis courts, swimming pools, dams, patios, driveways or paths should be incorporated into the proposal, especially on the northern and western sides of the proposed building.	Yes		Not applicable
Features with high flammability such as doormats and firewood stacks should not be located near the structure.	Yes		Not applicable

# Attachment 5 - Vegetation modifications and management required for defendable space.

The vegetation within the Defendable space must be modified and managed to ensure that it mitigates a bushfire as it approaches the structure. The following management prescriptions should be applied to any planning permit issues containing defendable space.

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 meters of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimeters in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. meters in area and must be separated by at least 5 meters. Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 meters between the lowest tree branches and ground level

